NO FIRE SPRINKLERS INSTALLED AT EXISTING DWELLING.

NO SPRINKLERS TO BE INSTALLED TO ADU

1.0 FIRE NOTES

SEPARATE PERMIT: FIRE DEPT. PERMIT

1.1 PERMIT NOTES

ARCHITECTURE & ENERGY DESIGN
SEAN JI
MAPLE BUILDING DESIGN, INC
10049 VALLEY BLVD.
EL MONTE, CA 91733
PHONE: 818-424 7403
FAX: 626-461 0573

ADDITION:
PROPOSED LOWER FLOOR 934 SF. LIVING AREA ADD INTO EXISTING HOUSE
PROPOSED UPPER FLOOR 649 SF. LIVING AREA ADD INTO EXISTING HOUSE
TOTAL ADDITION AREA: 1,783 SF.

** NO OAK ON THIS PROPERTY*
** NO EASEMENTS ON THIS PROPERTY*
**NO PUBLIC WORKS FOR THIS PROJECT*

2 CONSULTANTS

3 REFLECT PROPOSED WORK

4 PROJECT DATA

PROJECT ADDRESS:	21745 TODD AVE, YORBA LINDA, CA 92887
OWNER:	JIAN HE
HOME ADDRESS:	21745 TODD AVE, YORBA LINDA, CA 92887
APN:	35169109
SITE AREA:	0.7 ACRES
ZONING:	R-1
OCCUPANCY:	R1
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	NO
NUMBER OF DWELLING:	1
BUILDING LEVELS:	2

LEGAL DESCRIPTION:
LOT 27 OF TRACT NO. 12020, IN THE CITY OF YORBA LINDA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 538 PAGES 42-48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXISTING DWELLING (LOWER FLOOR):	1,176 SF.
EXISTING GARAGE:	468 SF.
EXISTING PORCH:	166 SF.
EXISTING STORAGE:	105 SF
EXISTING CONCRETE SLAB:	898 SF.
TOTAL EXISTING LOT USE:	2,813 SF.
ADDITION LOT USE: (LOWER FLOOR):	934 SF.
TOTAL PROPOSED LOT USE AREA:	3,747 SF.

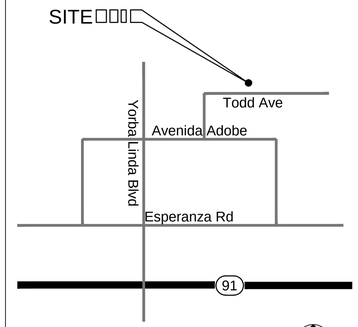
PROPOSED LOT COVERAGE:
3,747 SF./ 30,492 SF.=12%

EXITING LIVING AREA:	2,235 SF.
ADDITION LIVING AREA:	1,783 SF.
PROPOSED TOTAL LIVING AREA:	4,018 SF.

5 APPLICABLE BUILDING CODE

2023 CALIFORNIA RESIDENTIAL CODE (CRC) AND/ OR
2023 CALIFORNIA BUILDING CODE (CBC) AS APPLICABLE
2023 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
2023 CALIFORNIA ELECTRICAL CODE (CEC)
2023 CALIFORNIA MECHANICAL CODE (CMC)
2023 CALIFORNIA PLUMBING CODE (CPC)
2023 CALIFORNIA FIRE CODE (CFC)
2023 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

6 VICINITY MAP



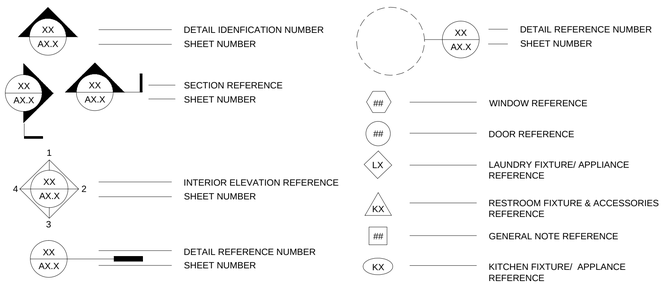
21745 TODD AVE,
YORBA LINDA, CA 92887

SCALE: N.T.S

7 SHEET INDEX

1. The contractor and/or subcontractors shall visit and review conditions prior to submitting bids.
2. The contractor shall assume sole and complete responsibility for jobsite conditions during construction of this project including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours. The contractor shall provide public protection as necessary and required by governing city agencies.
3. The work shall conform to the applicable building code and other ordinance codes and regulations listed in the specifications or on the drawings and required by local building authorities. The governing codes, rules and regulations are collectively referred to as "The Code". The contractor shall report any inconsistencies, conflicts or omissions he may discover to the architect for interpretation prior to performing the work.
4. The general contractor shall verify all conditions and dimensions on the job site and report any and all discrepancies and/or unusual conditions to the designer prior to finalizing bids or commencement of any construction.
5. Trade names and manufactures referred to are for quality standards only. Substitutions will be permitted when they have been submitted to and approved by the owner and designer prior to their purchase and incorporation into the work.
6. The contractor shall be responsible for all costs for inspections and/or tests, unless noted otherwise.
7. All ramps shall have a non-slip finish.
8. Do not scale these drawings. Should any dimensional discrepancies be encountered, clarifications shall be obtained from the designer.
9. Unless otherwise noted on these drawings or in the specifications as being N.I.C or existing, all items, materials, etc.., and the installation of same are a part of the contract defined by these drawing specifications.
10. The building and its facilities shall be accessible and functional to the physically handicapped.
11. Details are intended to show the intent of the design. Minor modifications may be required to suit the field dimensions or conditions and such modification shall be included as part of the work of the contract.
12. All interior wall dimensions are to the face of the stud unless otherwise noted.
13. All exterior wall dimensions are to face of concrete block or two face of stud unless otherwise noted.
14. The contractor shall provide solid blocking, unless noted otherwise as required for nailing of all interior and exterior trims, finishes, and shall provide for all the necessary Framing and bracing for the installation of N.I.C. equipment indicated.
15. Provide metal trim or casing at all edges of plaster or drywall where it terminates or meets any other material, except floors.
16. The contractor shall verify location and size of all floor, roof, and wall openings with all applicable drawings.
17. Keep piping as close to walls and as high to underside of roof framing as possible.
18. Where larger studs or furring are required to cover ducts, piping conduit, etc., the larger stud or furring shall extend the full length of the surface involved.
19. The contractor shall verify inserts and embedded items with all applicable drawings before pouring concrete.
20. All exterior expose Metals (Trims, railing, frames, moldings, Etc.) shall be painted, unless noted otherwise.
21. All exterior wall openings, flashing, coping, and expansion joints shall be weatherproof.
22. All roof drains shall be located at the lowest point of the roof taking into consideration the camber of beams and deflection of cantilevers. Contractor shall verify that positive drainage exists from all points on roof prior to installing deck.
23. Glazing Notes:
    A) All fixed and operable windows from 0 to 50 square feet in area shall have ¼" minimum glass grip and ¼" minimum glass edge clearances.
    B) All fixed and operable windows over fifty square feet in area shall have ¼" minimum glass grip and ¼" minimum glass edge clearances.
    C) Glazing in aluminum doors shall have ¼" minimum glass grip and ¼" minimum glass edge clearance.
    D) All window and door glazing shall have continuous glazing rabbet and glass retainer and resilient setting material.

9 GENERAL NOTES



8 REFERENCE SYMBOLS

AC. T.-ACOUSTIC TILE
AFF-ABOVE FINISH FLOOR
ALT-ALTERNATE
ALUM-ALUMINUM
ANCH-ANCHOR
APPROX-APPROXIMATELY
ARCH-ARCHITECT/ ARCHITECTURAL
BR.CS.-BRICK COURSE
BLDG-BUILDING
BLK-BLOCK
B.M.-BENCH MARK
BM-BEAM
B.N.-BULL NOSE
BNT-BENT
BMT-BOTTOM
C.B-CATCH BASIN
CEM-CEMENT
CERT.T.-CERAMIC TILE
C.J-CONTROL JOINT
CLR.-CLEAR
CLG-CEILING
CMU-CONCRETE MASONRY UNIT
COL-COLUMN
COMP.-COMPOSITION
CONC.-CONCRETE
CONSTR.-CONSTRUCTIO
CONT.-CONTINUOUS
CONTR.-CONTRACTOR
CTR.-CENTER
DET.-DETAIL
DF-DRINKING FOUNTAIN
DIA.-DIAMETER
DIM-DIMENSION
D.O. -DOOR OPENING
DS-DOWNSPOUT
DWG-DRAWING
EIFS-EXT. INSULATION & FINISH SYSTEM
ZEL-ELEVATION (SEA LEVEL)
ELEC.-ELECTRICAL
ELEV.-ELEVATION
EXP-EXPANSION
E.J.-EXPANSION JOINT
EXT-EXTERIOR
F.D.-FLOOR DRAIN
F.E.-FIRE EXTINGUISHER
FIN-FINISH
FLR-FLOOR
FDN-FOUNDATION
FOM-FACE OF MASONRY
FPHB-FROST PROOF HOSE BIBB
FURR-FURRING
FVC-FIRE VALVE CABINET
GA.-GAUGE
GALV.-GALVANIZED
GEN-GENERAL
GRFC-GLASS FIBER REINFORCED CONCRETE
GRFG-GLASS FIBER REINFORCED GYPSUM-GLASS/GLAZING
G.S-GRAVEL STOP
GYP.BD.-GYPSUM BOARD
HDWE-HARDWARE-HOSE BIBB-HOLLOW
METAL-HYDRANT
I.D.-INSIDE DIAMETER
INSUL-INSULATION
JT-JOINT
LAV-LAVATORY
LG.-LONG
LLH-LONG LEG HORIZONTAL
LLV-LONG LEG VERTICAL
L.P.-LOW POINT/LIGHT PANEL LT-LIGHT
MAR-MARBLE
MAS-MASONRY
MAX-MAXIMUM
MECH.-MECHANICAL
MTL--METAL
MFR-MANZA
MH-MANHOLE
MIN.-MINIMUM
MISC.-MISCELLANEOUS
NIC-NOT IN CONTRACT
NO-NUMBER
O/A-OVERALL
O/C-ON CENTER
O.D.-OUTSIDE DIAMETER
OH-OVERHELD
O/O-OUT TO OUT
OPNG-OPENING
PC-PIECE
PL-PLATE
PLAS-PLASTER
PLBG-PLUMBING NUMBER
PLYWD-PLYWOOD
POL-POLISHED
PROJ-PROJECT
PTD-PAINTED
R-RADIUS
RAILG
R.D.-ROOF DRAIN
RE-INF.-REINFORCEMENT/ REINFORCED
REQD.-REQUIRED
RM-ROOM
R.O.-ROUGH OPENING
S-SNK
SHT.-SHEET
S.M.-SHEET METAL
SQ.-SQUARE
SPM.-SINGLE PLY MEMBRANE
S.S-SLOP/SERVICE SINK
S.STL-STAINLESS STEEL
STD-STANDARD
STRUCT.-STRUCTURAL
SUPSP-SUSPENDED
T/-TOP OF
T.D.-TRENCH
TERR-TERRAZZO
TYP-TYPICAL
VCT-VINYL COMPOSITION TILE
W.C.-WATER CLOSET
WD-WOOD
WF-WEIGHT
WWF-WELDED WIRE FABRIC

10 ABBREVIATIONS

ELECTRICAL NOTES

210.11 Branch Circuits Required
Branch circuits for lighting and for appliances, including motor-operated appliances, shall be provided to supply the loads calculated in accordance with 220.10. In addition, branch circuits shall be provided for specific loads not covered by 220.10 where required elsewhere in this *Code* and for dwelling unit loads as specified in 210.11(C).
(A) Number of Branch Circuits

The minimum number of branch circuits shall be determined from the total calculated load and the size or rating of the circuits used. In all installations, the number of circuits shall be sufficient to supply the load served. In no case shall the load on any circuit exceed the maximum specified by 220.18.
(B) Load Evenly Proportioned Among Branch Circuits
Where the load is calculated on the basis of volt-amperes per square meter or per square foot, the wiring system up to and including the branch-circuit panelboard(s) shall be provided to serve not less than the calculated load. This load shall be evenly proportioned among multioutlet branch circuits within the panelboard(s). Branch-circuit overcurrent devices and circuits shall be required to be installed only to serve the connected load.
(C) Dwelling Units
(3) Bathroom Branch Circuits
In addition to the number of branch circuits required by other parts of this section, at least one 120-volt, 20-ampere branch circuit shall be provided to supply the bathroom(s) receptacle outlet(s). Such circuits shall have no other outlets.
Exception: Where the 20-ampere circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied in accordance with 210.23(A)(1) and (A)(2).

