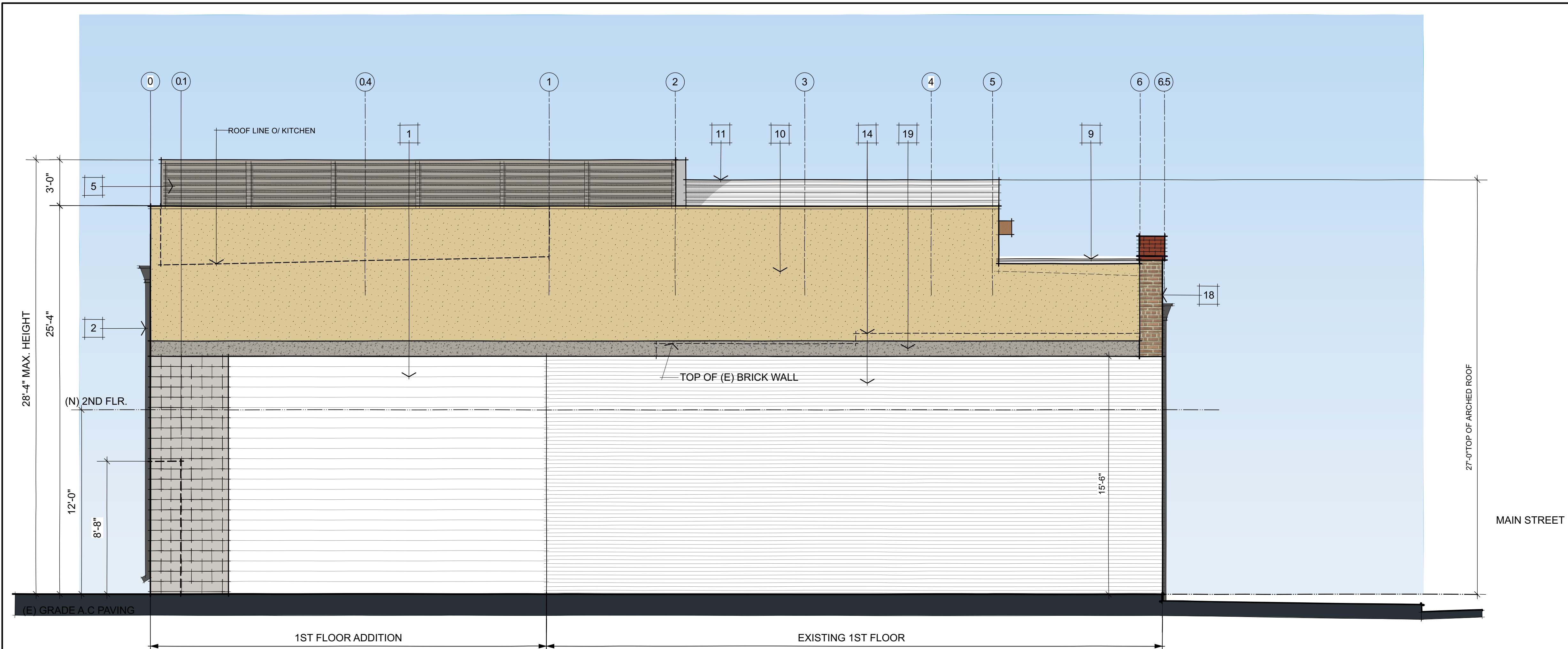


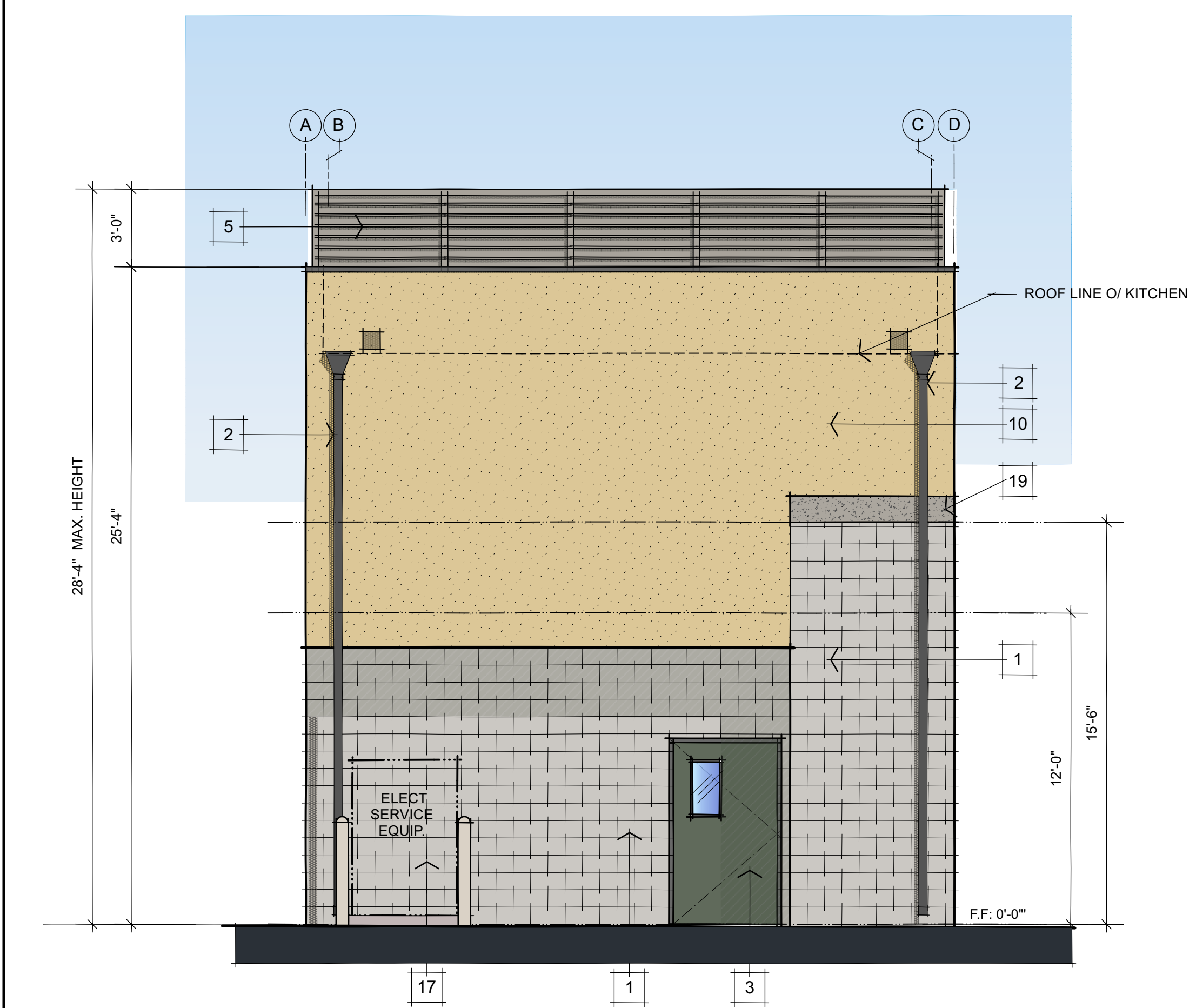
FEBRUARY 18, 2025 CITY COUNCIL MEETING

CONSENT CALENDAR ITEM NO. 8 – ENCROACHMENT ONTO CITY
PROPERTY REQUEST – 4893 MAIN STREET (THE “ARTISAN”, NICK SABA)

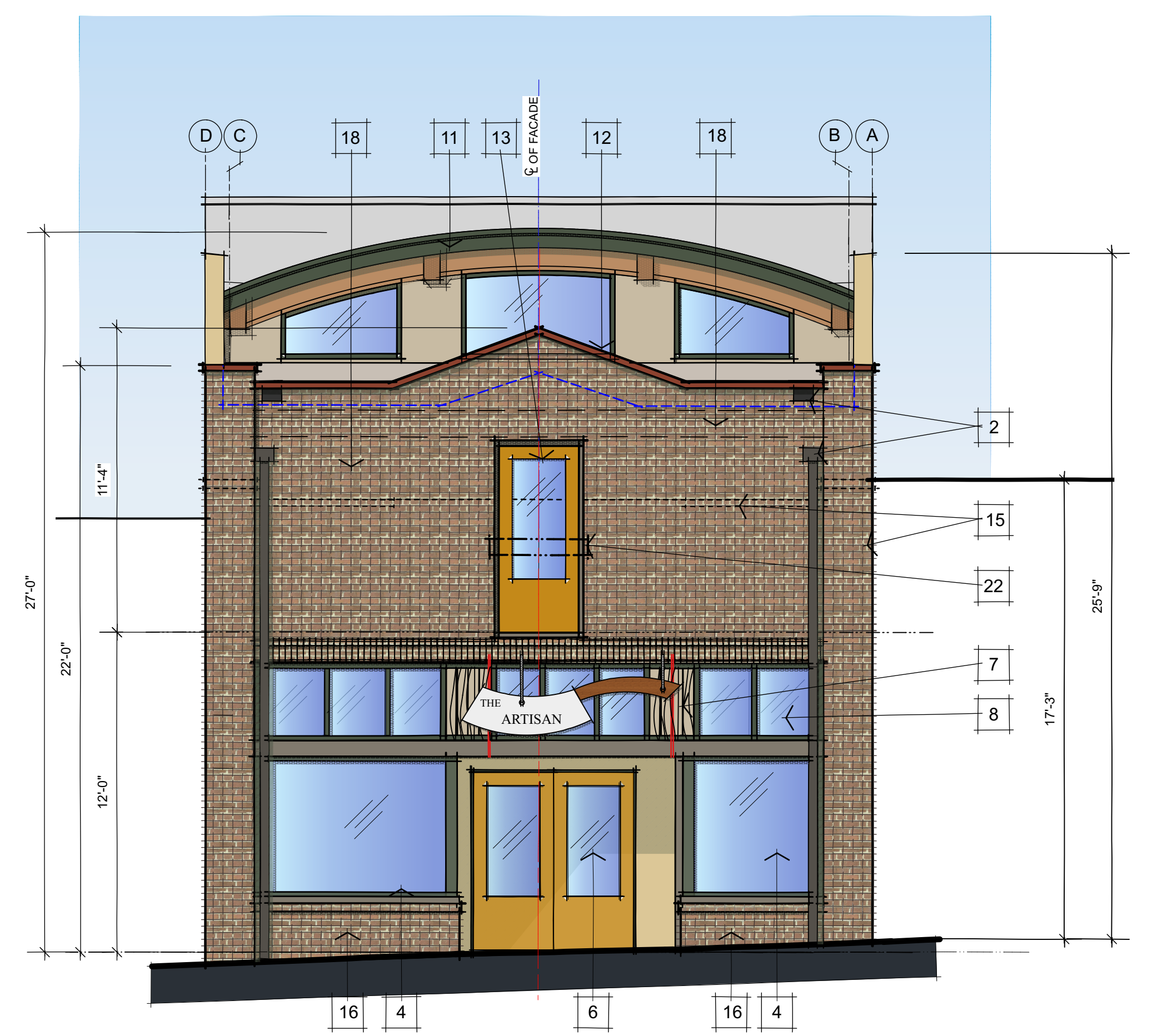
ADDITIONAL INFORMATION RECEIVED AFTER POSTING OF AGENDA



SOUTH ELEVATION



**WEST ELEVATION
(REAR ELEVATION)**



**EAST ELEVATION
(MAIN STREET ELEVATION)**
(E) HISTORIC FACADE TO REMAIN (ENTRY DOORS MODIFIED & AWNING REMOVED)

EXTERIOR ELEVATION KEY NOTES	
1	NEW CMU BLOCK WALL, PAINT FINISH, TYP.
2	NEW SCUPPER AND DOWNSPOUTS, PAINT TO MATCH ADJACENT SURFACE, TYP.
3	NEW FIRE RATED METAL DOOR AND FRAME WITH VISION PANEL.
4	EXISTING WOOD FRAMED STOREFRONT WINDOWS TO REMAIN, PROTECT-IN-PLACE, TYP.
5	NEW ROOFTOP MECHANICAL SCREEN, TYP.
6	NEW PAIR OF WOOD ENTRY DOORS WITH GLAZING PANEL, TYP.
7	NEW VERTICAL WOOD SIDING, TYP.
8	NEW TRANSOM WINDOWS AT ORIGINAL TRANSOM WINDOW LOCATION, TYP.
9	NEW CLASS "A" ASPHALT SHINGLE ROOF AT NEW SLOPED ROOF, TYP.
10	NEW 2-HR FRAMED WALL WITH PLASTER FINISH, PAINT FINISH, TYP.
11	NEW CLASS "A" ROLLED ROOFING AT ARCHED ROOF, TYP.
12	NEW BOW TRUSSES WITH CLERESTORY WOOD WINDOWS, TYP.
13	NEW WOOD DOOR WITH GLAZING PANEL AT FRONT FACADE AND FIXED IN PLACE, TYP.
14	EXISTING 8" MASONRY WALLS ALONG PROPERTY LINE TO BE LOWERED TO 15'-6", REFER TO NEW ELEVATIONS & STRUCT. DWGS. FOR ADD'L. INFO., TYP.
15	EXISTING BRICK FACADE TO REMAIN, PROTECT-IN-PLACE, U.N.O.; EXISTING PAINT SHALL BE REMOVED TO EXPOSE ORIGINAL BRICK, TYP.
16	EXISTING BRICK BULKHEAD TO REMAIN, PROTECT-IN-PLACE; REMOVE EXISTING PAINT FINSH, TYP.
17	NEW ELECTRICAL SERVICE METER, REFER TO ELECTRICAL PLANS FOR ADD'L. INFO., TYP.
18	NEW 2-HR RATED WOOD FRAMED WALL WITH BRICK VENEER TO MATCH EXISTING FACADE IN TYPE AND STYLE, TYP.
19	NEW CONCRETE BOND BEAM ON TOP OF EXISTING MASONRY WALL PER STRUCTURAL, TYP.
20	DASHED LINE INDICATES ARCHED ROOF BEYOND, TYP.
21	NEW (CLASS 'A') TPO ROOFING SYSTEM, TYP.
22	NEW 4 X 8 WOOD BARRIER AT 42" A.F.F. ON INSIDE OF DOOR, TYP.

thirtieth
street
architects
inc.
2821 newport blvd. newport beach,
california 92663 (949) 673-2643

JOHN C. LOOMIS
No. 8884
May 31, 2025
REN.
STATE OF CALIFORNIA

"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

NEW EXTERIOR ELEVATIONS
#21022
2/10/25 CITY REVIEW

A-3.1a



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

FIELD MEASURE, AS-BUILTS
EXISTING EXTERIOR ELEVATIONS

#21022

DECEMBER 4, 2021 START

DECEMBER 9, 2021 REVIEW

JANUARY 7, 2022 REVIEW

MAY 20, 2022 UPDATE

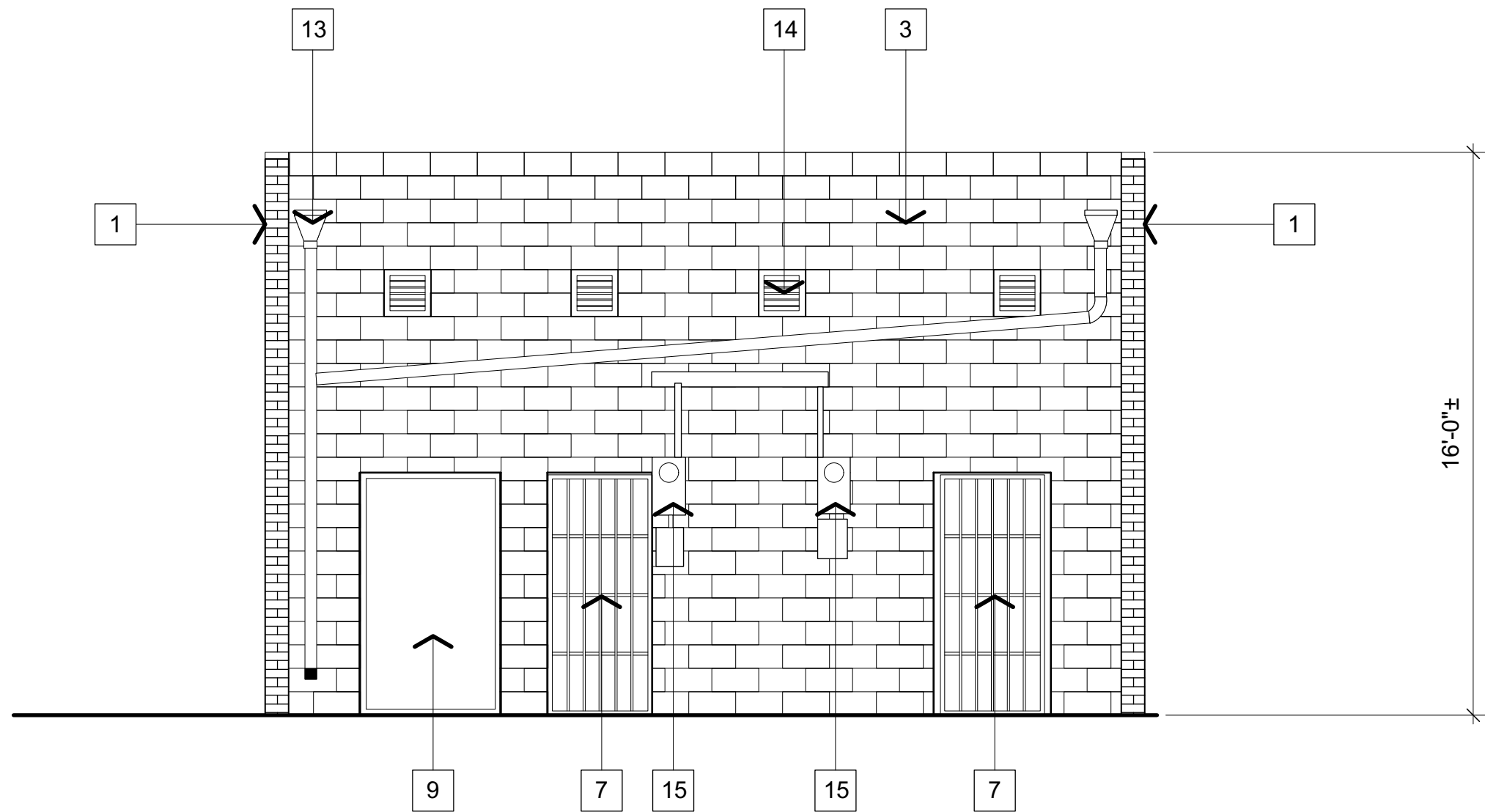
MAY 10, 2023
C.U.P. SUBMITTAL

2/10/25 CITY REVIEW

KEY NOTES

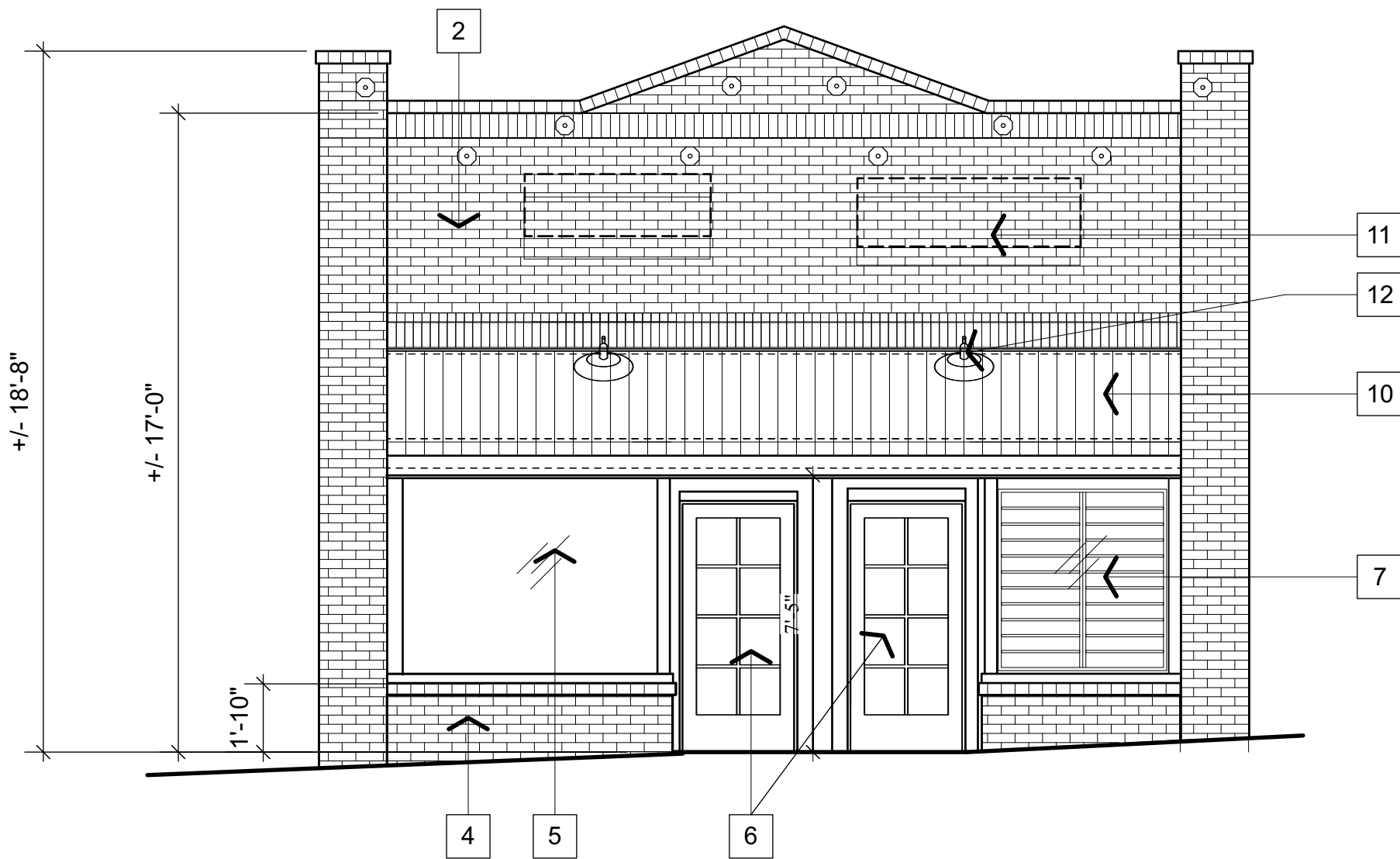
DESCRIPTION:

- 1 (E) 8" BRICK WALLS
- 2 (E) PAINTED BRICK WALL AT FRONT FACADE
- 3 (E) CMU WALL AT REAR FACADE: UNPAINTED PLAIN BLOCK
- 4 (E) BRICK BULKHEAD LEDGE FOR STOREFRONT
- 5 (E) WOOD FRAMED FIXED STOREFRONT SINGLE GLAZED
- 6 (E) ENTRANCE DOORS - WOOD FRENCH DOOR
- 7 (E) METAL SECURITY GRILL BEHIND STOREFRONT GLAZING
- 8 (E) METAL SECURITY SCREEN DOORS
- 9 (E) ROLL-UP DOOR
- 10 (E) CANVAS AWNING AND FORMER TRANSOM WINDOWS INFILLED WITH VERTICAL WOOD SIDING
- 11 (E) MERCHANT SIGNS - PAINTED WOOD
- 12 (E) EXTERIOR LAMPS
- 13 (E) SCUPPER DRAIN AND DOWNSPOUTS
- 14 (E) METAL LOUVERED ATTIC VENTS
- 15 (E) ELECT SERVICE METERS



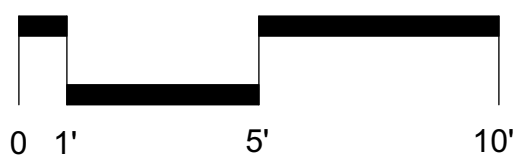
WEST ELEVATION

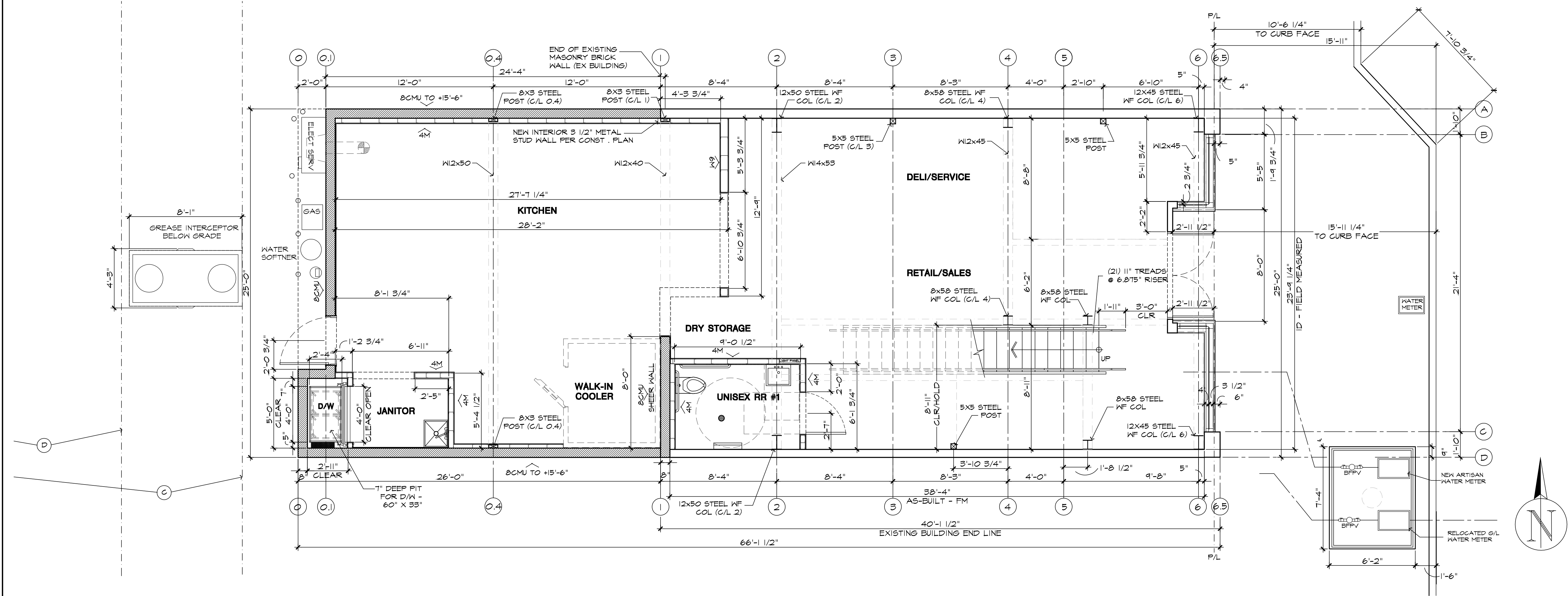
(E) ALL VERTICAL DIMENSIONS FROM PHOTOGRAPH - VERIFY



EAST ELEVATION

(E) ALL VERTICAL DIMENSIONS FROM PHOTOGRAPH - VERIFY

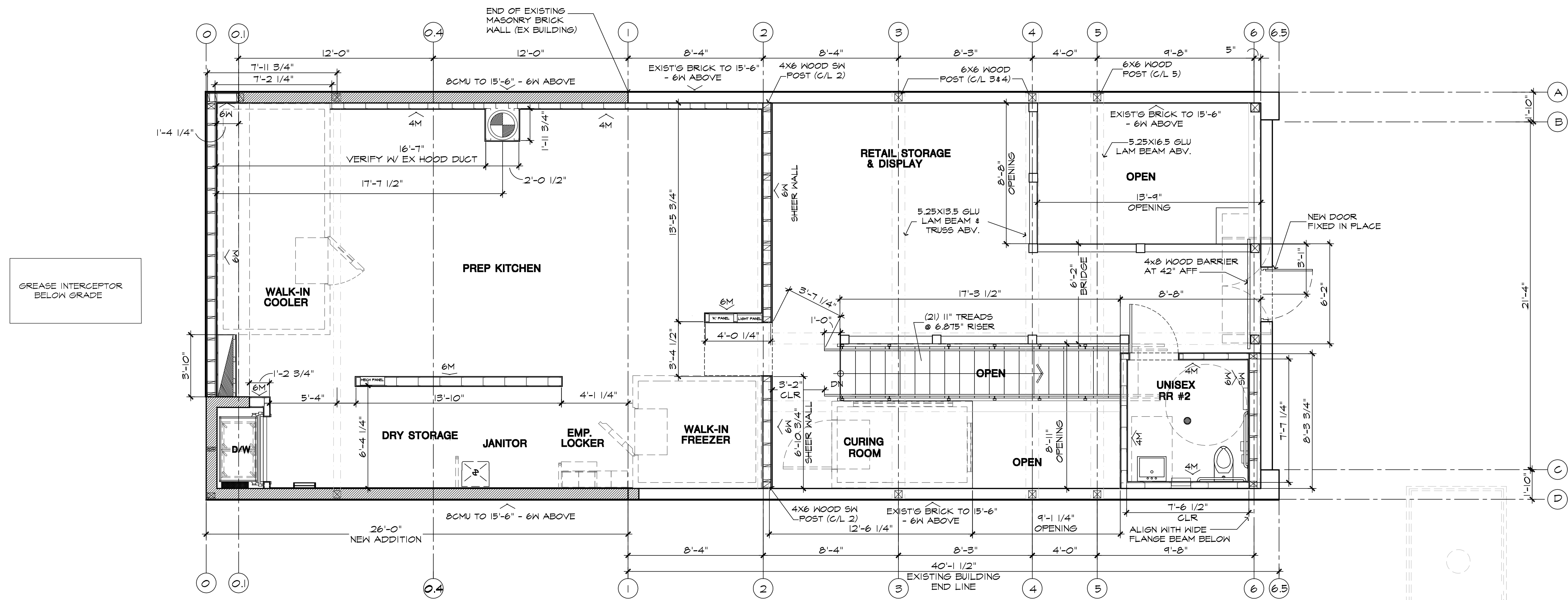




1ST FLOOR WALL PLAN

SCALE: 1/4"=1'-0"