(A) 15- And 20-Ampere Branch Circuits
A 15- or 20-ampere branch circuit shall be permitted to supply lighting units or other utilization equipment, or a combination of both, and shall comply with 210.23(A)(1) and (A)(2).
Exception: The small-appliance branch circuits, laundry branch circuits, and bathroom branch circuits required in a dwelling unit(s) by 210.11(C)(1), (C)(2), and (C)(3) shall supply only the receptacle outlets specified in that section.

ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER(S). (CEC 210.121 NOTE THIS REQUIREMENT IS FOR ENTIRE CIRCUIT, NOT JUST THE OUTLETS.

ALL BRANCH CIRCUITS SHALL TERMINATE IN ELECTRICAL SERVICE PANEL.

ALL 120-VOLT RECEPTACLE OUTLETS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES.

VENTILATION EXHAUST FAN NOTES

A KITCHEN IS DEFINED AS ANY ROOM CONTAINING COOKING APPLIANCES. EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MIN. VENTILATION RATE OF 100CFM. THE RANGE HOOD OVER THE STOVE MAY BE USED TO MEET THIS REQUIREMENT BUT THE RANGE HOOD MUST VENT TO THE OUTSIDE; RECIRCULATING RANGE HOODS CANNOT BE USED. THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. THIS LOCAL EXHAUST FAN MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY. INSTALLING THIS LOCAL EXHAUST FAN IN THE KITCHEN WILL ALLOW THE HOME OCCUPANT TO REGULATE THE INDOOR AIR QUALITY WHEN NEEDED.

IN ADDITION TO THE LOCAL EXHAUST FANS IN THE BATHROOM SHALL BE OPERATE CONTINUOUSLY AND IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH BUT THE SWITCH MUST BE LABELED TO INFORM THE OCCUPANT THAT THE EXHAUST FAN IS THE WHOLE-BUILDING VENTILATION EXHAUST FAN AND IS INTENDED TO OPERATE CONTINUOUSLY. NO SPECIFIC WORDING IS MANDATED, BUT THE WORDING NEEDS TO MAKE CLEAR WHAT THE CONTROL IS FOR AND THE IMPORTANCE OF OPERATING THE SYSTEM.THIS MAY BE AS SIMPLE AS "VENTILATION CONTROL" OR MIGHT INCLUDE WORDING SUCH AS: "OPERATE WHEN THE HOUSE IS IN USE" OR "KEEP ON EXCEPT WHEN GONE OVER 7 DAYS" OR "FAN IS TO BE LEFT ON TO ENSURE INDOOR AIR QUALITY".

PLUMBING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE W/ THE 2019 CALIFORNIA PLUMBING CODE AS AMENDED BY LOCAL MUNICIPALITIES & ALL OTHER GOVERNING CODES, ORDINANCES & PRACTICES.
2. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC.604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1(d) OF THE CPC PRIOR TO PERMIT ISSUANCE.
3. PROVIDE SHUTOFFS AT ALL FIXTURES.
4. PROVIDE CLEAN OUTS WHERE WASTE LINE LEAVES BUILDING & AT LOCATIONS OF CHANGE IN DIRECTION.
5. ALL VENT STACKS THROUGH ROOF ARE TO BE FLASHED W/ LEAD. PROVIDE SOLID CONNECTIONS TO ALL SHOWER BASES.
6. PROVIDE COLD WATER SUPPLY LINE W/ SHUTOFF VALVE TO REFRIGERATOR.
7. INSULATE ALL COLD WATER SUPPLY LINE AND WRAP ALL JOINTS. PROVIDE APPROVED RELIEF VALVE AT WATER HEATER.
8. MAIN VENT PIPE TO BE CAST IRON, VERIFY W/ CODE REQUIREMENT.
9. DRYWALL SHALL BE OMITTED FROM THE INTERIOR SIDE OF WALL PANELS UNTIL PLUMBING ROUGH IS COMPLETE.
10. PROVIDE PERMANENTLY ACCESSIBLE 12"X12" TUB TRAP ACCESS OR PROVIDE ONE PIECE TUB DRAIN SYSTEM AND TEST. OFFSET PLUMBING OUT OF BEARING WALLS.
11. SEWER SLOPE TO BE 2%.
12. PLASTIC AND COPPER PIPING RUN THROUGH FRAMING MEMBER TO WITHIN ONE INCH OF THE EXPOSED FRAMING SHALL BE PROTECTED BY STEEL NAIL PLATES NOT LESS THAN 18 GAUGE.

LIGHTING NOTES

LIGHTING IN BATHROOMS, GARAGE, LAUNDRY ROOMS AND UTILITY ROOMS. ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A VACANCY SENSOR.

DEMOLITION NOTES

CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY SHORING ON ALL BEAMS, WALLS, TRENCHES AND EXISTING BUILDING COMPONENTS DURING DEMOLITION AND CONSTRUCTION TO PROVIDE FULL STRUCTURAL STABILITY FOR VERTICAL AND LATERAL LOADS.

SHORING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS INTENDED LOAD.

11 CONSTRUCTION NOTES

ISSUED / REVISED	DATE

ARCHITECTURAL DESIGN BY:
MAPLE BUILDING DESIGN
CONTACT: SEAN JI
TEL: (818)424-7403
EMAIL: (818)424-7403@GMAIL.COM
1249 S DIAMOND BAR. BLVD
DIAMOND BAR, CA 91765

DESIGNER:

DATE: 01/30/2025

PROJECT ADDRESS:
21745N TODD AVE,
YORBALINDA, CA 92887

HOME OWNER: JIAN HE

PHONE: (626)863-8444

PROPOSED RESIDENTS ADU

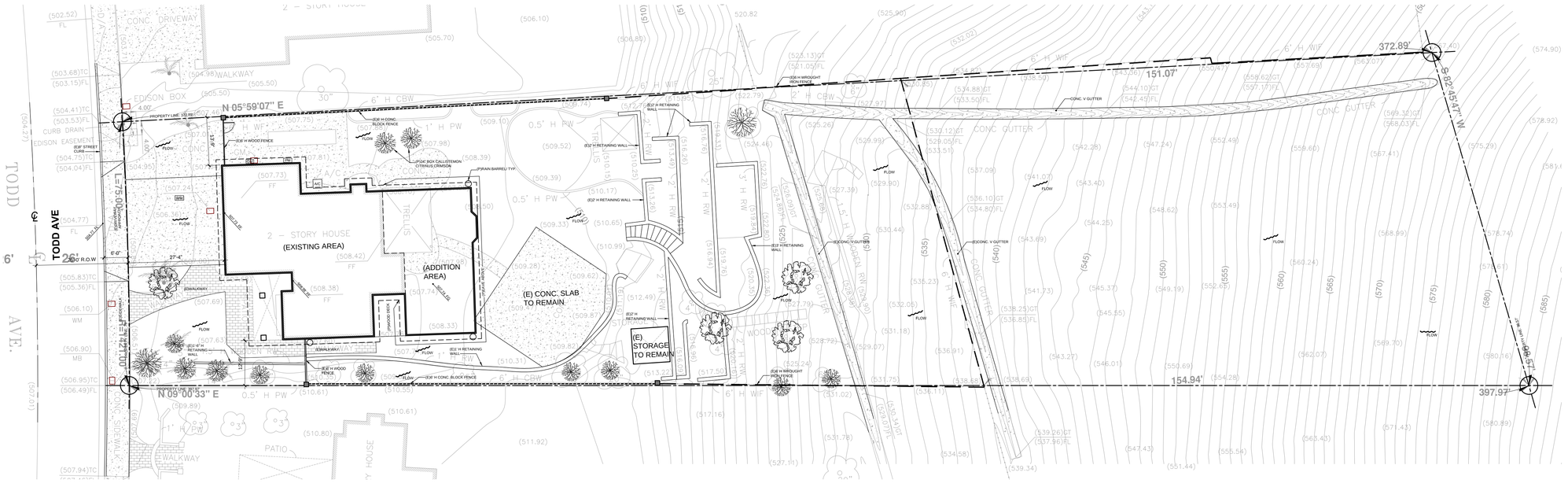
COVER SHEET

SHEET NUMBER

A- 1.0

1 EXISTING SITE PLAN
SCALE: 1/32" = 1'-0"

NORTH

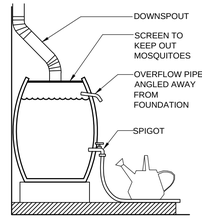


2 TYPES OF LID MEASURES:

1. PLANTING TREES/ QNTY. 2/ 24" BOX W/ CALLISTEMON CITRINUS CRIMSON
2. RAIN BARRELS/ DETAIL 3/ A-2

GRADING NOTES

NEW SOIL ON LANDSCAPE AREA. WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE, IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.



2 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

NORTH

3 TYPICAL 100GLS RAIN BARREL
SCALE: N.T.S

ISSUED / REVISED	DATE

ARCHITECTURAL DESIGN BY:
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DIAMOND BAR. CA 91765

DESIGNER:

DATE: 01/30/2025

PROJECT ADDRESS:
21745N TODD AVE.
YORBALINDA. CA 92887

HOME OWNER: JIAN HE

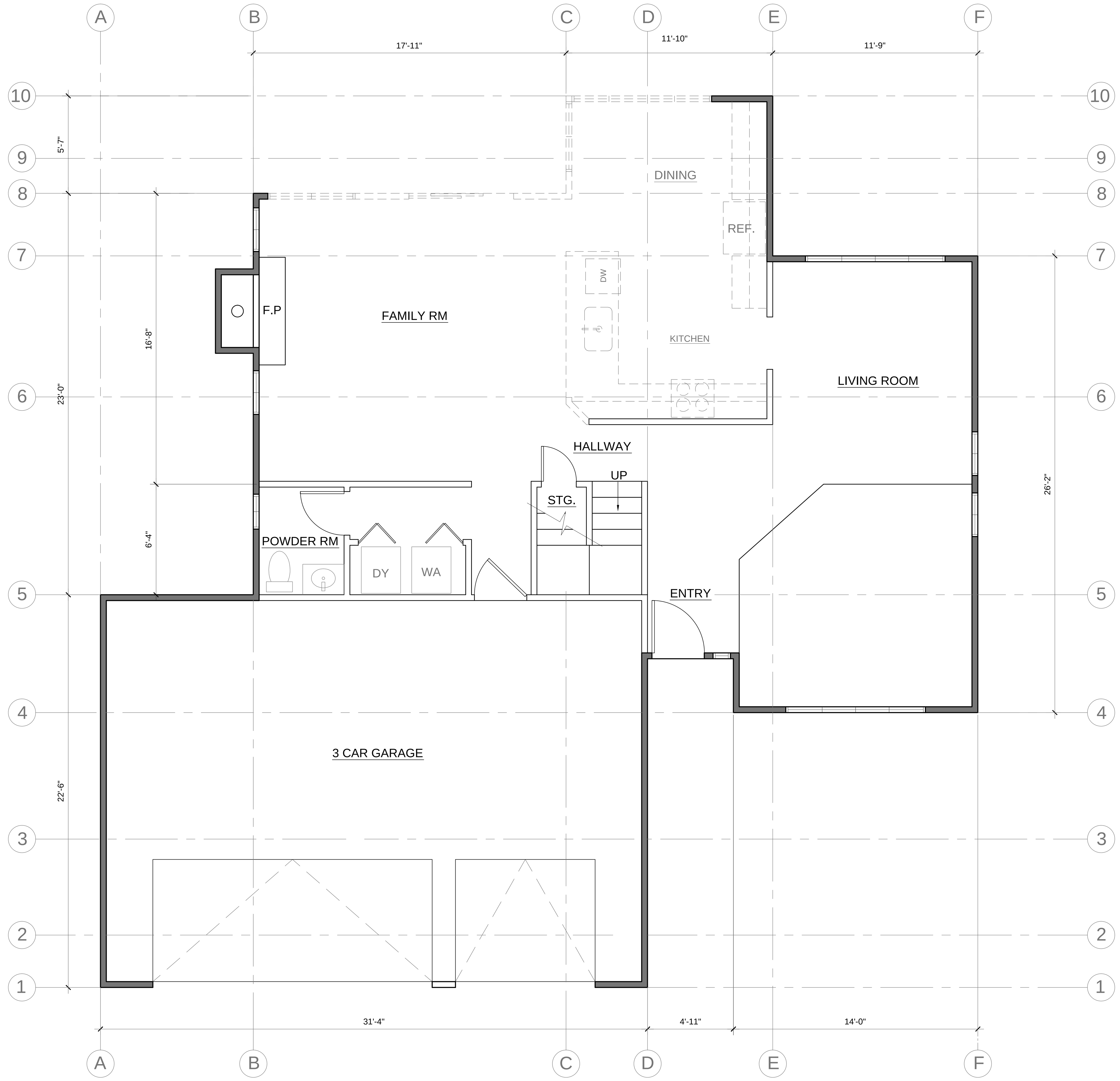
PHONE: (626)863-8444

PROPOSED RESIDENTS ADU

EXISTING/ PROPOSED SITE PLAN

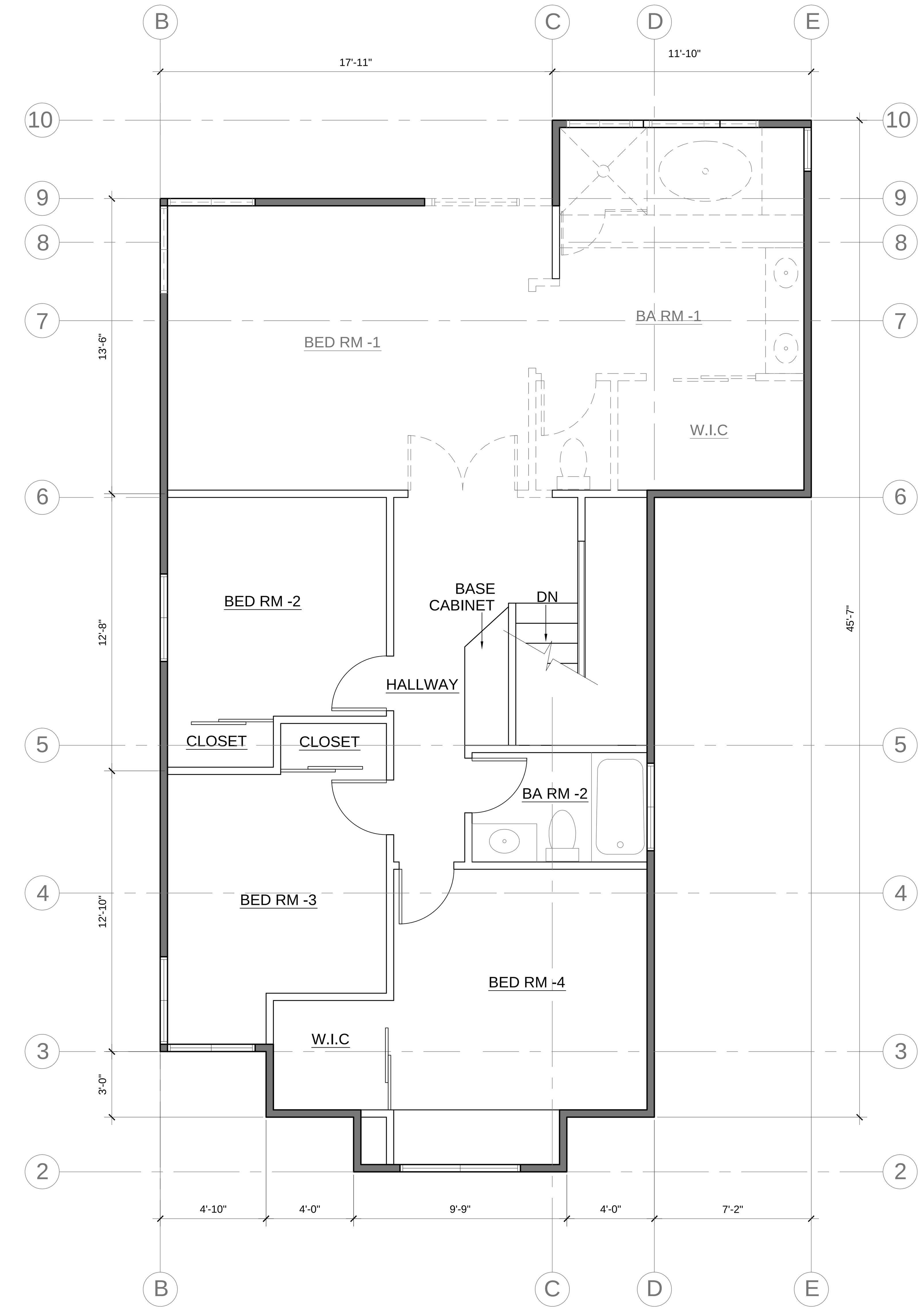
SHEET NUMBER

A- 2.0



1 EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH



2 EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH

LEGENDS

EXIST. EXTERIOR WALL	
EXIST. INTERIOR WALL	
DEMOLITION STR.	
WINDOW	
DOOR	

EXISTING DEMOLITION NOTES

1. PER PLAN REMOVED EXTERIOR WALL AND INTERIOR, FIXTURE
2. CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY SHORING ON ALL BEAMS, WALLS, TRENCHES AND EXISTING BUILDING COMPONENTS DURING DEMOLITION AND CONSTRUCTION TO PROVIDE FULL STRUCTURAL STABILITY FOR VERTICAL AND LATERAL LOADS.

SHORING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS INTENDED LOAD.

ISSUED / REVISED | DATE

ARCHITECTURAL DESIGN BY:
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DESIGNER:

DATE: 01/30/2025

PROJECT ADDRESS:
21745N TODD AVE,
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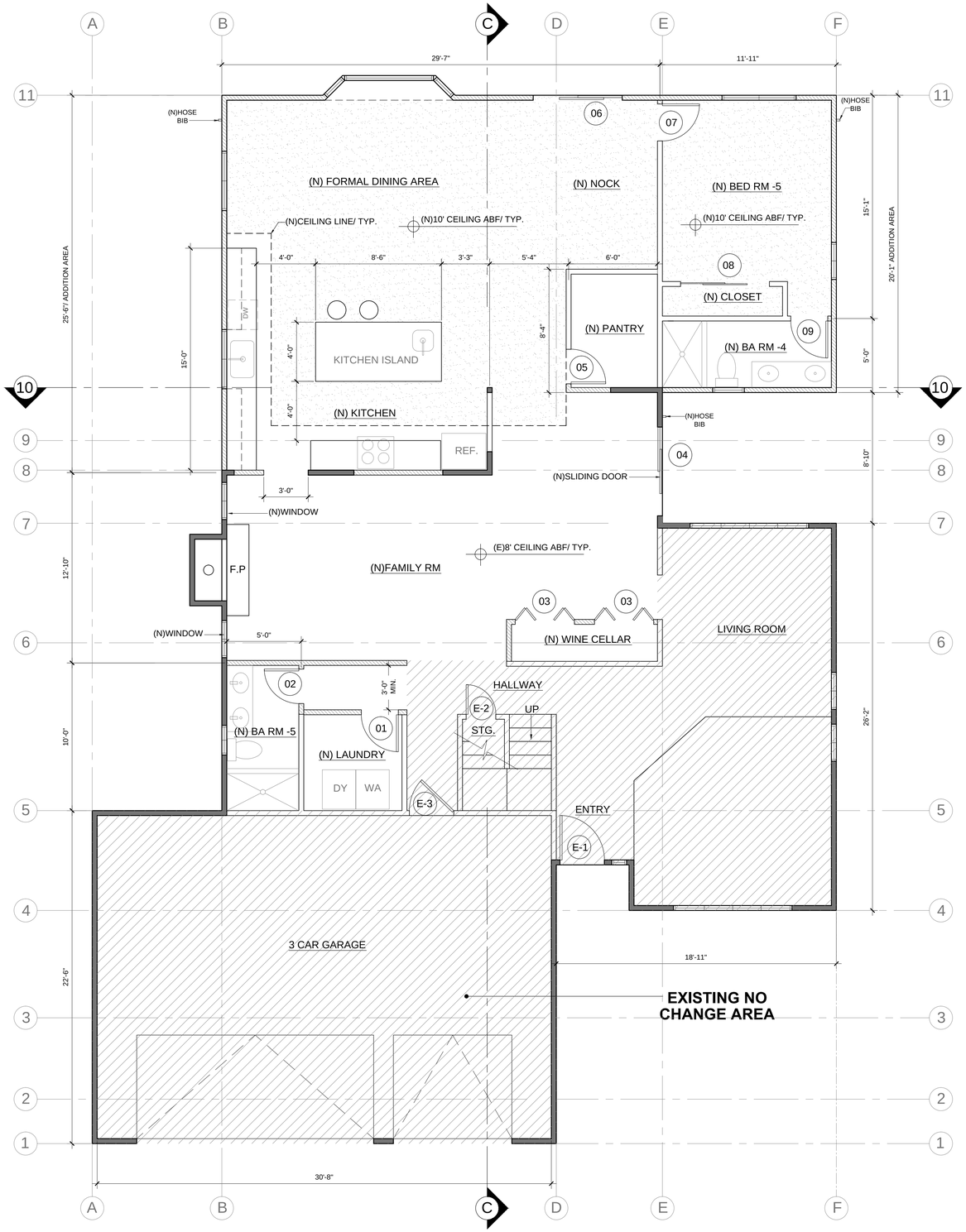
HOME OWNER: JIAN HE
PHONE: (626)863-8444