A



2ND FLOOR WALL PLAN

SCALE: 1/4"=1'-0"

B

THE ARTISAN

4893 MAIN STREET
YORBA LINDA, CA 92886

Geoffrey Beckham Consulting, LLC
Food Service • Project Management

406 Myrtle Street Laguna Beach, CA 92651
(714) 387-1071 FAX (949) 715-5266

PROJECT

JOB NO. 22-012

DATE: 01/04/2023

SCALE: 1/4"=1'-0"

ISSUES/REVISIONS

05/22/24 - CLIENT COMMENTS

05/31/24 - RE-DISTRIBUTE TO ENGINEERS

06/28/24 - SUBMITTAL TO OCHD

08/28/24 - EXIT HALL, 2ND EXIT STAIRS & 2ND FLR RR

09/13/24 - REVSD SINGLE EXIT STAIRWAY & 2ND FLR RR

09/18/24 - REVSD SINGLE CENTER EXIT STAIRWAY & 2ND FLR RR

09/24/24 - SINGLE CENTER EXIT STAIRWAY & 2ND FLR RR

APPVD BY CITY

10/02/24 - OCHD PLAN CHECK COMMENT REVISIONS

12/13/24 - SUBMIT

2/10/25 - CITY REVIEW

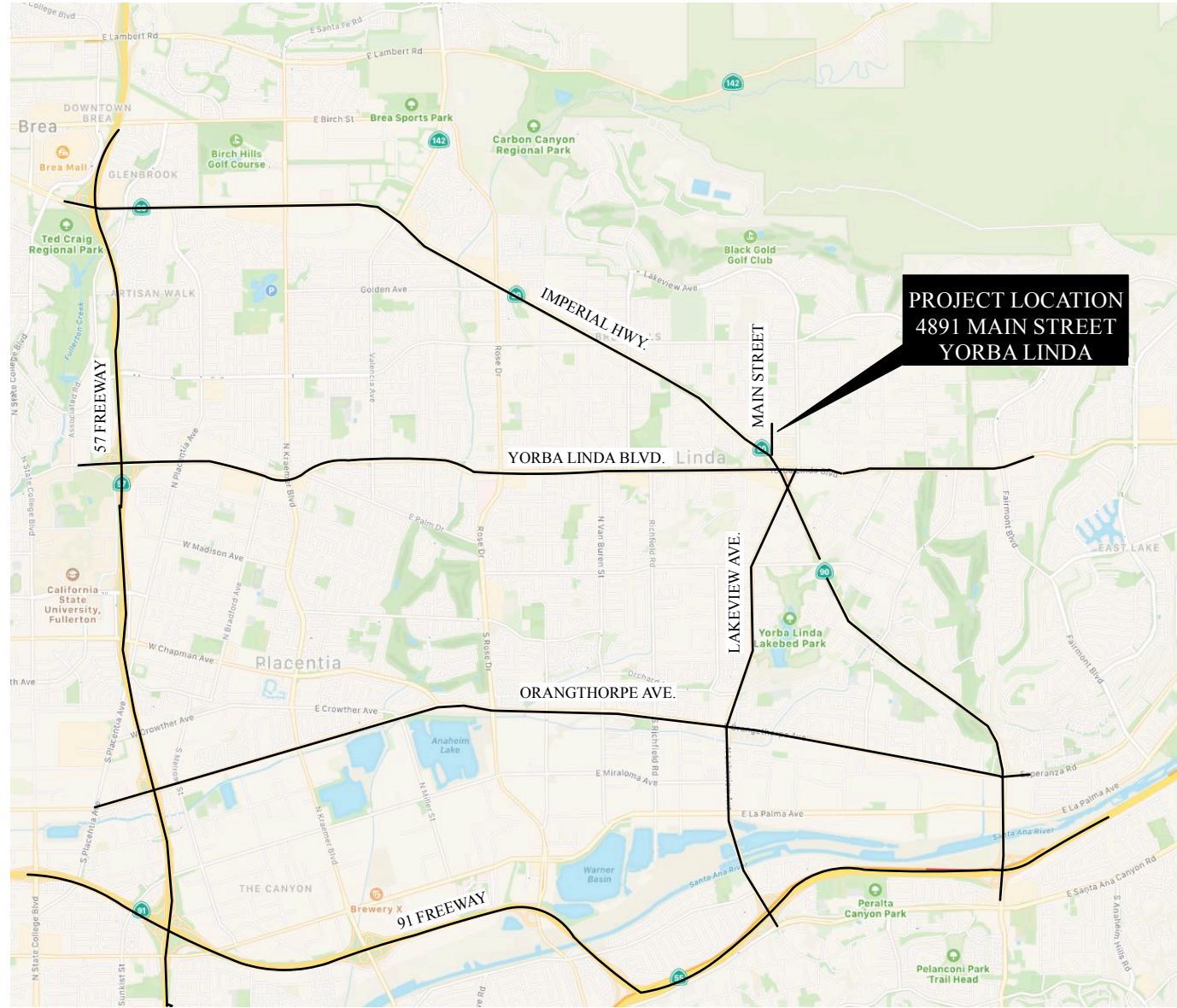
SHEET TITLE:

FLOOR PLAN AND WALL DIMENSIONS

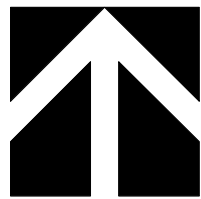
SHEET NO.

A-2.1

02-10-25 - CIVIL



VICINITY MAP
N.T.S.

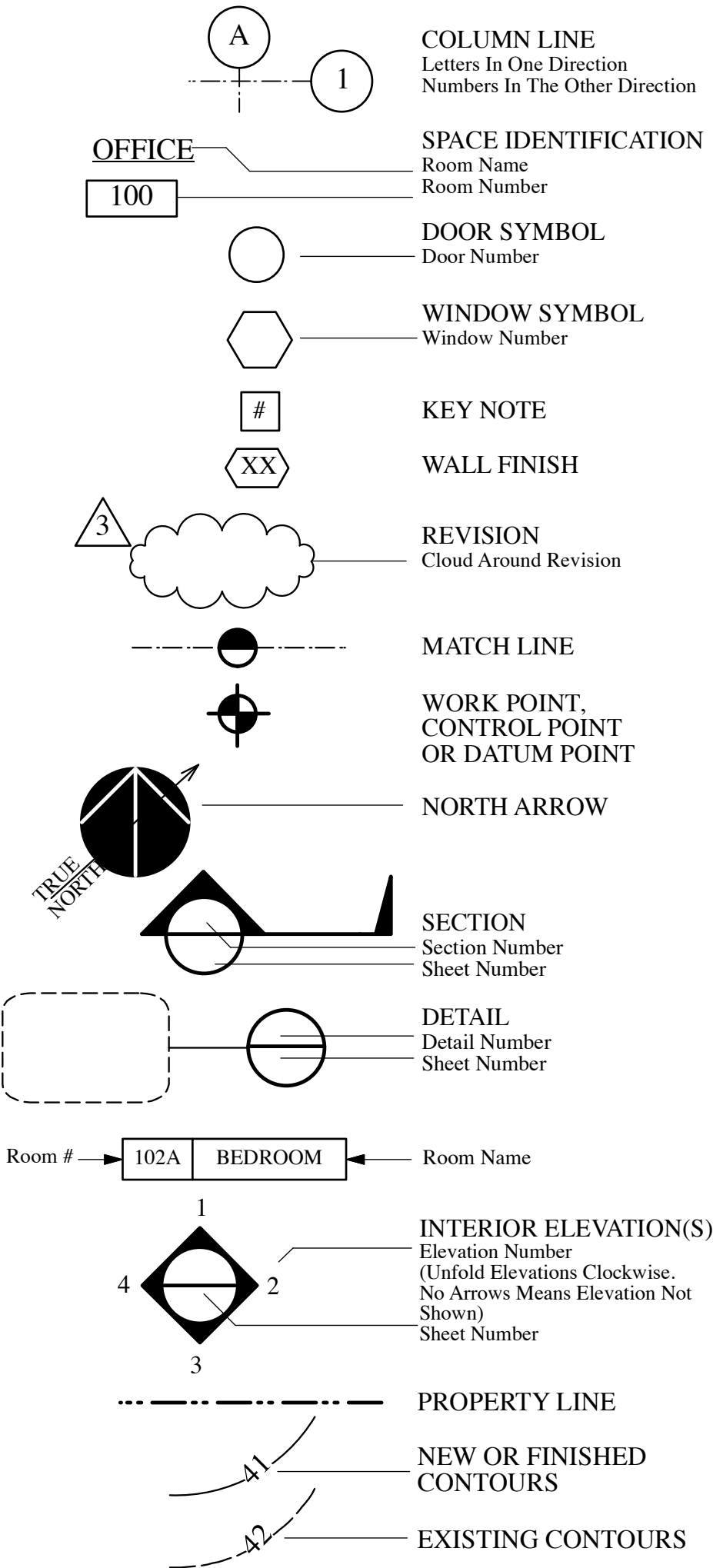


PRELIMINARY DESIGN

ABBREVIATIONS

AD	area drain	HT	height
ADD	addendum	H.M.	hollow metal
ADJ	adjacent	LAM PLAS	laminated plastic
AFF	above finish floor	MAX	maximum
ALUM	aluminum	MIN	minimum
AP	access panel	MET	metal
ARCH	architect(ural)	MTD	mounted
BC	base cap	N	new
BLDG	building	NTS	not to scale
BLK'G	blocking	O.C.	on center
BD	board	O/	over
BM	beam	PA	planter area
CAB	cabinet	PC	post cap
CLG	ceiling	PLAS	plaster
CLR	clear	PLYWD	plywood
CJ	control joint	PT	paint
CK	caulking	REQ'D	required
CPT	carpet	RB	rubber base
CT	ceramic tile	RM	room
CIR	circle	RO	rough opening
CONC	concrete	SCHED	schedule
DECK'G	decking	SHTH'G	sheathing
DP	deep	SHWR	shower
DWG(S)	drawing(s)	SQ	square
E	existing	STRUCT	structural
EA	each	ST	stone
EL	elevation	T	tempered
EQ	equal	THK	thick(ness)
ELECT	electrical	TOW	top of wall
EJ	expansion joint	TYP	typical
EXT	exterior	V	vinyl
FAB	fabricated	W/	with
FOF	face of finish	WI	wrought iron
FIN	finish	WD	wood
FE	fire extinguisher	WRGB	water-resistant gypsum board
FLR	floor		
FRAM'G	framing		
FRP	fiberglass reinforced plastic panels		
FT	foot		
FTG	footing		
GA	gage, gauge	0	diameter
GV	galvanized	@	at
GYP. BD.	gypsum board	&	and

SYMBOLS



PROJECT SUMMARY

PROJECT ADDRESS:
4893 MAIN STREET
YORBA LINDA, CA 92886

DESCRIPTION OF WORK:
REMODEL (E) BUILDING, ADD REAR ADDITION AND
NEW SECOND FLOOR . ADD SECOND FLOOR DINING DECK.

TYPE OF CONSTRUCTION: VN

OCCUPANCY: A-2

NO OF STORIES: 2 STORY

GENERAL PLAN DESIGNATION:

ZONING:

A.P. #: 323-304-14

LEGAL DESCRIPTION:
SEE SHEET EX-1.0 SITE PLAN FOR INFO.

PROJECT DATA:
SITE AREA: 2,500 sf (.057 AC)
BUILDING AREA (FOOTPRINT): 1650 SF
LOT COVERAGE: 66 %
PARKING: 0 SPACES, PUBLIC PARKING ALONG MAIN STREET
EXISTING HANDICAP PARKING SPACE ADJ. TO PROPERTY
SELF SERVICE DINING & RETAIL SHOP:

TOTAL SEATING:(SELF-SERVICE)
1ST FLOOR OUTDOOR PATIO: 20 SEATS
2ND FLOOR & OUTDOOR DECK: 29 SEATS MAX.

BUILDING AREAS:

FLOOR:	EXISTING:	PROPOSED:
FIRST FLOOR:	975 SF.	975 SF .
1ST FLOOR ADDITION:		609 SF.
2ND FLOOR ADDITION:		1650 SF.
2ND FLOOR DECK ADDITION:		(368) SF.
TOTAL ENCLOSED AREA:	975 SF.	3234 SF.

PROJECT TEAM

OWNER
NICK SABA
PH:
EMAIL:terraculinary@gmail.com
CONTACT: Nick Saba

ARCHITECT
THIRTIETH STREET ARCHITECTS, INC.
2821 NEWPORT BLVD.
NEWPORT BEACH, CA 92663
PH:(949) 673-2643
EMAIL: tsainc@aol.com
CONTACT: John Loomis

SURVEYOR
ANACAL ENGINEERING COMPANY
1211 NORTH TUSTIN AVE.
ANAHEIM, CA 92807
PH: 714-774-1763
FX: 714-774-4590
EMAIL:anacal@anacalengineering.com
CONTACT:

STRUCTURAL ENGINEER

SHUCRI (CHUCK) YAGHI
STRUCTURAL ENGINEERING
112 E. CHAPMAN AVE SUITE D
ORANGE, CA 92866
PH: 714-997-9120
EMAIL:yaghi-engineers@live.com
CONTACT: Shucri Yaghi

MECH. PLUMB. ELECT.

WINSTON ENGINEERING INC.
23905 CLINTON KEITH ROAD, #114
WILDOMAR,CA 92595
PH: 951-902-6600
EMAIL:Nick@winstoneng.com
CONTACT: Nick Corley

EXISTING PARKING : 0 SPACES
PROPOSED PARKING : 0 SPACES

SHEET INDEX

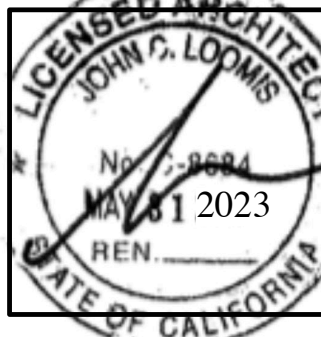
CVR-1	COVER SHEET
1 of 1	TOPOGRAPHIC SURVEY
A-1.0	PROPOSED SITE PLAN
A-2.1	PROPOSED 1ST FLOOR PLAN
A-2.2	PROPOSED 2ND FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-3.1	PROPOSED EXTERIOR ELEVATIONS
A-3.1A	PROPOSED EXTERIOR ELEVATIONS COLORED
A-4.1	PROPOSED BUILDING SECTIONS
A-5.1	PERSPECTIVE SKETCHES

(FIELD MEASURE- AS-BUILTS)

EX-1.0	EXISTING SITE PLAN
EX-2.1	EXISTING FIRST FLOOR PLAN
EX-3.1	EXISTING EXTERIOR ELEVATIONS
EX-4.1	EXISTING BUILDING SECTIONS

thirtieth
street
architects
inc.