PROPOSED RESIDENTS ADU

EXISTING & DEMOLITION FLOOR PLAN

SHEET NUMBER

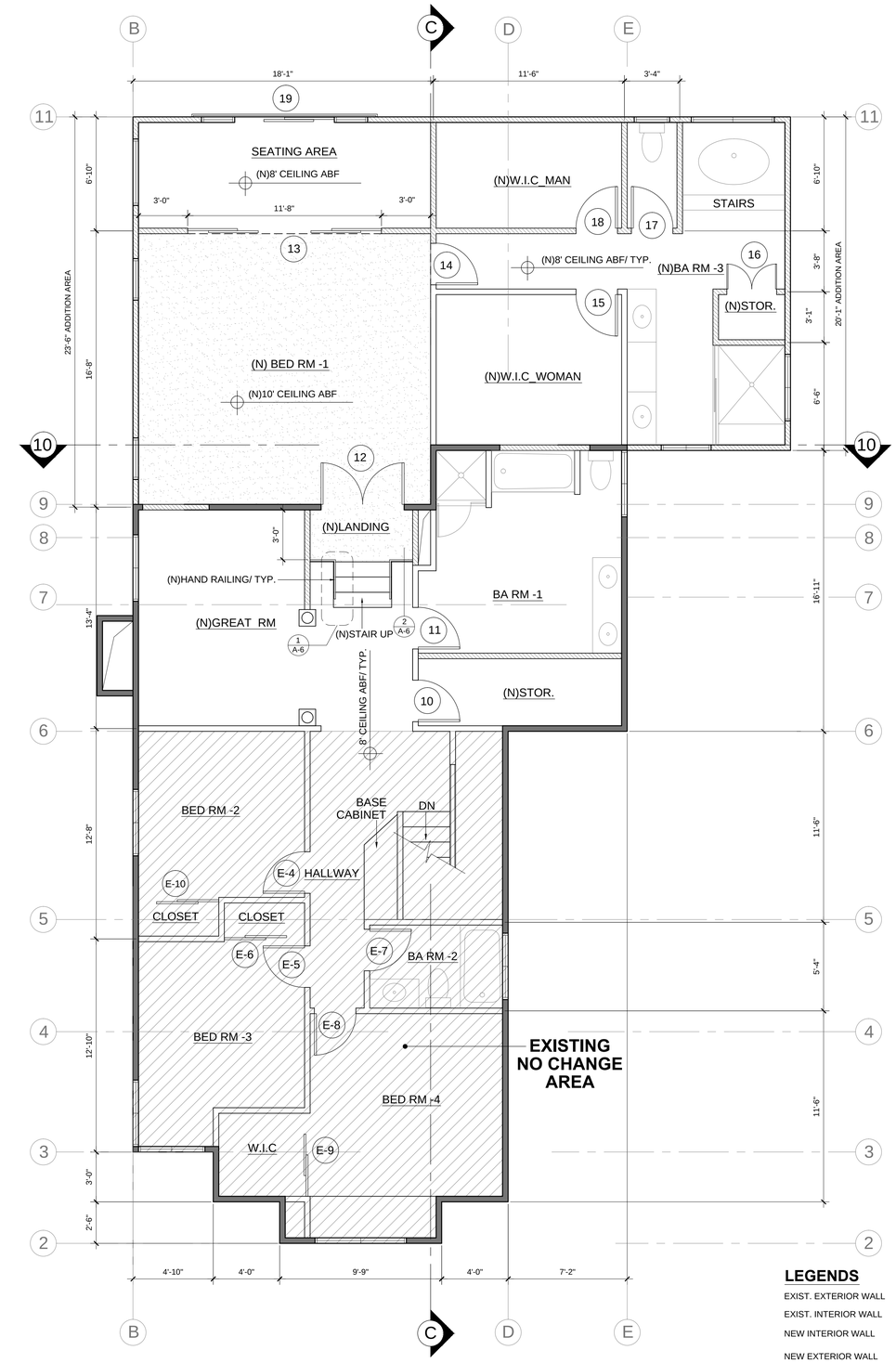
A- 3.0



1 PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH



2 PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

LEGENDS

- EXIST. EXTERIOR WALL
- EXIST. INTERIOR WALL
- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- HEADER
- EXIST. NO CHANGE AREA
- WINDOW
- DOOR
- HIGH CEILING AREA

ISSUED / REVISED	DATE

ARCHITECTURAL DESIGN BY:

MAPLE BUILDING DESIGN
CONTACT: SEAN JI
TEL: (818)424-7403
mapleb1625@gmail.com
1249 S DIAMOND BAR. BLVD
DIAMOND BAR, CA 91765

DESIGNER:

DATE: 01/30/2025

PROJECT ADDRESS:

21745N TODD AVE,
YORBALINDA, CA 92887

HOME OWNER: JIAN HE

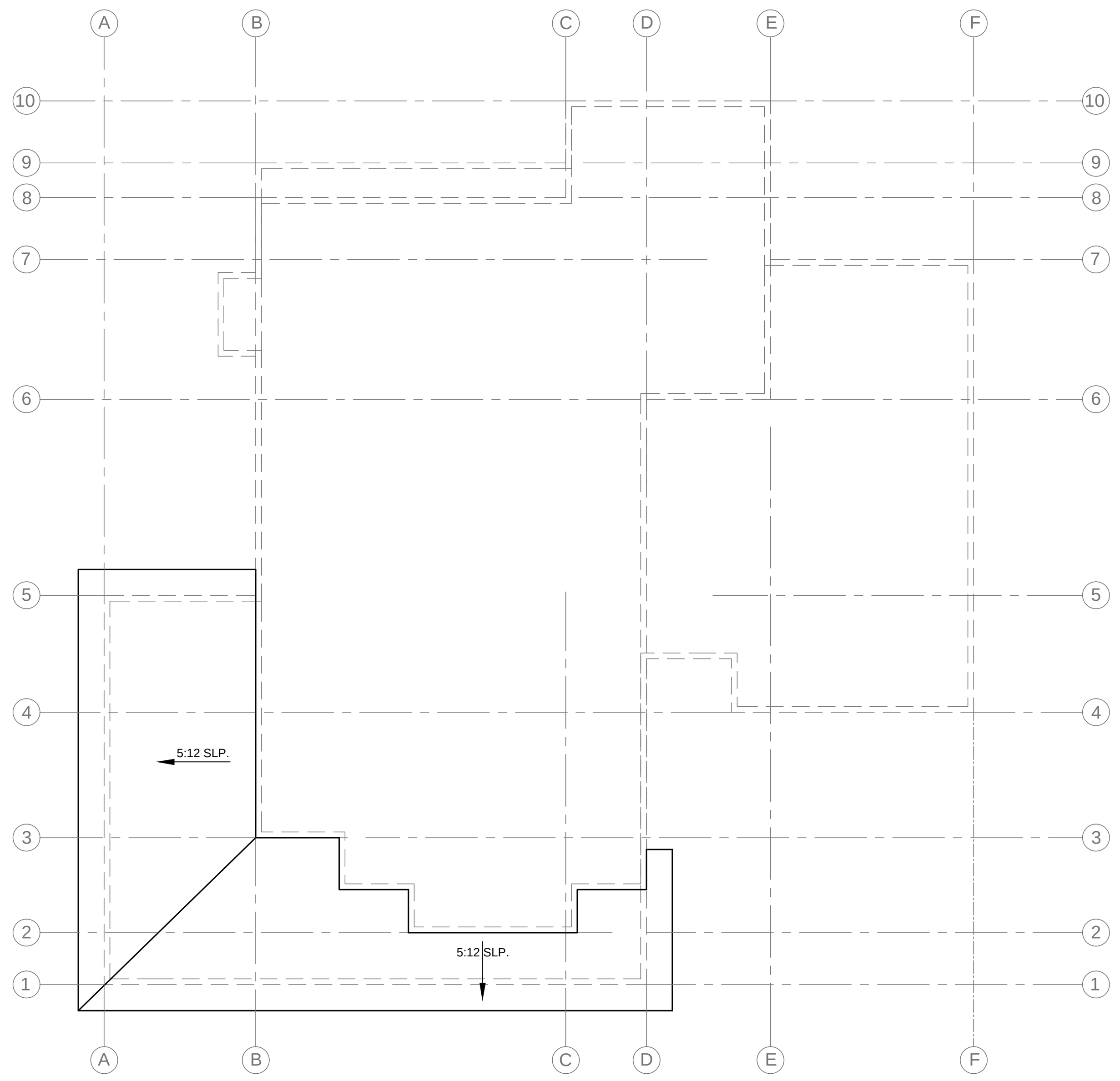
PHONE: (626)863-8444

PROPOSED RESIDENTS ADU

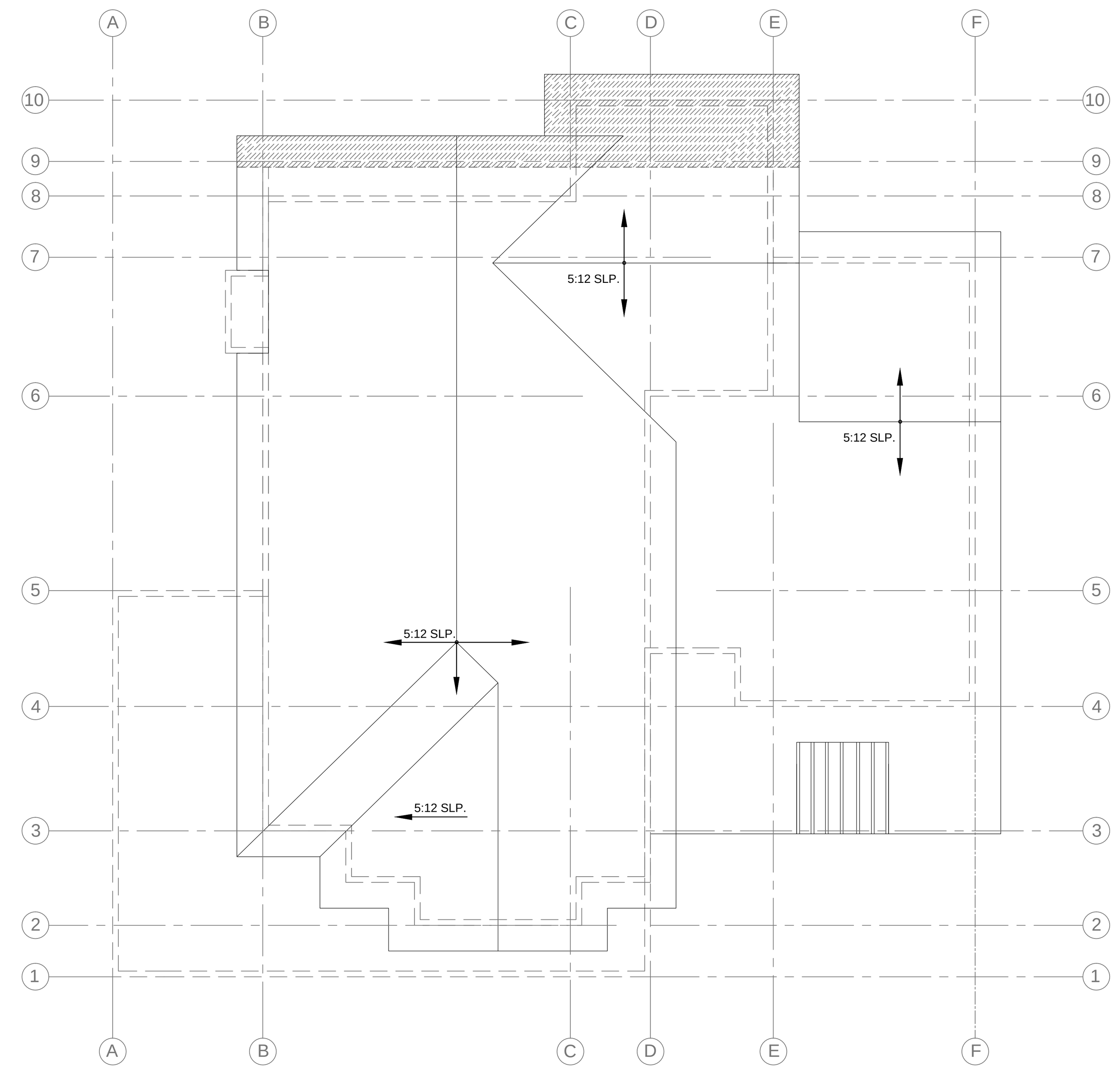
PROPOSED FLOOR PLAN

SHEET NUMBER

A- 3.1

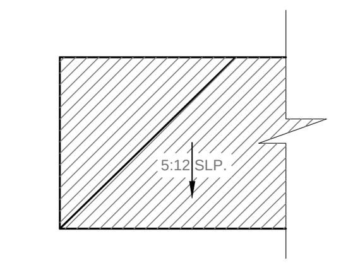


1 EXISTING LOWER ROOF PLAN
SCALE: 1/8" = 1'-0"
NORTH

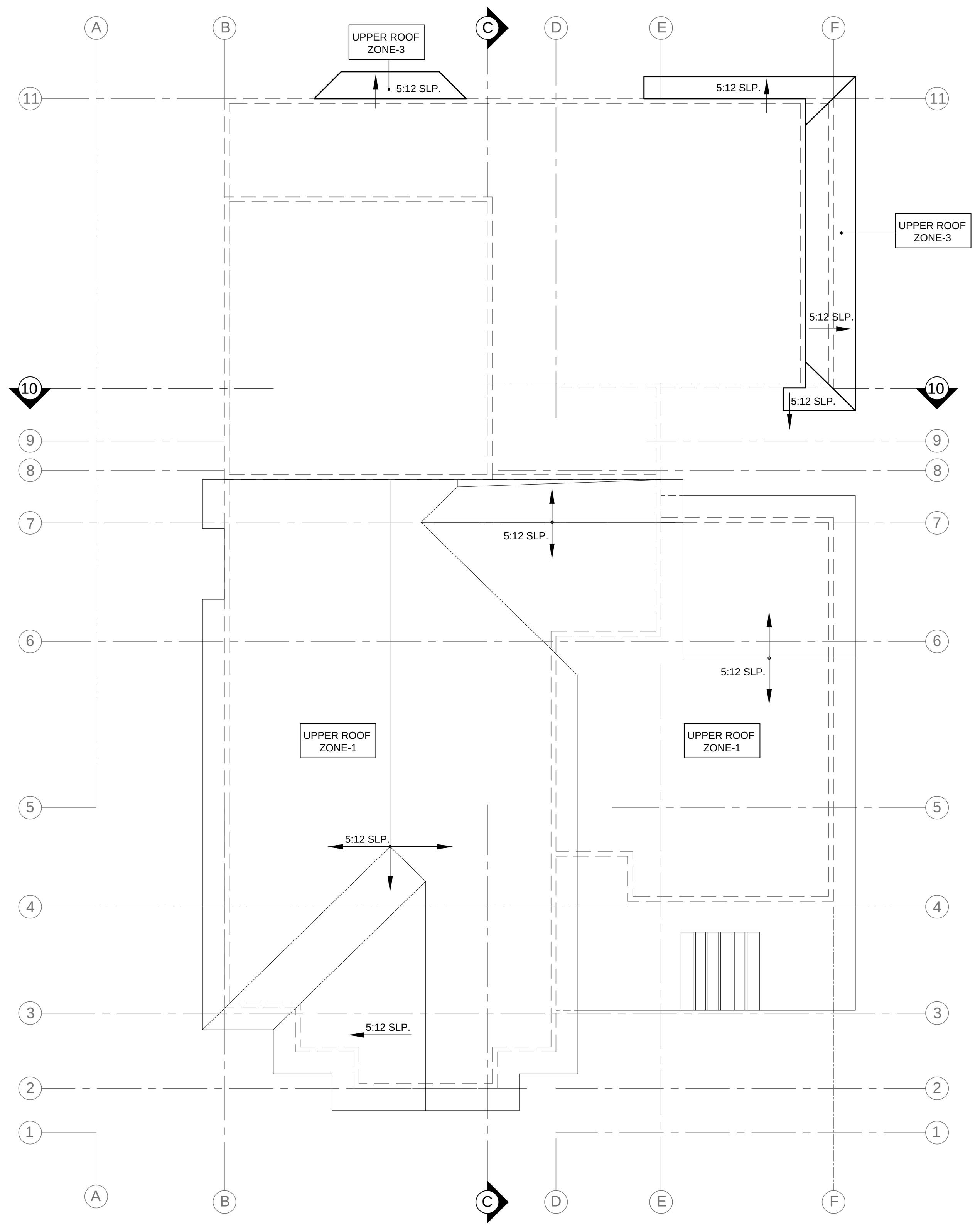


2 EXISTINGUPPER ROOF PLAN
SCALE: 1/8" = 1'-0"
NORTH

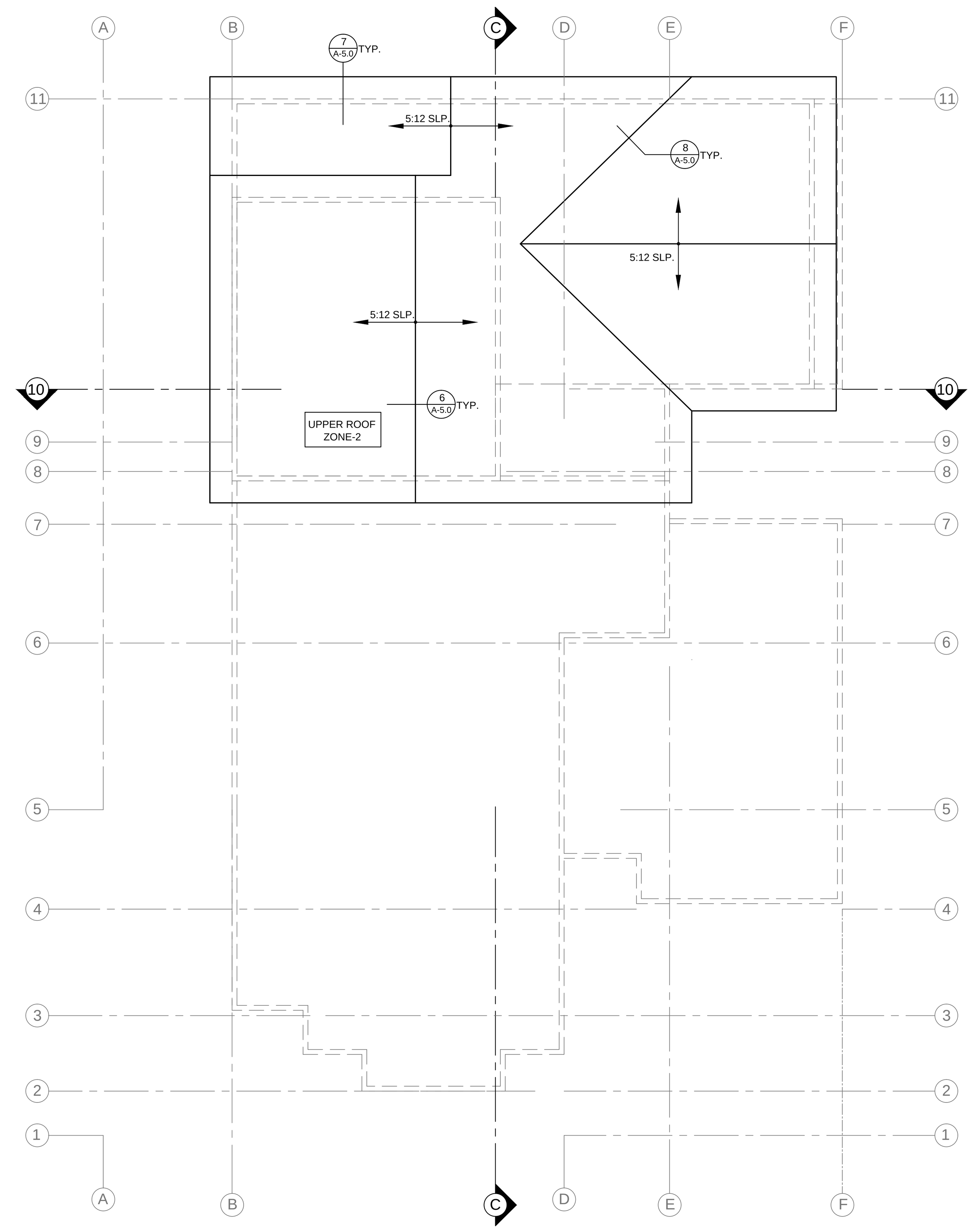
LEGENDS



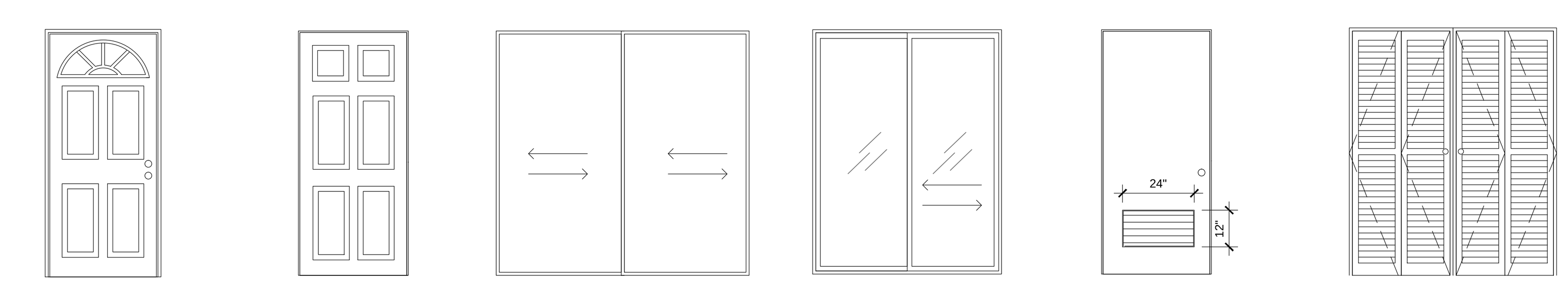
EXIST.ROOFING TO BE DEMOLITION



3 PROPOSED LOWER ROOF PLAN
SCALE: 1/8" = 1'-0"
NORTH



4 PROPOSED UPPER ROOF PLAN
SCALE: 1/8" = 1'-0"
NORTH



A=HALF ROUND STL/ SOLID-CORE

B=6 -PANEL/ HOLLOW-CORE

C=SLIDING CLOSET DOOR

D=SLIDING GLASS DOOR

E=LOUVERED HOLLOW-CORE

F=LOUVERED BIFOLD DOOR

EXISTING DOOR SCHEDULE

E1	E2	E3	E4	E5	E6	E7	E8	NO.	
A	B	B	B	B	C	B	B	TYPE	DOOR
3'-0"	2'-0"	3'-0"	2'-8"	2'-8"	1'-6"	2'-8"	2'-8"	WIDTH	
6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	HEIGHT	
1-5/8"	1-1/2"	1-3/4"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	THICKNESS	
STL	WD	WD	WD	WD	WD	WD	WD	MATERIAL	
○		○						SOLID CORE	
L	L		R	R	R	L	L	HINGE	HARDWARE
○	○	○	○	○	SL	○	○	SWING	
		○						FIRE RATING	
○		○	○	○		○	○	KEY	
○	○		○	○		○	○	BUTTS	
○		○	○	○	○	○	○	WALL/ FL STOP	
		○						SELF-LATCHING	

PROPOSED ADDITION DOOR SCHEDULE

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	NO.	
E	B	F	D	B	D	B	C	B	B	B	B	D	B	B	B	B	B	D	TYPE	DOOR
2'-6"	2'-8"	4'-0"	6'-0"	2'-6"	6'-0"	2'-8"	6'-0"	2'-8"	2'-6"	2'-8"	5'-4"	11'-8"	2'-8"	2'-6"	3'-0"	2'-6"	2'-6"	6'-0"	WIDTH	
6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	6'-8"	HEIGHT	
1-3/4"	1-3/4"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	1-1/2"	THICKNESS	
WD	WD	WD	GL	WD	GL	WD	WD	WD	WD	WD	WD	GL	WD	WD	WD	WD	WD	GL	MATERIAL	
○																			SOLID CORE	
L	R	R/L		R		L	L	L	R	R	R/L		R	L	R/L	L	R		HINGE	HARDWARE
○	○	○		○		○	○	○	○	○	○		○	○	○	○	○		SWING	
																			FIRE RATING	
	○		○		○	○		○		○	○	○	○			○		○	KEY	
○	○	○		○		○	○	○	○	○	○		○	○	○	○	○		BUTTS	
○	○		○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	WALL/ FL STOP	
																			SELF-LATCHING	