2821 newport blvd. newport beach,
california 92663 (949)673-2643



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
COVER SHEET

#21022

DECEMBER 4, 2021 START

DECEMBER 9, 2021 REVIEW

JANUARY 7, 2022 REVIEW

MAY 20, 2022 UPDATE

FEBRUARY 5, 2023 RE-DESIGN

MAY 4, 2023 REVIEW

MAY 10, 2023

C.U.P. SUBMITTAL

LEGEND

	— FIRE HYDRANT	AC	— ASPHALT PAVEMENT
	— EDGE PAVEMENT	BFD	— BACK FLOW DEVICE
	— WATER VALVE	EG	— EDGE OF GUTTER
	— METER, PULL BOX	FC	— FINISHED CONCRETE
	— SIGN	GP	— GUARD POST
	— CONCRETE	L	— LOT LINE
	— BLOCK WALL	PL	— PROPERTY LINE
	— STREET LIGHT	R/W	— RIGHT OF WAY
	— HANDICAP STALL	SCO	— SEWER CLEAN OUT
	— CHAINLINK FENCE	TC	— TOP OF CURB
		TX	— TOP OF X

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF MAIN STREET BEARING NORTH 00°17'54" EAST AS SHOWN ON RECORD OF SURVEY MAP NO. 2020-1057 BOOK 313 PAGE 34 RECORDS OF SAID COUNTY.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 45, NEWMARK TRACT, IN THE CITY OF YORBA LINDA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:
A NON-EXCLUSIVE EASEMENT FOR PARKING AND PUBLIC UTILITY PURPOSES, INCLUDING NOT LIMITED TO SEWERS, CESSPOOLS, SEPTIC TANKS, WATER, ELECTRIC GAS AND TELEPHONE INSTALLATIONS SUBSTANTIALLY ALONG PROPERLY LINES, OVER:

THAT PORTION OF LOT 40 OF SAID NEWMARK TRACT, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER OF SAID LOT 40; THENCE ALONG THE EASTERLY LINE OF SAID LOT 40, A DISTANCE OF 25.65 FEET THENCE IN A STRAIGHT LINE SOUTHWESTERLY TO A POINT IN THE SOUTHWESTERLY LINE OF LOT 40 DISTANT THEREON NORTH 43° 26' 39" WEST 25 FEET FROM THE SOUTHERLY CORNER OF LOT 40; THENCE SOUTH 43° 26' 39" EAST 25 FEET TO THE POINT OF BEGINNING.

THE WESTERLY 44 FEET OF LOTS 43, 45, 46 AND THE WESTERLY 44 FEET OF THE SOUTHERLY 3 INCHES OF LOT 47 OF THE NEWMARK TRACT AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, THE WESTERLY 30 FEET OF LOT 44 OF THE NEWMARK TRACT, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 323-304-14

BENCHMARK INFORMATION

BENCHMARK NO. 2A-36-70 (COUNTY OF ORANGE)

DESCRIPTION: DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2A-36-70", SET IN THE TOP OF A CONCRETE HEADWALL. MONUMENT IS LOCATED IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF YORBA LINDA BOULEVARD AND OHIO STREET, 18 FEET WESTERLY OF THE WESTERLY CURB ALONG OHIO, 50 FEET SOUTHERLY OF THE SOUTH SOUTHWESTERLY CURB RETURN IN A LARGE GRASS FIELD IN FRONT OF UNITED METHODIST CHURCH. MONUMENT IS SET 2.0 FEET, BELOW THE SURFACE OF OHIO STREET.

ELEVATION: 431.30 FEET (2006) NAVD88

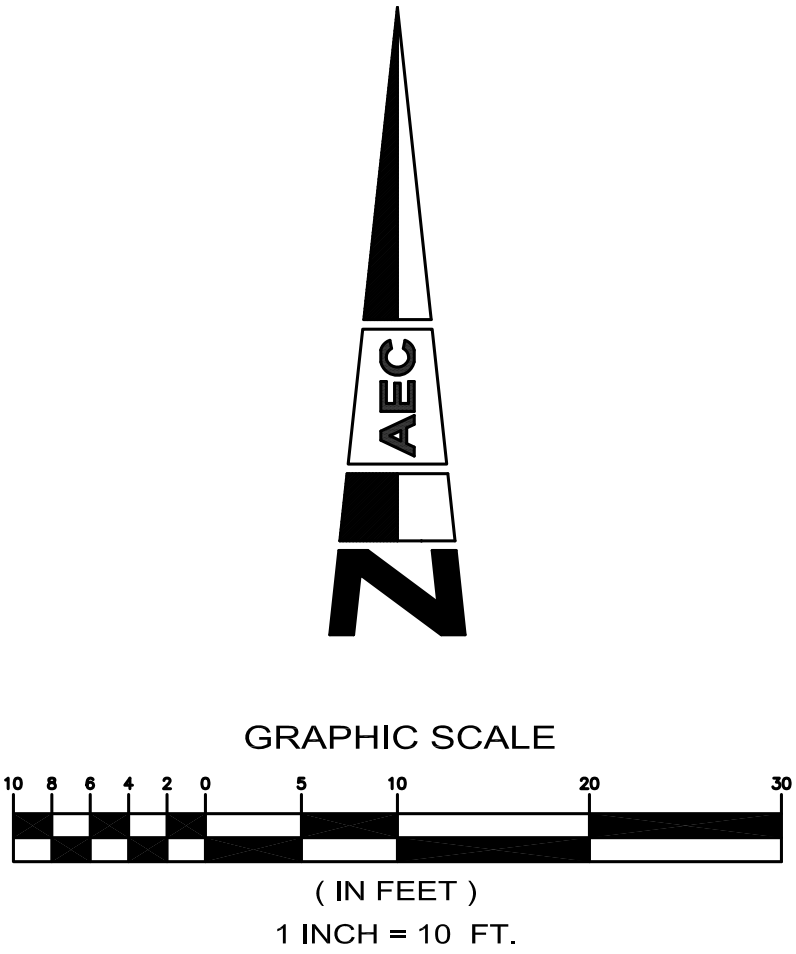
FLOOD ZONE INFORMATION

ZONE: 'X'
AREA OF MINIMAL FLOOD HAZARD

PANEL NO. 06059C 0064J

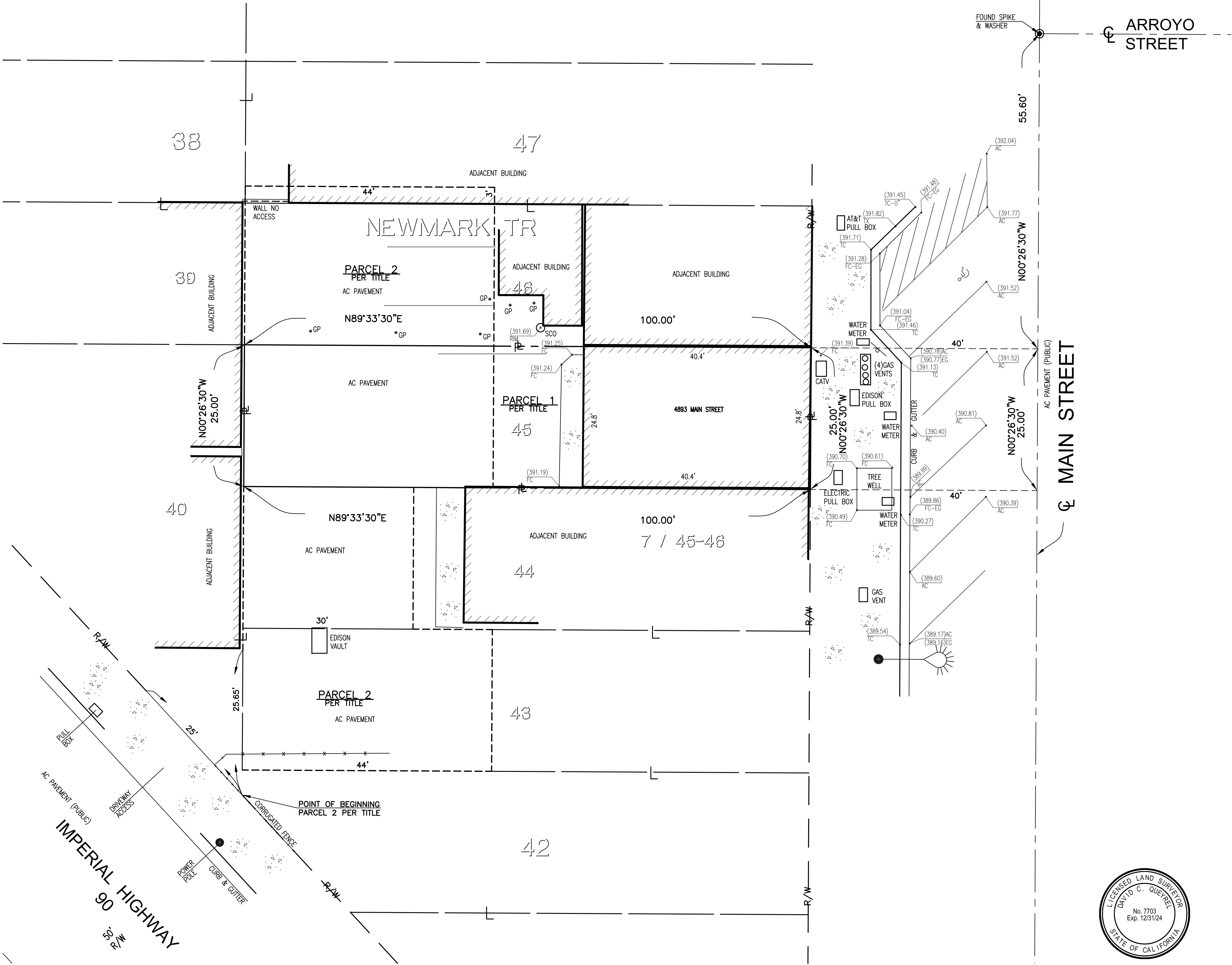
DATED: DECEMBER 3, 2009

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



GENERAL NOTES

1. SURVEYOR HAS RELIED UPON INFORMATION SUPPLIED IN THE TITLE REPORT BY WFG NATIONAL TITLE COMPANY REPORT NO. 21-227763 DATED AUGUST 12, 2021 TO DISCLOSE RECORD EASEMENTS THAT BURDEN OR BENEFIT THIS PROPERTY. **NOTE THE TITLE REPORT IS OLDER THAN NINETY (90) DAYS.**
2. MONUMENTATION WAS NOT FOUND OR SET AT THE PROPERTY CORNERS UNLESS NOTED OTHERWISE.
3. ASSESSORS PARCEL NUMBER FOR THIS PROPERTY IS 323-304-14.
4. BEARINGS AND DISTANCES ARE RECORD AND MEASURED PER SURVEY MAP NO. 2020-1057, RECORDS OF SAID COUNTY, UNLESS NOTED OTHERWISE.
5. THIS PLAN AND/OR DATA FILES INCLUDING ALL CONTENTS HEREIN ARE FOR THE SOLE USES AND PARTIES INDICATED HEREON INCLUDING THEIR SUCCESSORS AND ASSIGNS. ANY DEVIATION OR MISUSES OF THIS PLAN AND/OR DATA FILES WITHOUT PRIOR WRITTEN AGREEMENTS BY ANACAL ENGINEERING IS PROHIBITED AND IS THE RESPONSIBILITY OF THE PARTIES USING SAID DRAWING AND/OR DATA FILES, UPON THE REUSE OF THIS PLAN AND/OR DATA FILES ANACAL ENGINEERING RELINQUISHES ALL RESPONSIBILITIES OF THE ACCURACY AND GENERAL CONTENT OF SAID PLAN AND/OR DATA FILES CONTAINED HEREIN.
6. THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS AND ABOVE GROUND OBSERVANCE. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
7. THERE WAS NO RESEARCH DONE AT THE CITY'S &/OR COUNTY'S PUBLIC WORKS DEPARTMENTS TO INDICATE THAT THERE ARE ANY CHANGES IN THE STREET RIGHT OF WAY LINES AS SHOWN HEREON. FURTHERMORE THERE IS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSION TO VERIFY THIS INFORMATION PRIOR TO ANY FUTURE DESIGN WORK.
8. IF UNDERGROUND UTILITIES OR OTHER STRUCTURES, ZONES, SETBACK AND/OR STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION DUE TO CHANGED CONDITIONS NOT REFLECTED IN THE STANDARD RESEARCH PERFORMED FOR THIS PROJECT. ANY USER OF SAID INFORMATION ARE URGED TO CONTACT THE UTILITY COMPANY OR LOCAL AGENCY DIRECTLY.
9. SURVEYOR DOES NOT ASCERTAIN OWNERSHIP OF FENCES AND PERIMETER WALLS.



PROJECT ENGINEER

ANACAL ENGINEERING COMPANY

CIVIL ENGINEERING & LAND SURVEYING

1211 NORTH TUSTIN AVENUE ~ ANAHEIM, CALIFORNIA 92807

PHONE: (714) 774-1763 FAX: (714) 774-4690

E-MAIL ADDRESS: anacal@anacalengineering.com

WEB SITE: anacalengineering.com

DATE

5/4/23

SCALE

1" = 10'

DRAWN

M. L.

CHECKED

D. C. Q.

SHEET TITLE

TOPOGRAPHIC SURVEY

PROJECT

4893 MAIN STREET

SHEET NO.

1 OF 1

JOB NO. 23-046T

YORBA LINDA, CALIFORNIA

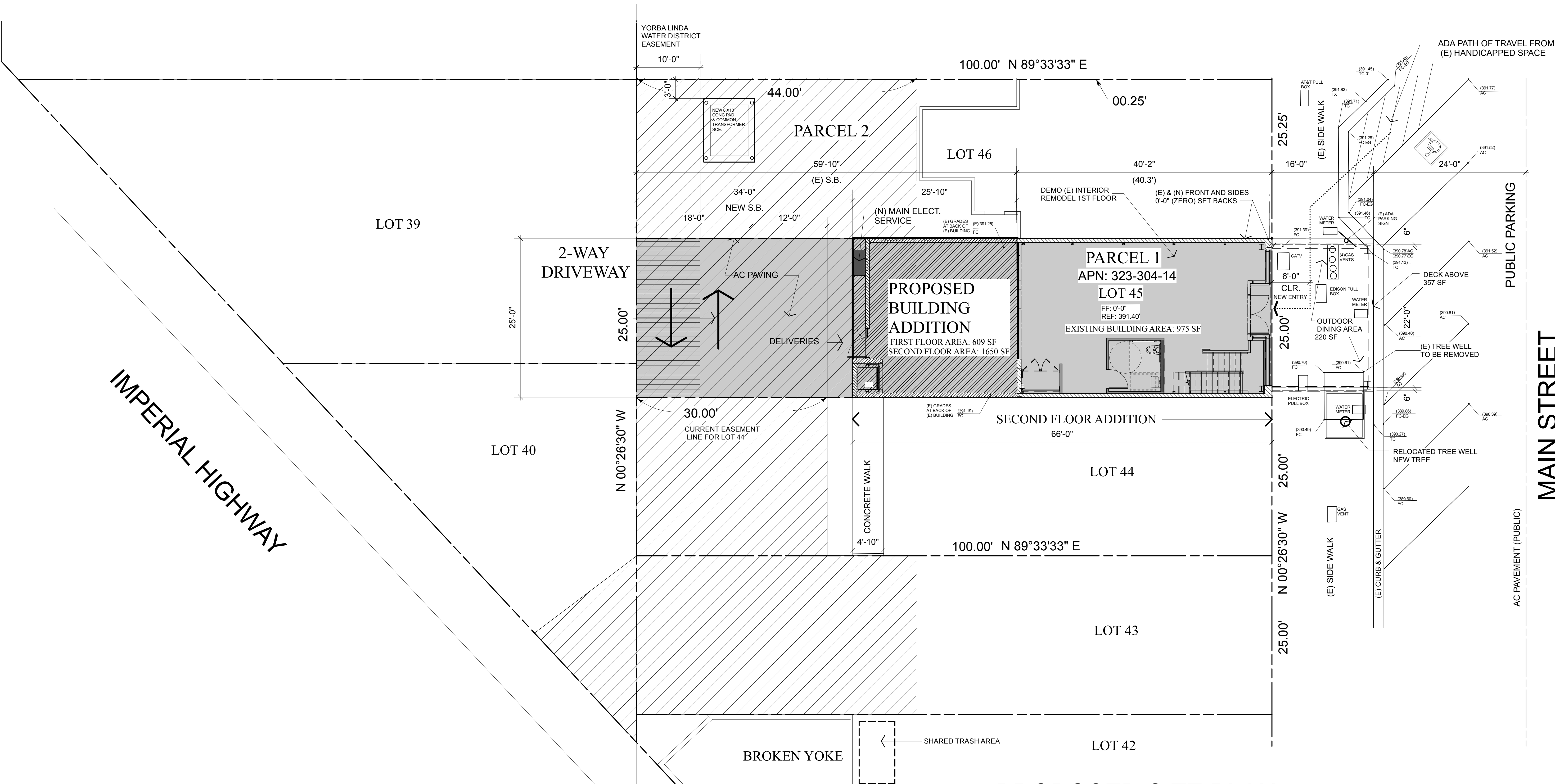


EXHIBIT "A"
LEGAL DESCRIPTION

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A NON- EXCLUSIVE EASEMENT FOR PARKING AND PUBLIC UTILITY PURPOSES, INCLUDING NOT LIMITED TO SEWERS, CESSPOOLS, SEPTIC TANKS, WATER, ELECTRIC GAS AND TELEPHONE INSTALLATIONS SUBSTANTIALLY ALONG PROPERLY LINES, OVER THAT PORTION OF LOT 40 OF SAID NEWMARK TRACT, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER OF SAID LOT 40; THENCE ALONG THE EASTERLY LINE OF SAID LOT 40, A DISTANCE OF 25.65 FEET THENCE IN A STRAIGHT LINE SOUTHWESTERLY TO A POINT IN THE SOUTHWESTERLY LINE OF LOT 40 DISTANT THEREON NORTH 43° 26' 39" WEST 25 FEET FROM THE SOUTHERLY CORNER OF LOT 40; THENCE SOUTH 43° 26' 39" EAST 25 FEET TO THE POINT OF BEGINNING.

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APN: 323-304-14

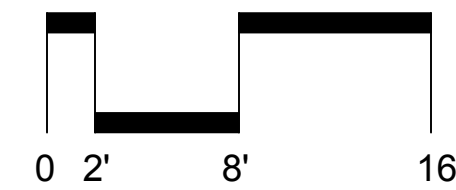
SITE DATA:

	EXISTING:	PROPOSED:
FRONT SETBACK:	0'-0"	0'-0"
SIDE SETBACKS:	0'-0"	0'-0"
REAR SETBACK:	59'-10"	34'-0"

PROPOSED SITE PLAN

LEGEND

- PARCEL 1: PROPERTY IN QUESTION
- PARCEL 2: EASMENT
- EASMENT FOR SEWER PIPE
- PROPOSED ADDITION AT FIRST FLOOR

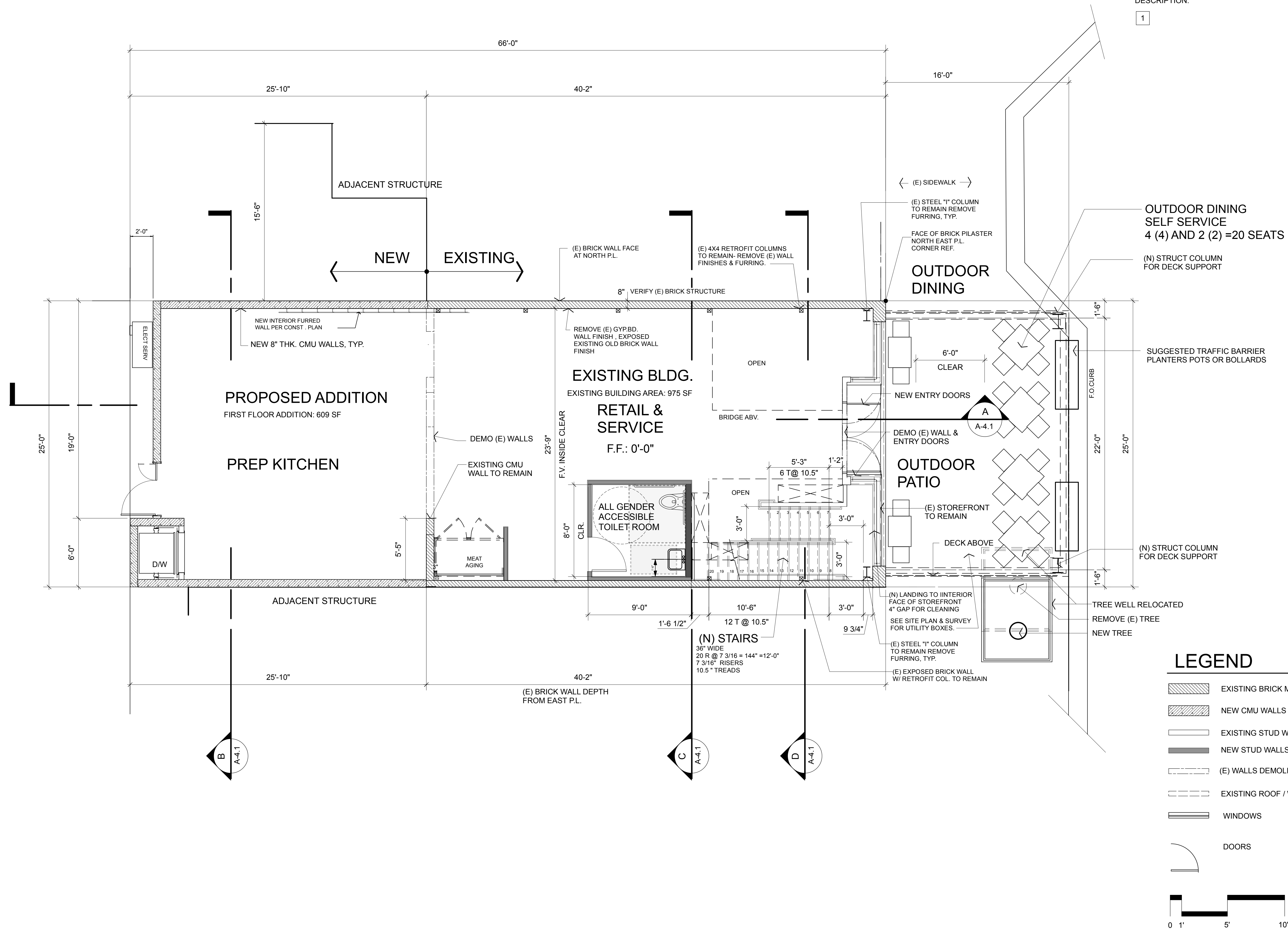




KEY NOTES

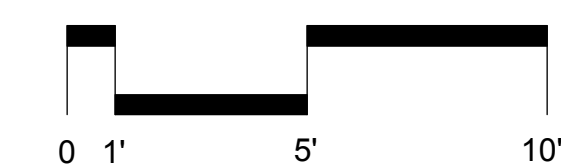
DESCRIPTION:

1



LEGEND

- EXISTING BRICK MASONRY WALLS
- NEW CMU WALLS
- EXISTING STUD WALLS
- NEW STUD WALLS
- (E) WALLS DEMOLISHED
- EXISTING ROOF / WALLS ABOVE
- WINDOWS
- DOORS





"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
PROPOSED SECOND FLOOR PLAN

#21022

DECEMBER 4, 2021 START
FEBRUARY 5, 2023 RE-DESIGN
MARCH 22, 2023
DESIGN REVISION
MAY 4, 2023
REVIEW
MAY 10, 2023
C.U.P. SUBMITTAL

A-2.2

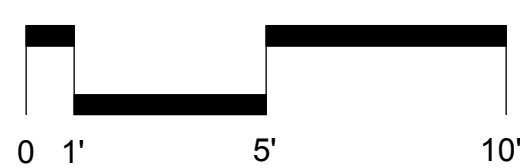
KEY NOTES

DESCRIPTION:

1

LEGEND

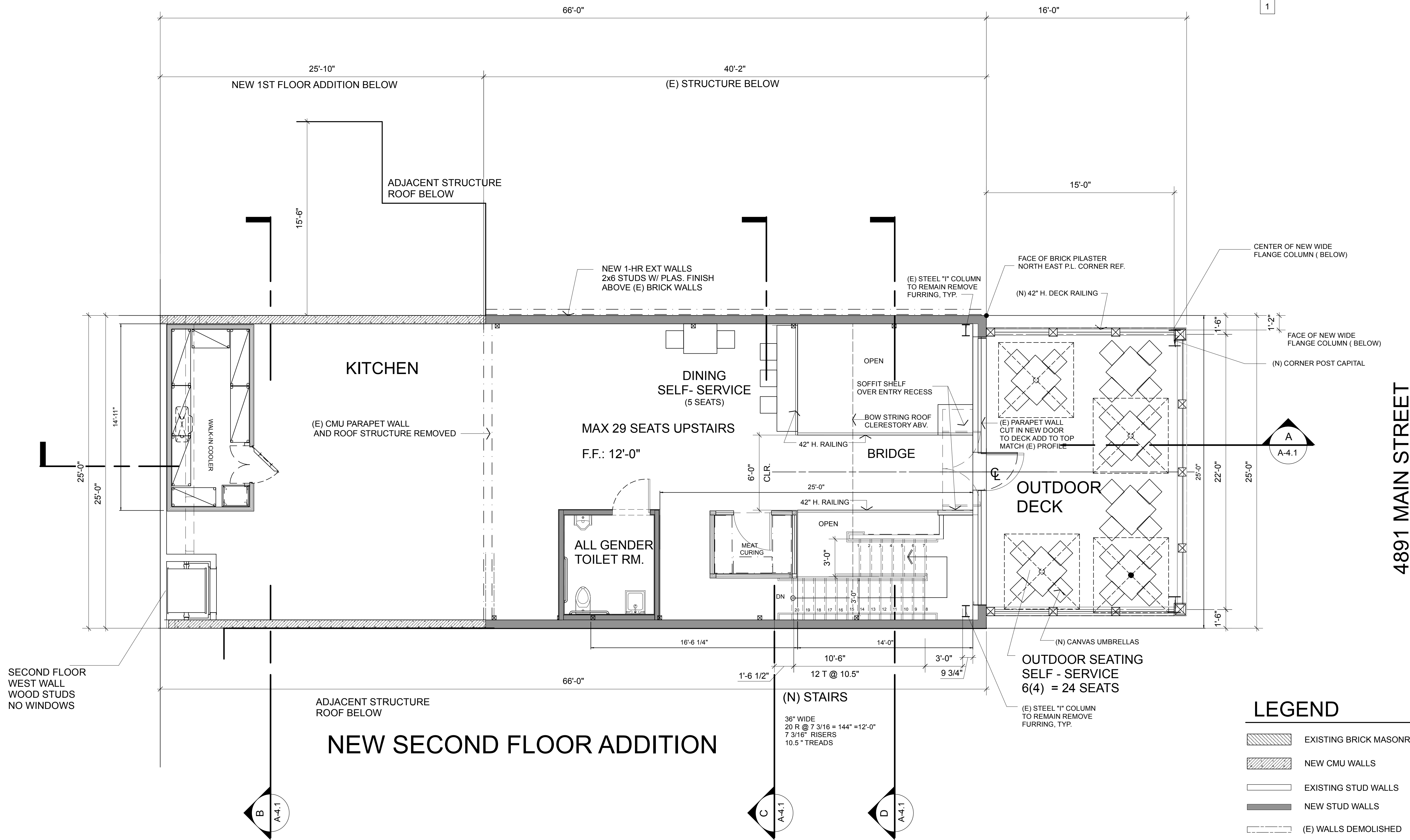
- EXISTING BRICK MASONRY WALLS
- NEW CMU WALLS
- EXISTING STUD WALLS
- NEW STUD WALLS
- (E) WALLS DEMOLISHED
- EXISTING ROOF / WALLS ABOVE
- WINDOWS
- DOORS