ISSUED / REVISED | DATE

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DESIGNER:
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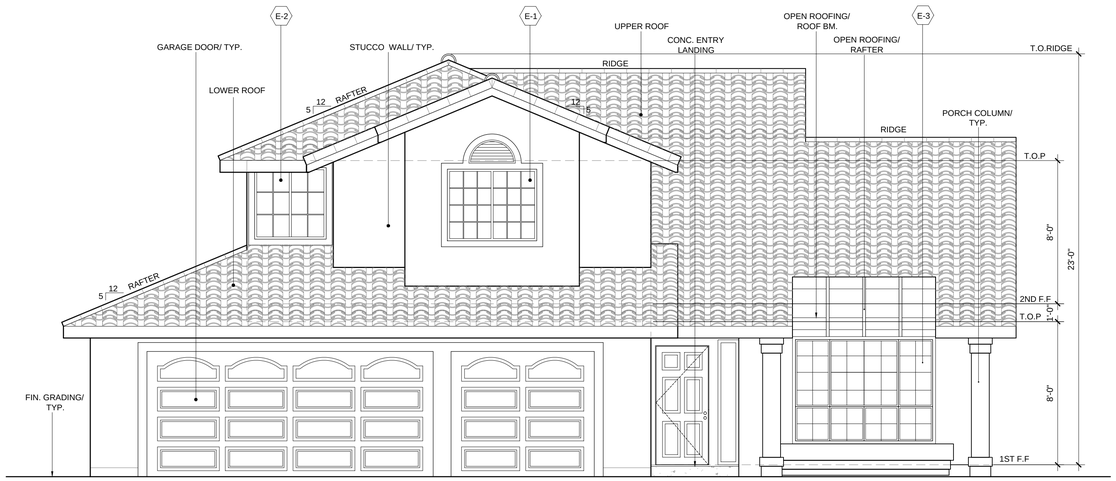
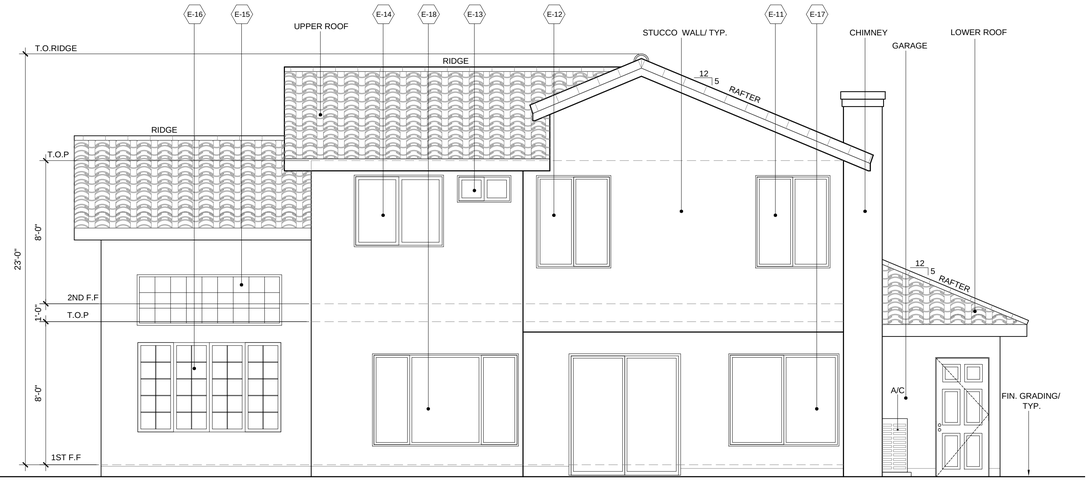
PROPOSED RESIDENTS ADU

PROPOSED BUILDING ROOF PLAN

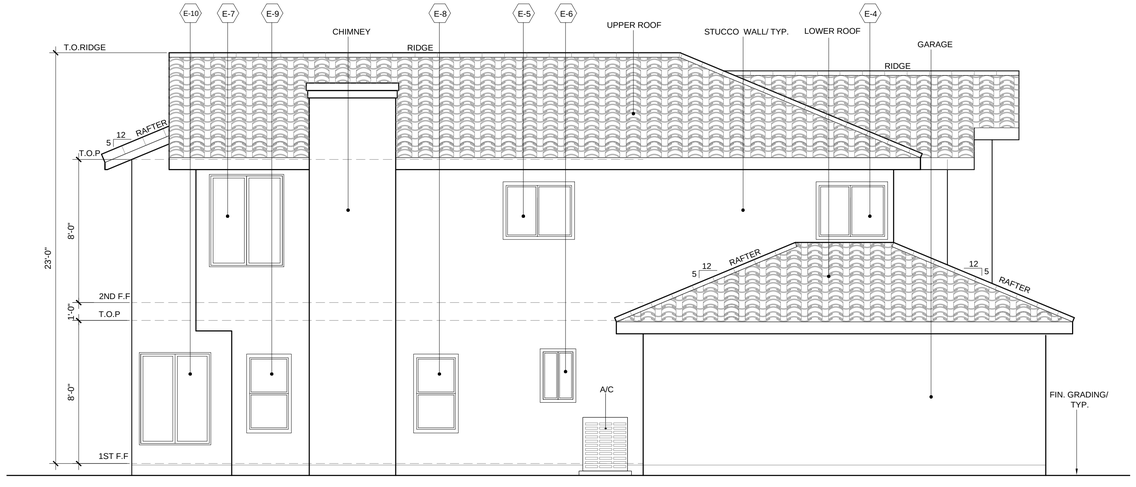
SHEET NUMBER
A- 3.2



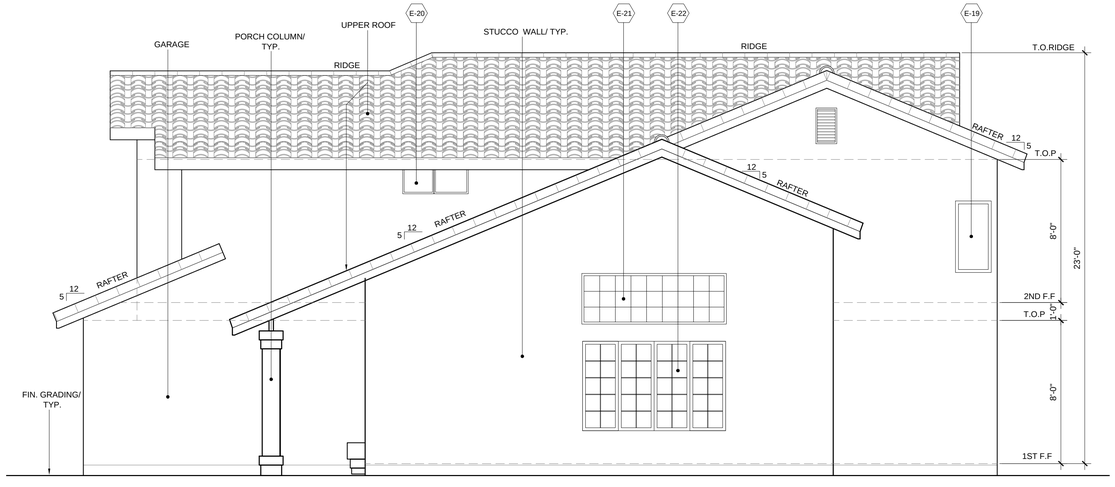
1 NORTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION DEMOLITION NOTES

1. NO CHANGED AND NO WORK ON FRONT VIEW OF NORTH SIDE
2. REMOVED EXTERIOR WALL OF SOUTH SIDE/ PER A-3.0
3. CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY SHORING ON ALL BEAMS, WALLS, TRENCHES AND EXISTING BUILDING COMPONENTS DURING DEMOLITION AND CONSTRUCTION TO PROVIDE FULL STRUCTURAL STABILITY FOR VERTICAL AND LATERAL LOADS.
4. SHORING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS INTENDED LOAD.

ISSUED / REVISED	DATE

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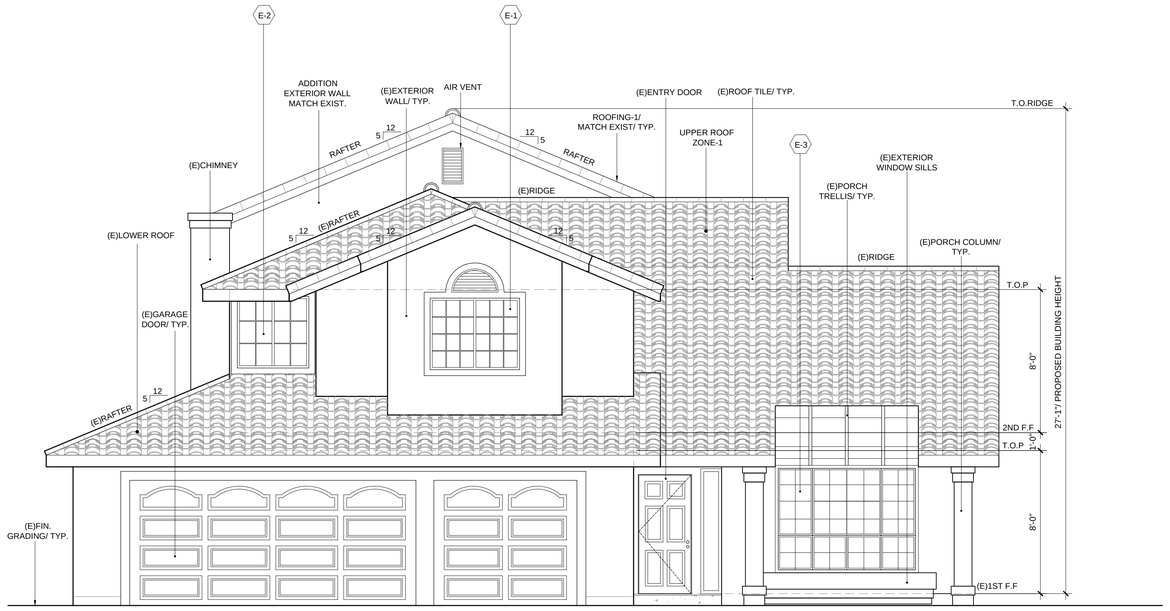
PROPOSED RESIDENTS ADU

EXISTING ELEVATION

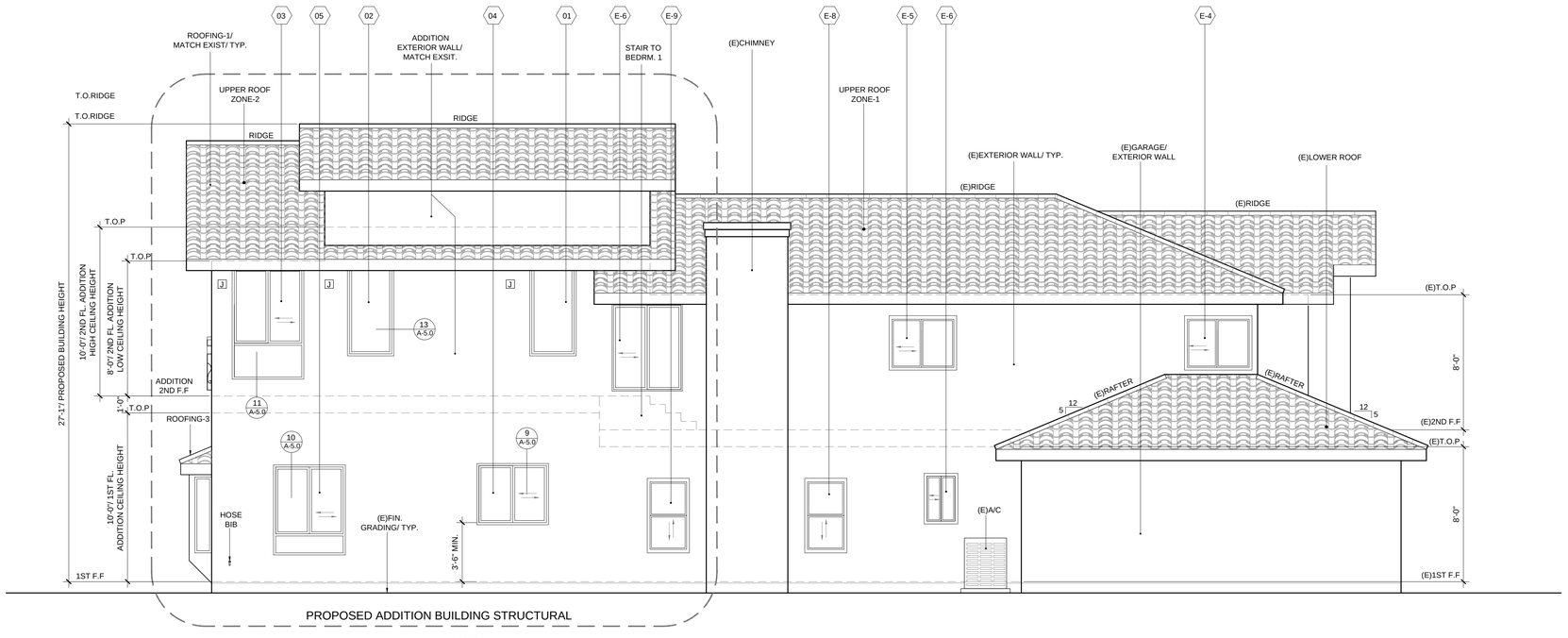
SHEET NUMBER

A- 4.0



1 NORTH ELEVATION (FRONT VIEW)

SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

ADDITION ELEVATION NOTES

1. NO CHANGED AND NO WORK ON FRONT VIEW OF NORTH SIDE
2. EXISTING EAST BUILDING STRUCTURAL TO REMAIN.
3. PROPOSED ADDITION EAST BUILDING EXTERIOR WALL, WINDOWS AND ROOF TO MATCH EXISTING BUILDING.