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

1



NOTE: ADD DINING SHOWN IS SELF-SERVICE



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
PROPOSED ROOF PLAN

#21022

DECEMBER 4, 2021 START
FEBRUARY 5, 2023 RE-DESIGN

MAY 4, 2023
REVIEW
MAY 10, 2023
C.U.P. SUBMITTAL

A-2.3

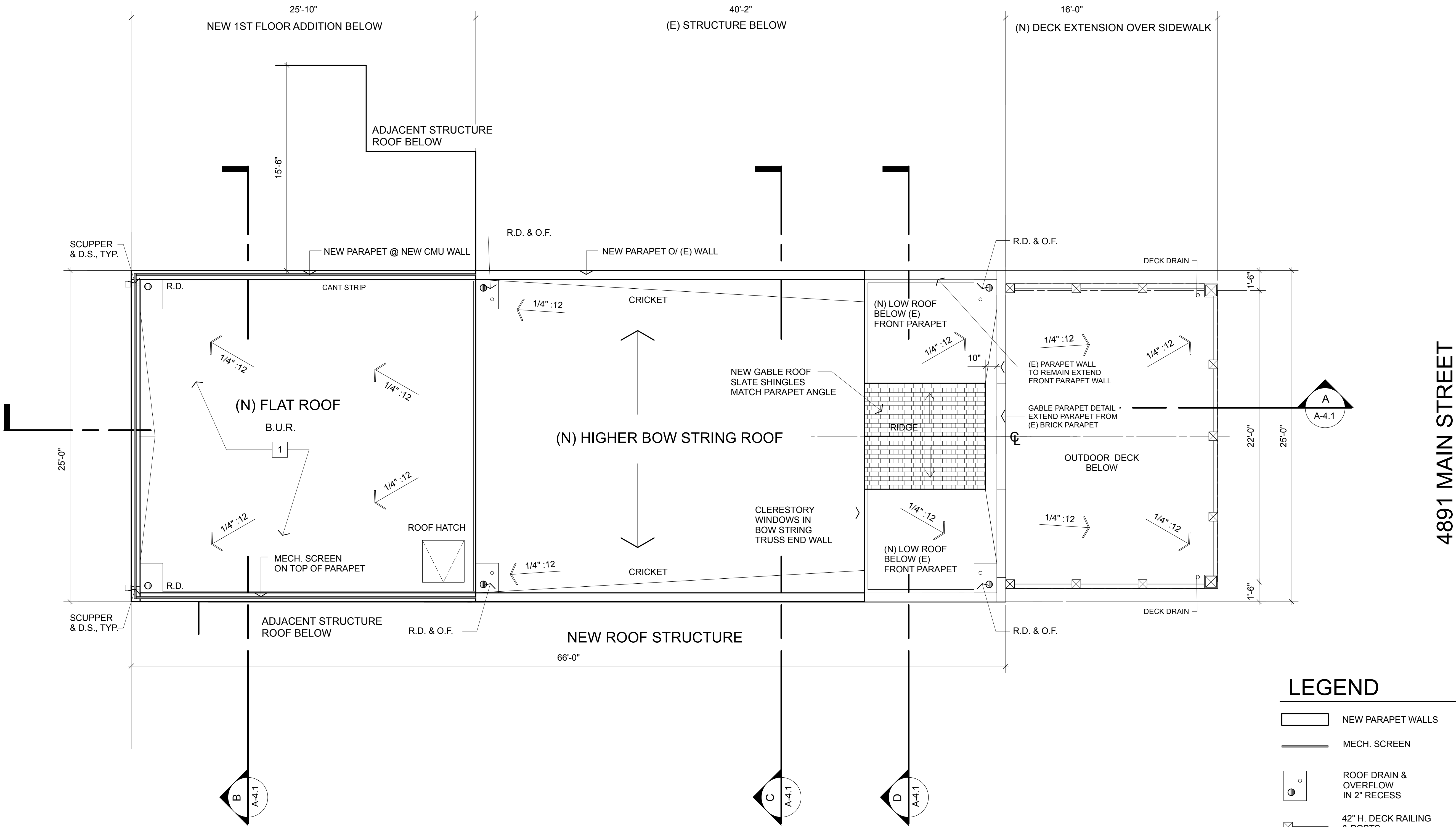
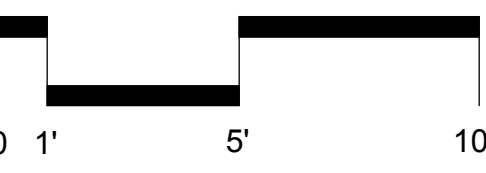
KEY NOTES

DESCRIPTION:

- 1 KITCHEN ROOF TOP MECH. EQUIP. TO BE DETERMINED .
HIDDEN BEHIND MECH. SCREEN.

LEGEND

- NEW PARAPET WALLS
MECH. SCREEN
ROOF DRAIN & OVERFLOW IN 2" RECESS
42" H. DECK RAILING & POSTS



PROPOSED ROOF PLAN

1/4" = 1'-0"

1



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
PROPOSED EXTERIOR ELEVATIONS

#21022

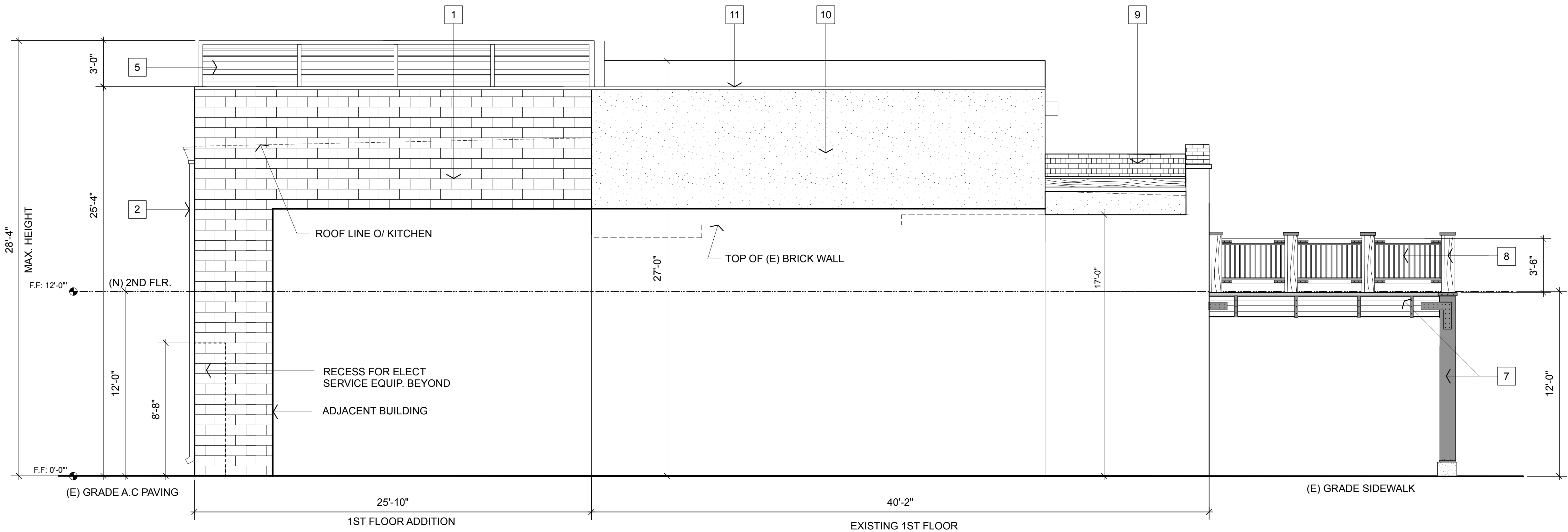
DECEMBER 4, 2021 START
DECEMBER 9, 2021 REVIEW
JANUARY 7, 2022 REVIEW
MAY 20, 2022 UPDATE
MARCH 22, 2023
DESIGN REVISION
MAY 4, 2023 REVIEW
MAY 10, 2023
C.U.P. SUBMITTAL

A-3.1

KEY NOTES

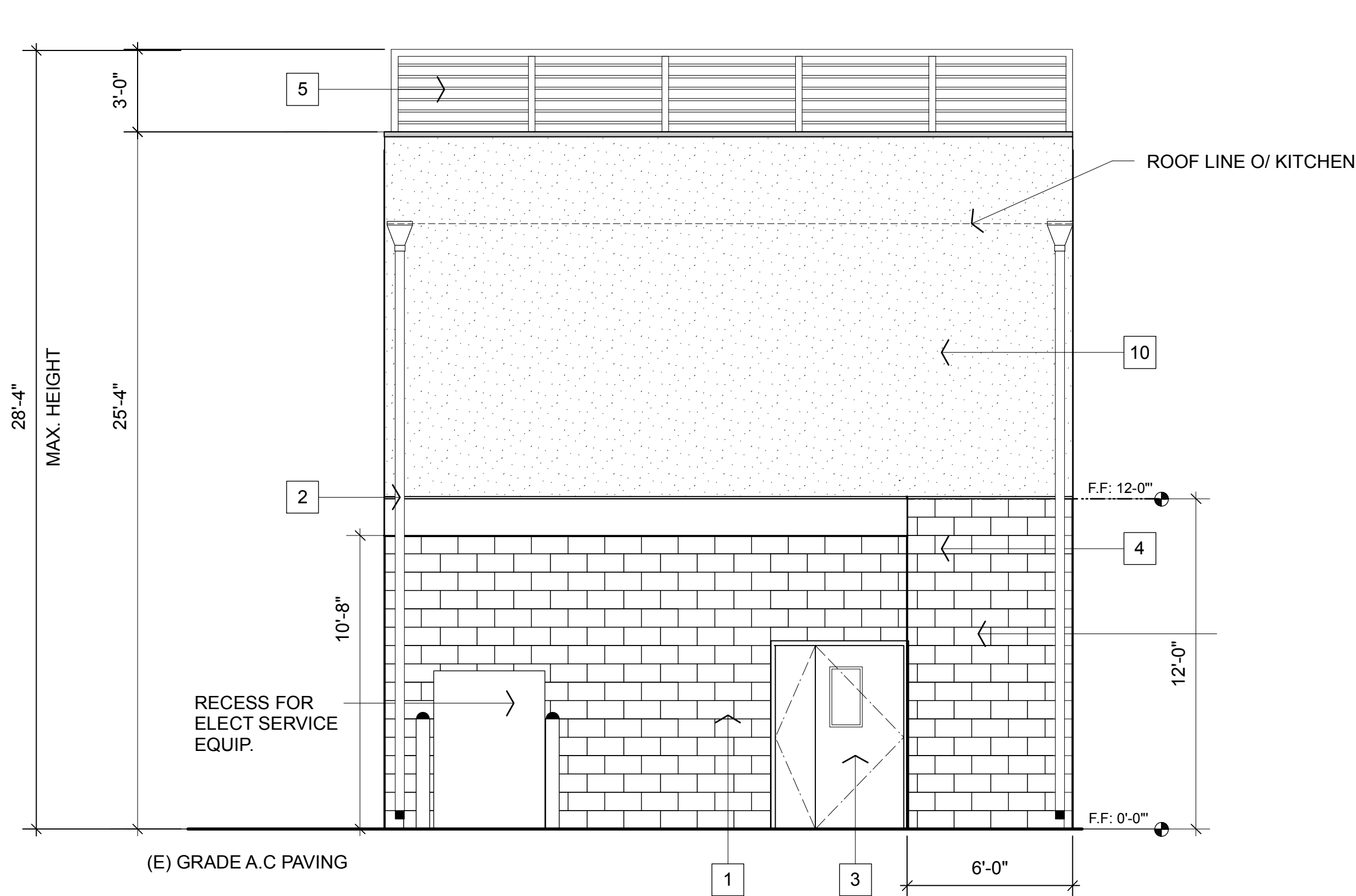
DESCRIPTION:

- (N) CMU WALL PAINTED W/ MTL. COPING AT PARAPET
- (N) SCUPPER DRAIN AND DOWNSPOUTS
- (N) H.M. DOOR & FRAME W/ SINGLE VISION LITE.
- (E) STOREFRONT TO REMAIN
- (N) STL. MECH. SCREEN
- (N) ENTRY DOORS 6'-0" PR. PATCH (E) WALL
- (N) PAINTED STEEL WF DECK COLUMN W/ CONC BASE
HEAVY TIMBER BEAMS W/ MTL STRAPPING
- (N) DECK RAILING HEAVY TIMBER W/ MTL. RAILING
- (N) SLATE GABLE ROOF W/ WOOD FASCIA
BEHIND BRICK PARAPET
- (N) PLASTER WALL (ABOVE (E) BRICK WALL) AT P.L.
- (N) ARCHED ROOF
- (N) BOW STRING TRUSS W/ CLERESTORY WINDOWS
- (N) DOOR TO DECK , CUT INTO (E) FRONT FACADE



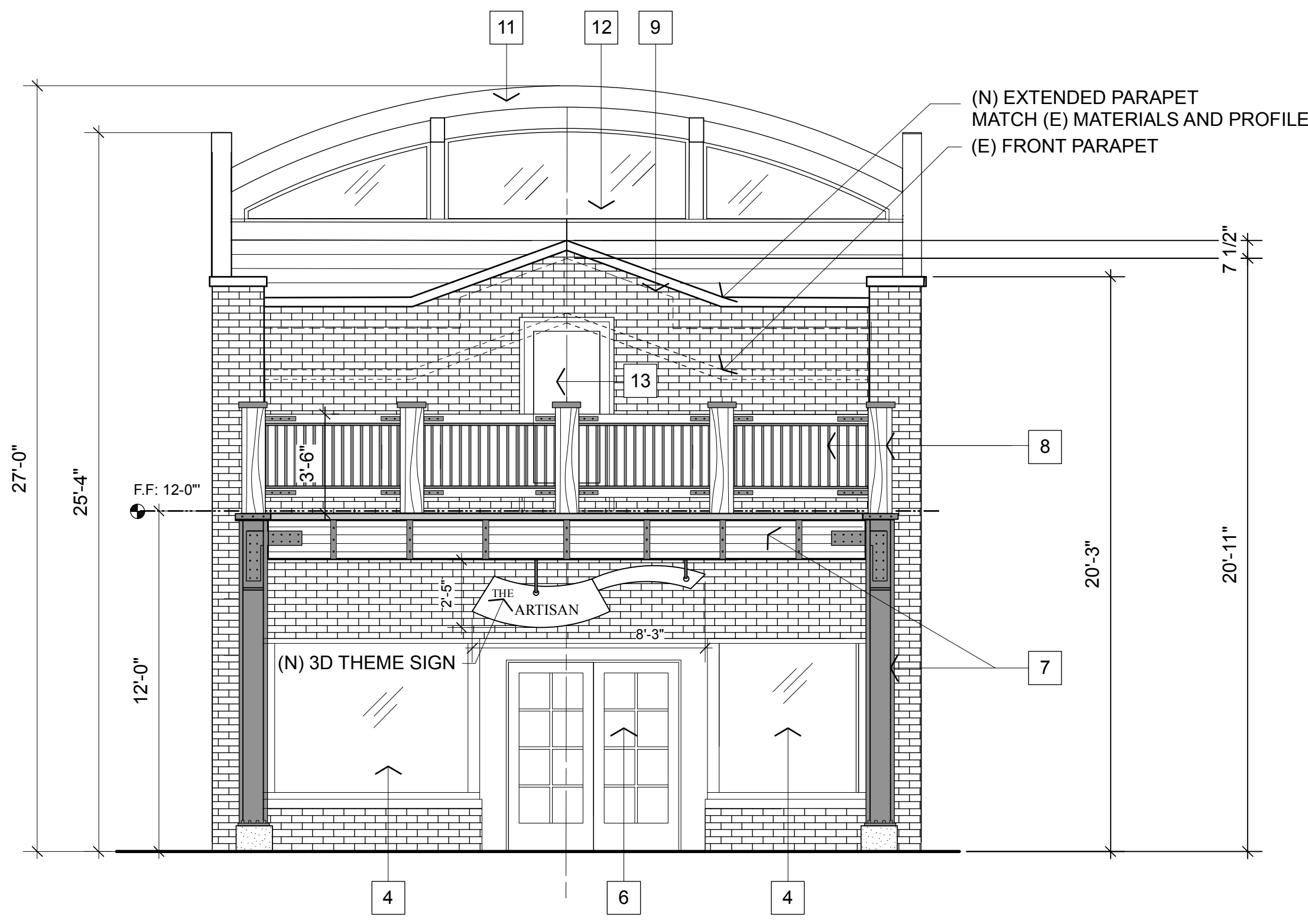
SOUTH ELEVATION

(NORTH ELEVATION SIM.)