	NO.	SIZE	DIRECTION	U-FACTOR	SHGC
EXISTING WINDOW SCHEDULE	E-1	5' X 4'	HOR. SLIDING	0.3	0.23
	E-2	4' X 4'	HOR. SLIDING	0.3	0.23
	E-3	7'8"x5'8"	HOR. SLIDING	0.3	0.23
	E-4	3'8"x2'10"	HOR. SLIDING	0.3	0.23
	E-5	3'8"x2'10"	HOR. SLIDING	0.3	0.23
	E-6	2' X 3'	HOR. SLIDING	0.3	0.23
	E-7		DEMOLITION		
	E-8		DEMOLITION		
	E-9		DEMOLITION		
	E-10		DEMOLITION		
	E-11		DEMOLITION		
	E-12		DEMOLITION		
	E-13		DEMOLITION		
	E-14		DEMOLITION		
	E-15		DEMOLITION		
	E-16		DEMOLITION		
	E-17		DEMOLITION		
	E-18		DEMOLITION		
	E-19		DEMOLITION		
	E-20	3'8x1'6"	HOR. SLIDING		
	E-21	8'x2'10"	PICTURE	0.3	0.23
	E-22	8' x 5'	PICTURE	0.3	0.23
PROPOSED ADDITION WINDOW SCHEDULE	01	2' X 4'	VERT. SLIDING	0.3	0.23
	02	2' X 4'	VERT. SLIDING	0.3	0.23
	03	4' X 6'	HOR. SLIDING	0.3	0.23
	04	3' X 4'	HOR. SLIDING	0.3	0.23
	05	4' X 5'	HOR. SLIDING	0.3	0.23
	06	2' X 6'-8"	PICTURE	0.3	0.23
	07	2' X 4'	VERT. SLIDING	0.3	0.23
	08	4' X 6'	HOR. SLIDING	0.3	0.23
	09	5' X 5'-6" 1'-8" X 5'-6"	BAY WINDOW	0.3	0.23
	10	4' X 6'	HOR. SLIDING	0.3	0.23
	11	4' X 1'-6"	HOR. SLIDING	0.3	0.23
	12	4' X 1'-6"	HOR. SLIDING	0.3	0.23
	13	2'-6" X 5'	PICTURE	0.3	0.23

NOTES
MAU: PLY GEM
COLOR: WHITE
GLASS TYPE: LOW-E/ DOUBLE GLASS
FRAME MATERIAL: VINYL
LOCK TYPE: CAM ACTION
GRID TYPE: NO GRID
WINDOW STYLE & TYPE TO MATCH EXISTING HOME
THE FOLLOWING GLAZING SHALL BE SAFETY.

ISSUED / REVISED	DATE

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DESIGNER:

DATE: 01/30/2025

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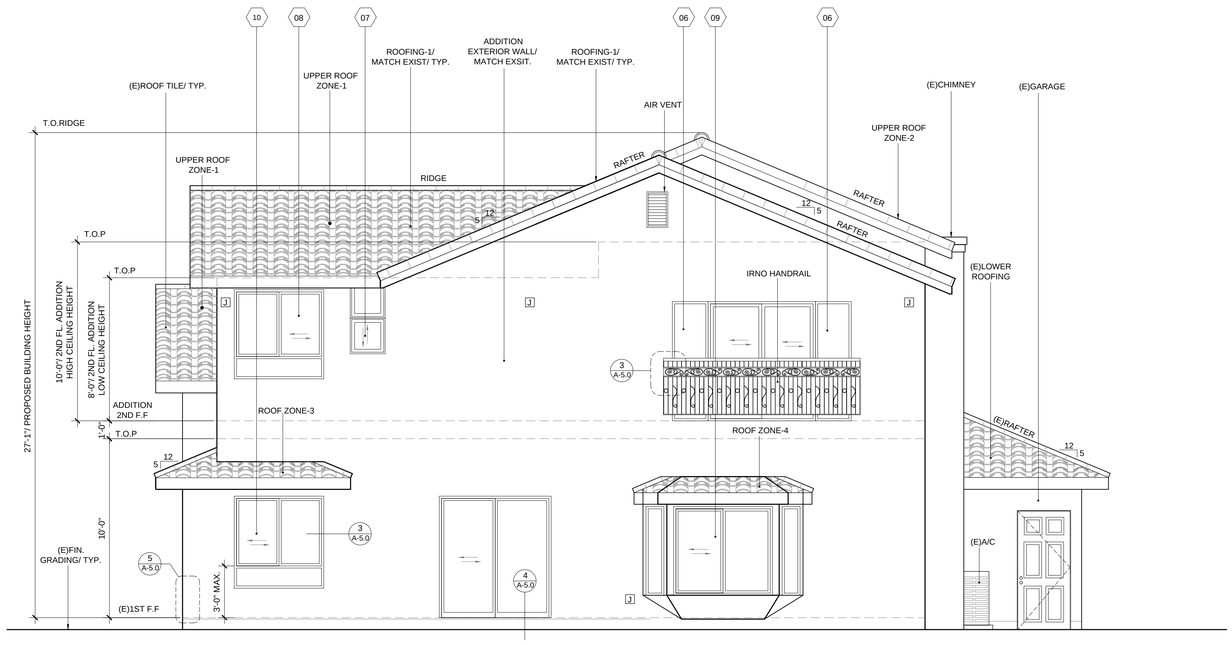
PROPOSED RESIDENTS ADU

PROPOSED ELEVATION

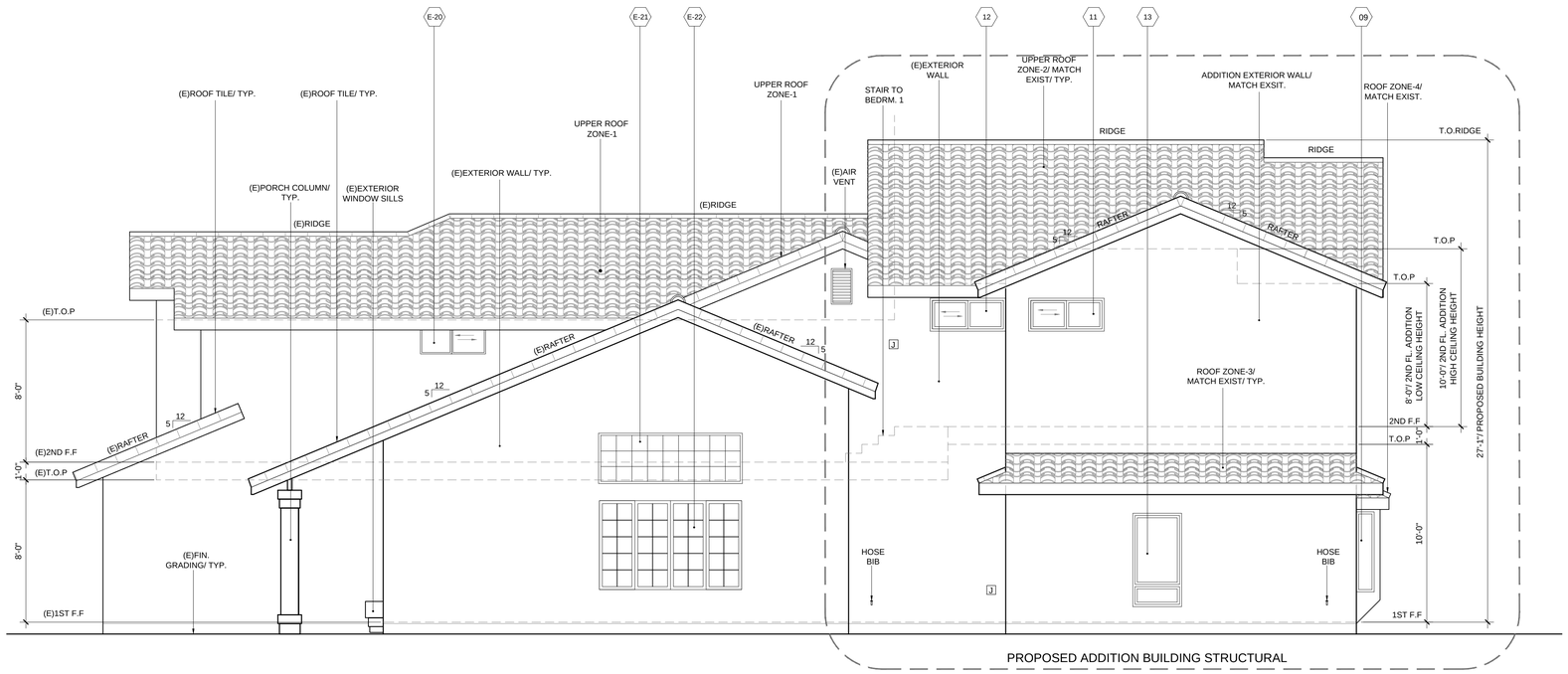
SHEET NUMBER

A- 4.1



1 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

ADDITION ELEVATION NOTES

1. REMOVED EXISTING SOUTH EXTERIOR WALL , PLUMBING AND POWER
2. CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY SHORING ON ALL BEAMS, WALLS, TRENCHES AND EXISTING BUILDING COMPONENTS DURING DEMOLITION AND CONSTRUCTION TO PROVIDE FULL STRUCTURAL STABILITY FOR VERTICAL AND LATERAL LOADS. SHORING SHALL NOT BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS INTENDED LOAD.
3. [J] ELECTRICAL JUNCTION BOX FOR FUTURE EXTERIOR SECURITY LIGHTS AND CAMERA

ISSUED / REVISED	DATE

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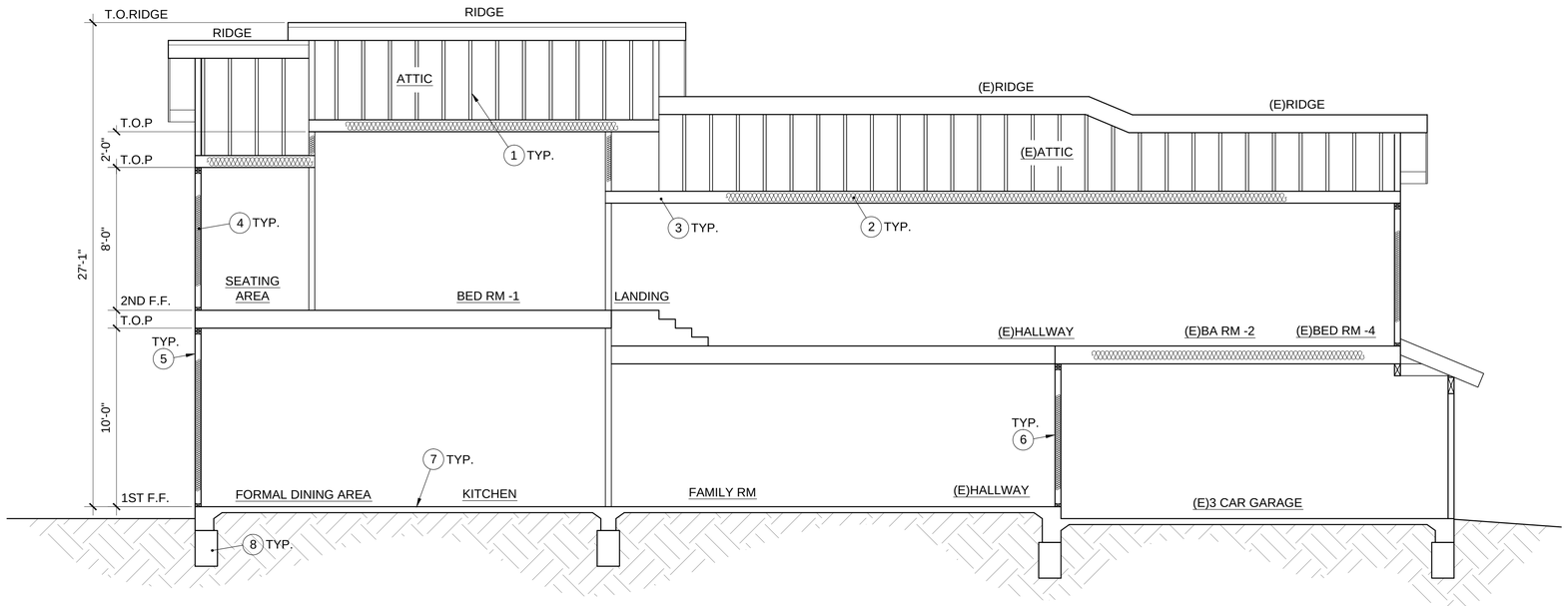
PROPOSED RESIDENTS ADU