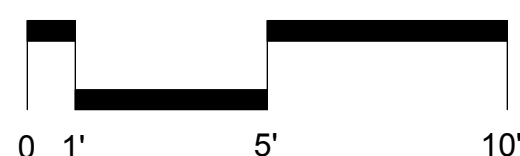
WEST ELEVATION

NEW REAR ADDITION WALL



EAST ELEVATION

(E) HISTORIC FACADE TO REMAIN (ENTRY DOORS MODIFIED & AWNING REMOVED)
NEW FRONT DECK ADDITION AND SECOND FLOOR ADDITION BEYOND .



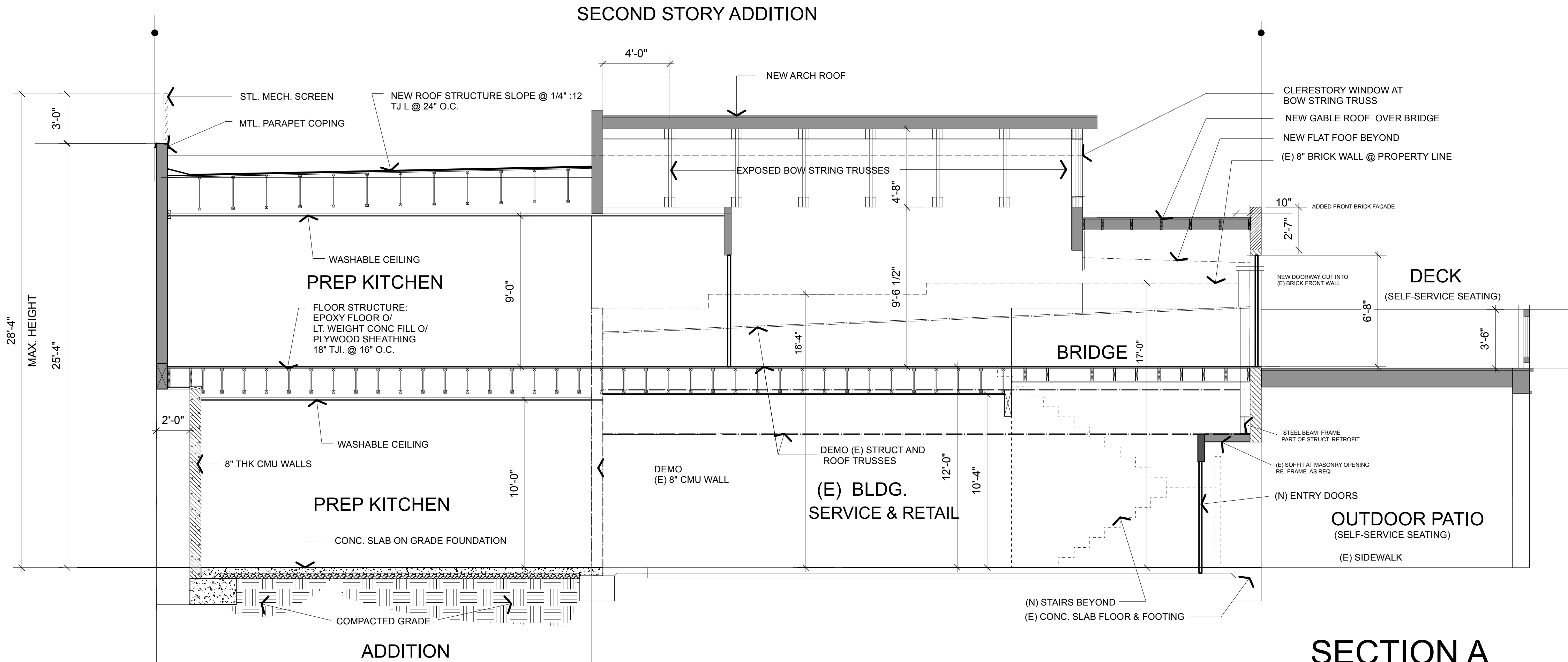


"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

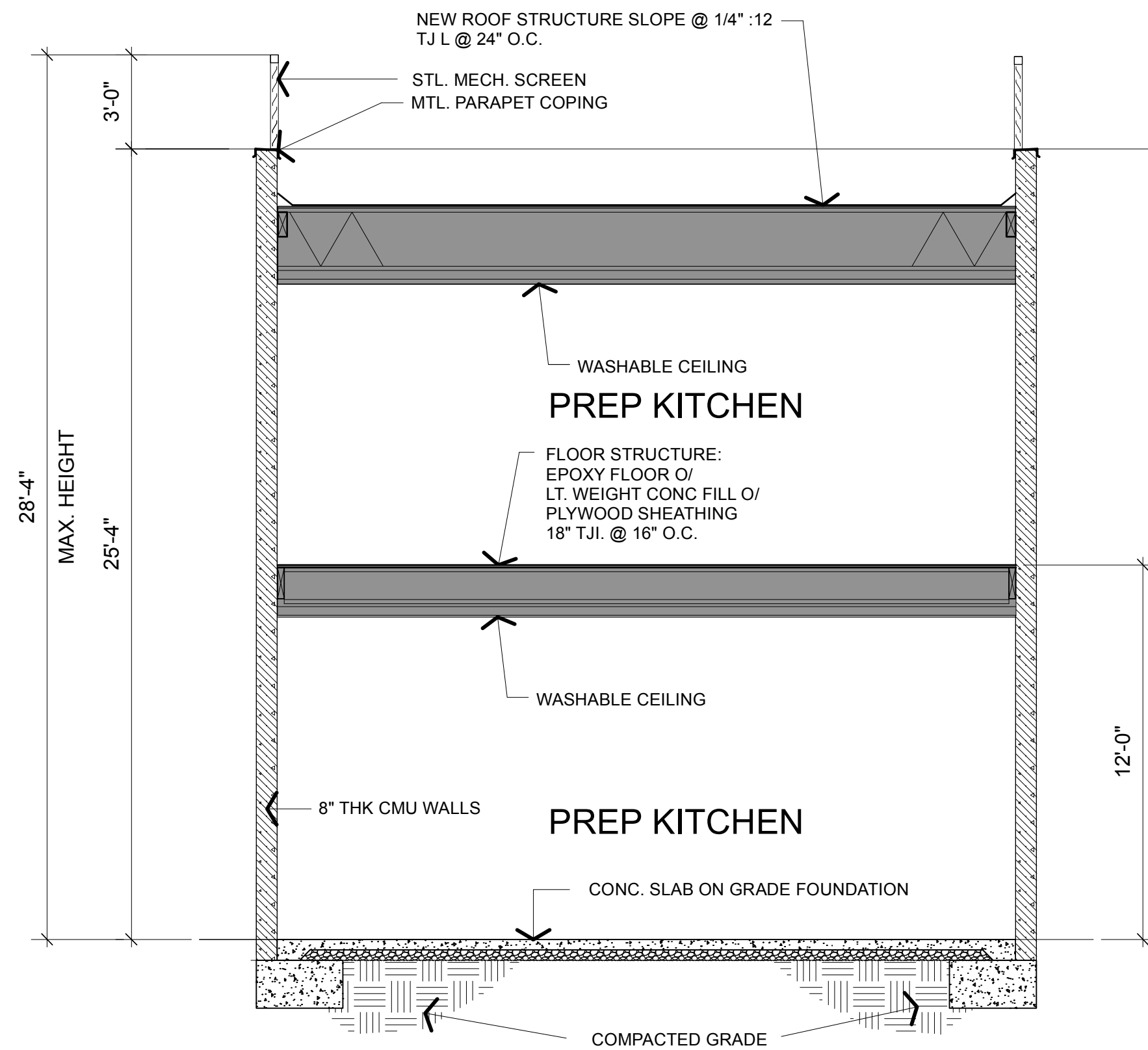
PRELIMINARY DESIGN
PROPOSED BUILDING SECTIONS

#21022
DECEMBER 4, 2021 START
DECEMBER 9, 2021 REVIEW
JANUARY 7, 2022 REVIEW
MAY 20, 2022 UPDATE
MARCH 22, 2023
DESIGN REVISION
MAY 4, 2023
REVIEW
MAY 10, 2023
C.U.P. SUBMITTAL

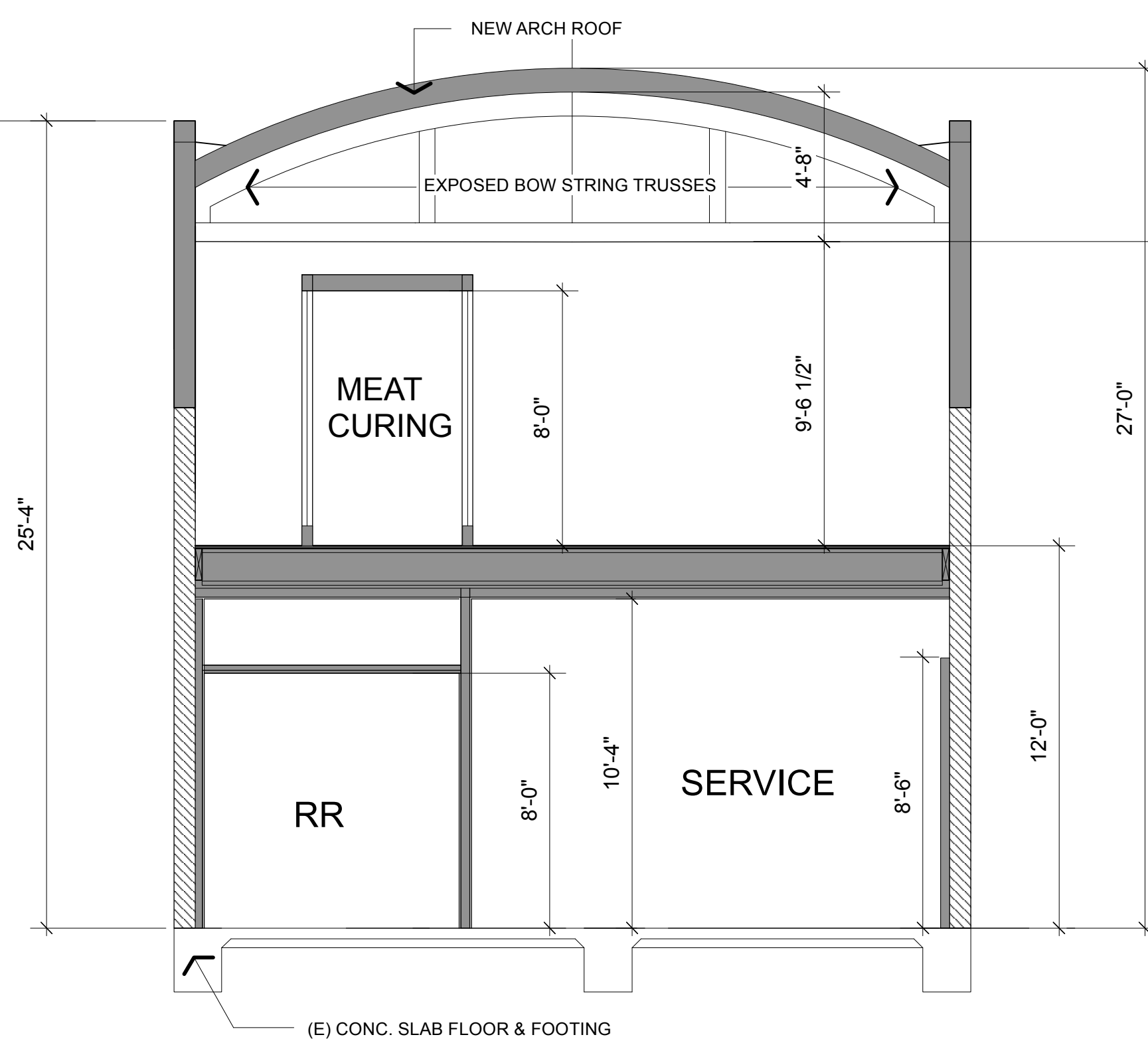
A-4.1



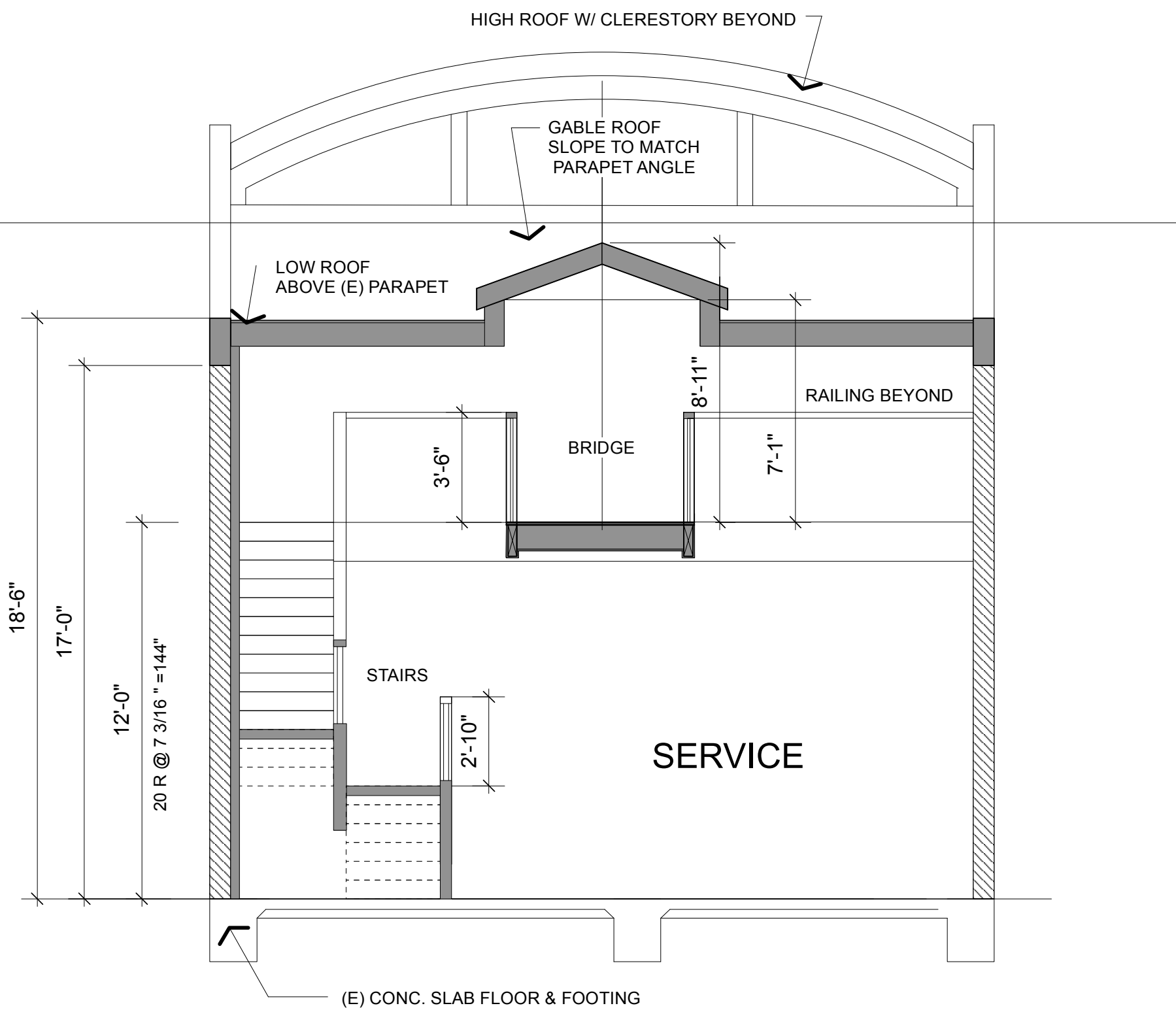
SECTION A



SECTION B



SECTION C



SECTION D

NOTE SECTIONS WHERE NOT FIELD SURVEYED.
INFORMATION IS COPY OF PREVIOUS BUILDING SECTIONS
FROM KEYSTONE DESIGN ASSOC. DATED 1991.