PROPOSED ELEVATION

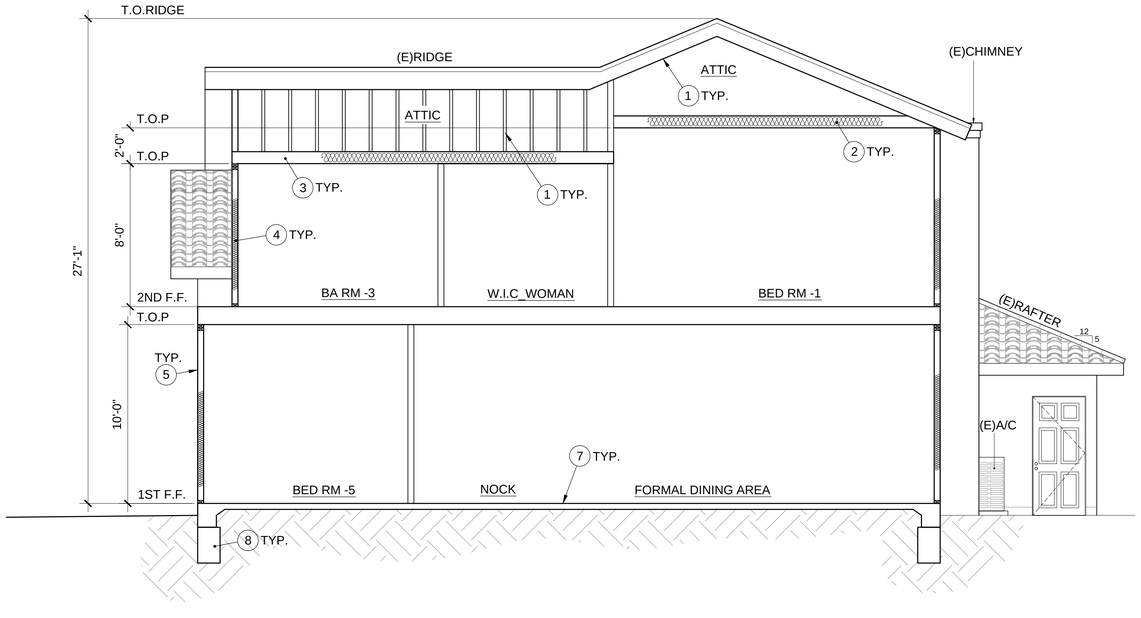
SHEET NUMBER

A- 4.2



1 PROPOSED BUILDING C-C SECTION

SCALE: 1/4" = 1'-0"



1 PROPOSED BUILDING 10-10 SECTION

SCALE: 1/4" = 1'-0"

SECTION KEY NOTES

1. 2X ROOF RAFTER (PER STRUCTURAL PLAN)
2. R-30 INSULATION @ R.R. OR C.J./ TYP.
3. 2X CEILING JOIST (PER STRUCTURAL PLAN)
4. R-15 INSULATION @ 2X STUDS/ TYP.
5. STUCCO OVER WIRE MESH W/ 2 LAYERS OF WATER RESISTANT BARRIER 30 LB FELT MIN.
6. 1 HR FIRE RATED INTERIOR WALL
7. FINISH CONC. SLAB
8. STRUCTURAL FOUNDATION (PER STRUCTURAL PLAN)

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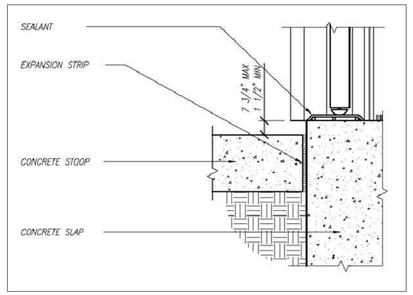
PROPOSED RESIDENTS ADU

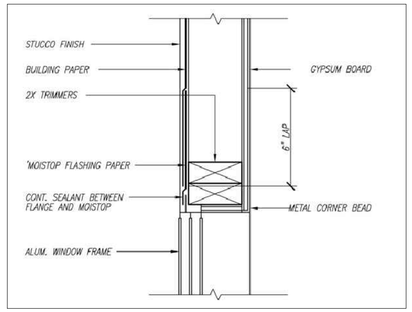
PROPOSED BUILDING SECTION

SHEET NUMBER

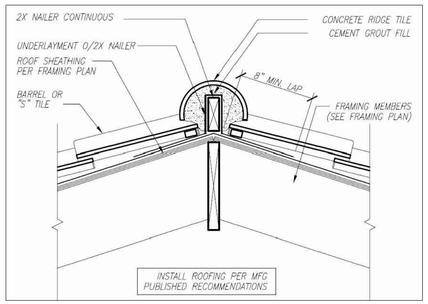
A- 4.3



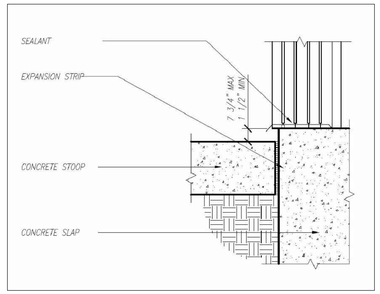
12 THRESHOLD AT WOOD DOOR
SCALE: N.T.S



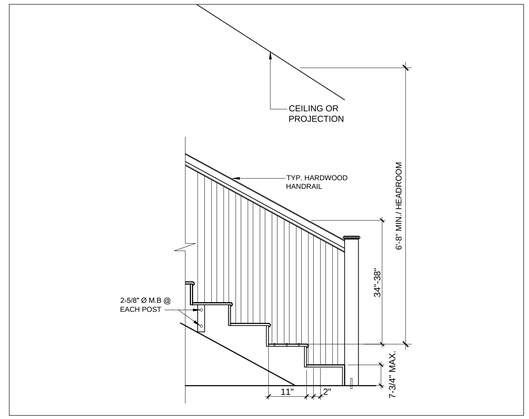
9 WINDOW JAMB
SCALE: N.T.S



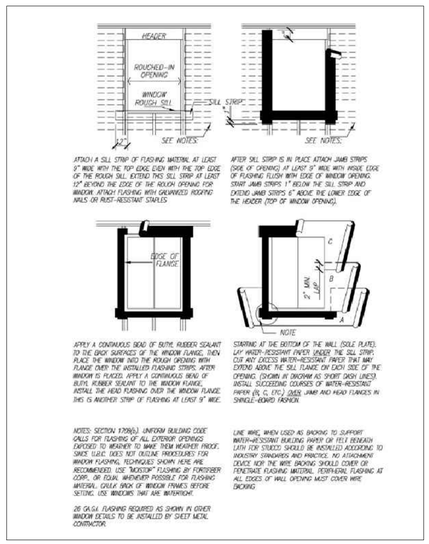
6 RIDGE/ HIP DETAIL
SCALE: N.T.S



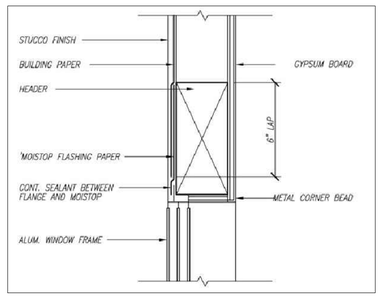
4 SILL AT SLIDING DOOR
SCALE: N.T.S



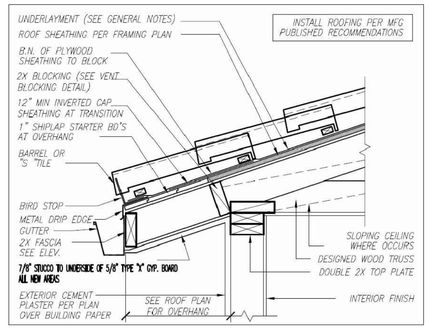
1 STAIRWAY SECTION DETAIL
SCALE: N.T.S



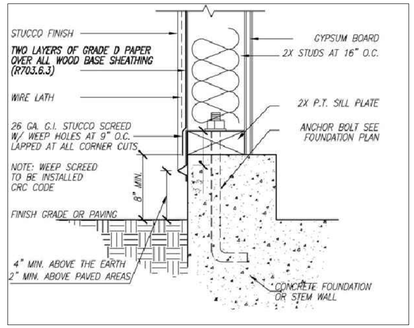
13 WINDOW FLASHING INSTALLATION
SCALE: N.T.S



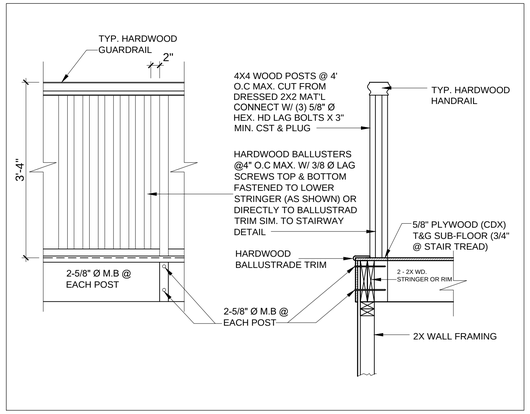
10 WINDOW HEAD
SCALE: N.T.S



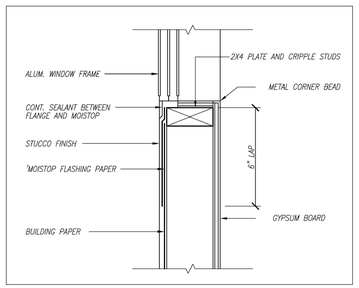
7 EAVE AT TRUSS- "S" TILE/ FIRE RATED
SCALE: N.T.S



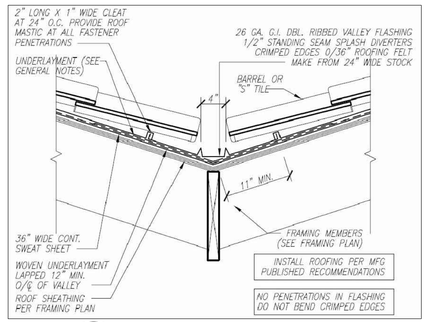
5 EXTERIOR STUCCO SCREED
SCALE: N.T.S



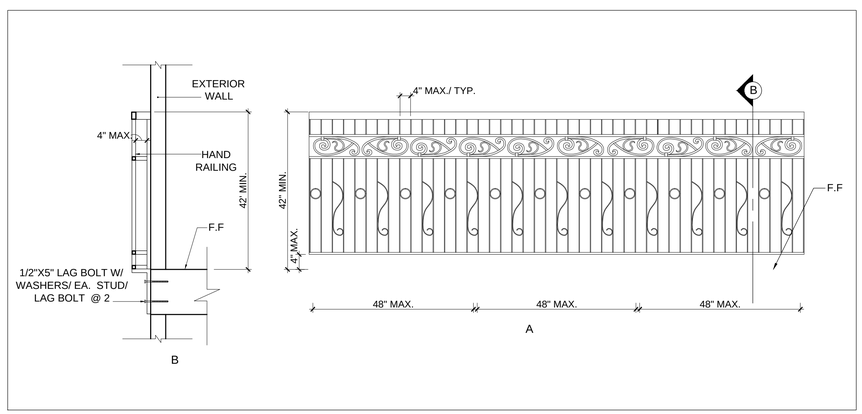
2 HANDRAILING DETAIL
SCALE: N.T.S



11 WINDOW SILL
SCALE: N.T.S



8 VALLEY DETAIL
SCALE: N.T.S



3 JULIET BALCONY DETAIL
SCALE: N.T.S

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PROPOSED RESIDENTS ADU

DETAIL

SHEET NUMBER

A- 5.0

10 OF 10