PROPOSED BUILDING SECTIONS

1/4" = 1'-0"

1



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
PERSPECTIVE SKETCHES

#21022
APRIL 14, 2023
START
MAY 10, 2023
C.U.P. SUBMITTAL

thirtieth
street
architects
inc.
2821 newport blvd. newport beach,
california 92663 (949) 673-2643
14 APRIL 2023



The Artisan

thirtieth
street
architects
inc.
2821 newport blvd. newport beach,
california 92663 (949) 673-2643
8 MAY 2023



MAIN STREET VIEW LOOKING SOUTH



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

FIELD MEASURE, AS-BUILTS EXISTING FIRST FLOOR PLAN

#21022

DECEMBER 7, 2021 START

DECEMBER 9, 2021 REVIEW

JANUARY 7, 2022 REVIEW

MAY 20, 2022 UPDATE

MAY 10, 2023
CUP SUBMITTAL



(

(EX-10)

EX 110

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THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 45, NEWMARK TRACT, IN THE CITY OF YORBA LINDA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

A NON- EXCLUSIVE EASEMENT FOR PARKING AND PUBLIC UTILITY PURPOSES, INCLUDING NOT LIMITED TO SEWERS, CESSPOOLS, SEPTIC TANKS, WATER, ELECTRIC GAS AND TELEPHONE INSTALLATIONS SUBSTANTIALLY ALONG PROPERLY LINES, OVER:
THAT PORTION OF LOT 40 OF SAID NEWMARK TRACT, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER OF SAID LOT 40; THENCE ALONG THE EASTERLY LINE OF SAID LOT 40, A DISTANCE OF 25.65 FEET THENCE IN A STRAIGHT LINE SOUTHWESTERLY TO A POINT IN THE SOUTHWESTERLY LINE OF LOT 40 DISTANT THEREON NORTH 43° 26' 39" WEST 25 FEET FROM THE SOUTHERLY CORNER OF LOT 40; THENCE SOUTH 43° 26' 39" EAST 25 FEET TO THE POINT OF BEGINNING.

THE WESTERLY 44 FEET OF LOTS 43, 45, 46 AND THE WESTERLY 44 FEET OF THE SOUTHERLY 3 INCHES OF LOT 47 OF THE NEWMARK TRACT AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. THE WESTERLY 30 FEET OF LOT 44 OF THE NEWMARK TRACT, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 7, PAGES 45 AND 46 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 323-304-14

LOT AREA: 2,500 SF (.057 AC)

LOT COVERAGE: 975 SF/ 2,500SF= 39%

EXISTING:

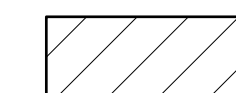
FRONT SETBACK: 0'-0"

SIDE SETBACKS: 0'-0"

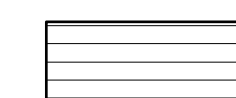
REAR SETBACK: 59'-10"

10

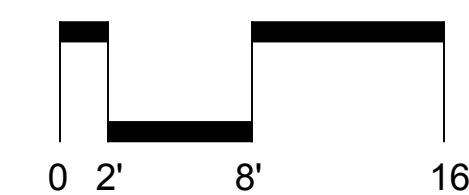
PARCEL 1: PROPERTY IN QUESTION



PARCEL 2: EASMENT



EASEMENT FOR SEWER PIPE



PROJECT NORTH



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

FIELD MEASURE, AS-BUILTS
EXISTING FIRST FLOOR PLAN

#21022

DECEMBER 4, 2021 START
DECEMBER 9, 2021 REVIEW
JANUARY 7, 2022 REVIEW
MAY 20, 2022 UPDATE
MAY 10, 2023
C.U.P. SUBMITTAL

EX-2.1

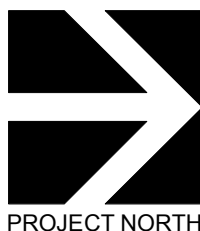
KEY NOTES

DESCRIPTION:

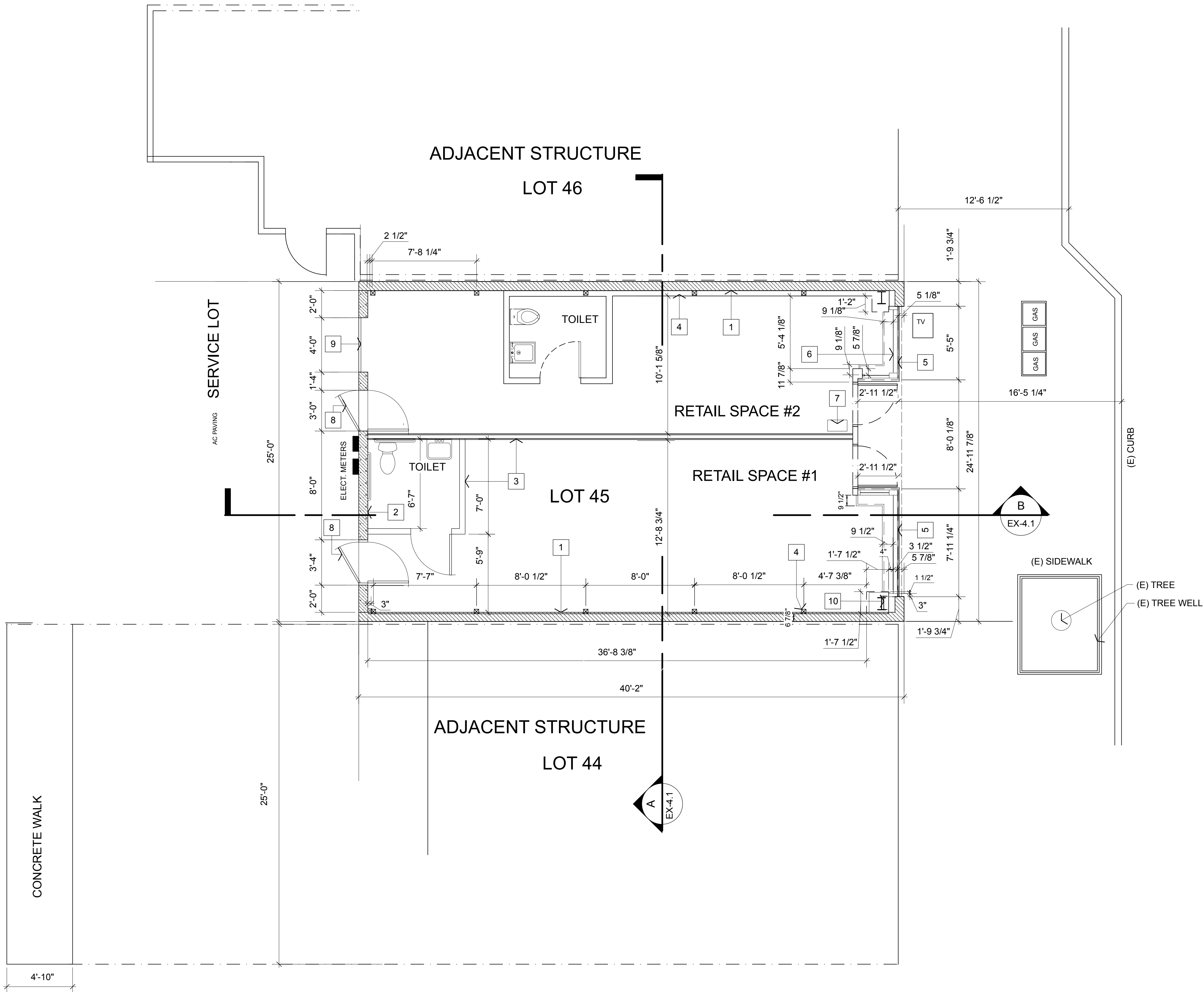
- 1 (E) 8" BRICK WALLS
- 2 (E) 8" CMU WALL PART OF PREVIOUS STRUCTURAL REMODEL
- 3 (E) 2X WOOD STUD WALLS, GYP.BD. FINISH
- 4 (E) 4X4 D.F. POSTS
- 5 (E) FIXED GLASS IN WOOD FRAME STOREFRONT WINDOW
- 6 MTL. SECURITY GRILLE BEHIND WINDOW
- 7 LARGE PULL BOX W/ UNDER SLAB SWEEP
- 8 MTL. SECURITY SCREEN DOORS
- 9 MTL. ROLL-UP DOOR
- 10 (E) WF COLUMNS PART OF PREVIOUS STRUCTURAL REMODEL

LEGEND

- EXISTING BRICK MASONRY WALLS
- EXISTING CMU WALLS
- EXISTING STUD WALLS
- EXISTING ROOF / WALLS ABOVE
- EXISTING WINDOWS
- EXISTING DOORS



4891 MAIN STREET





"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

FIELD MEASURE, AS-BUILTS
EXISTING EXTERIOR ELEVATIONS

#21022

DECEMBER 4, 2021 START

DECEMBER 9, 2021 REVIEW

JANUARY 7, 2022 REVIEW

MAY 20, 2022 UPDATE

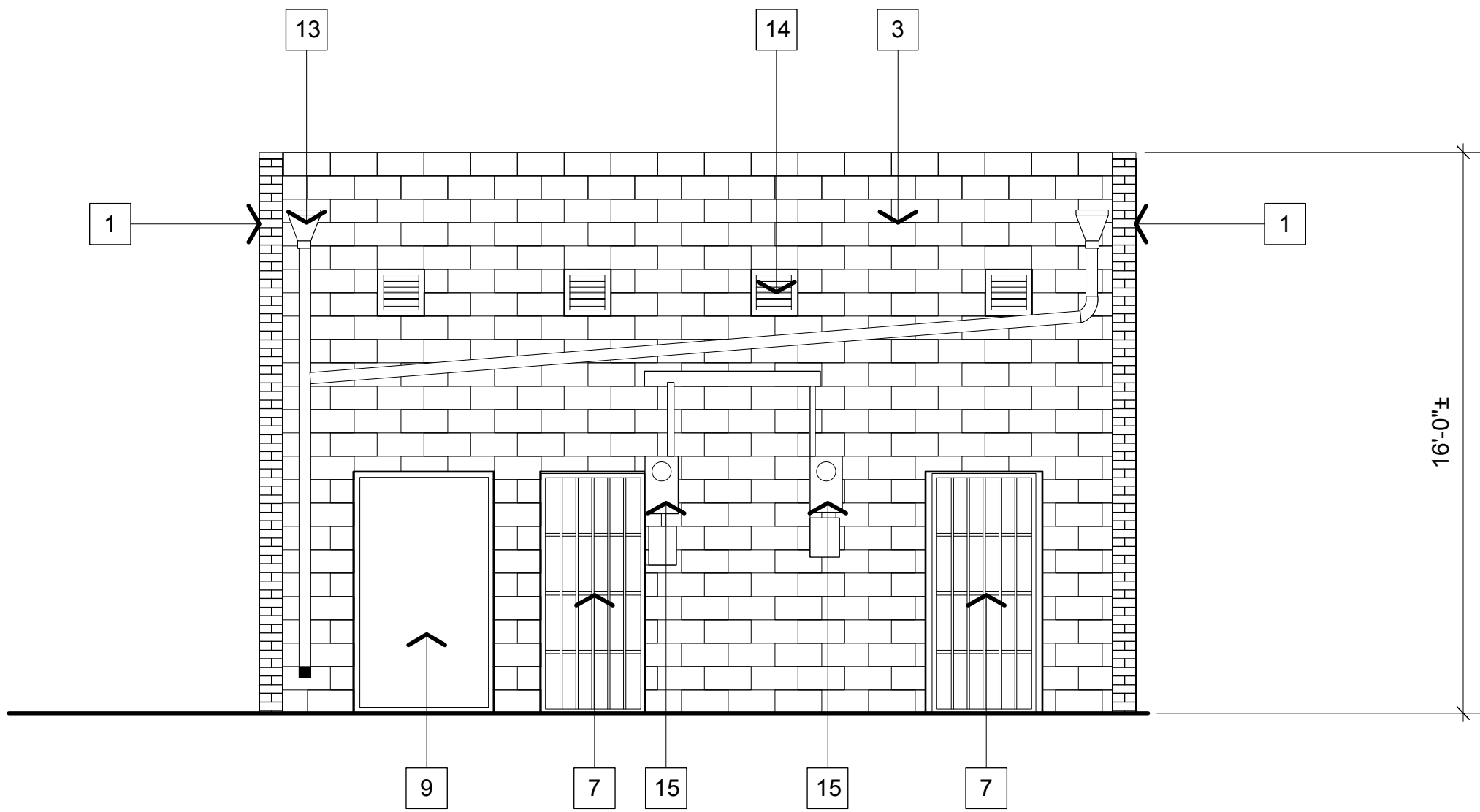
MAY 10, 2023
C.U.P. SUBMITTAL

EX-3.1

KEY NOTES

DESCRIPTION:

- 1 (E) 8" BRICK WALLS
- 2 (E) PAINTED BRICK WALL AT FRONT FACADE
- 3 (E) CMU WALL AT REAR FACADE: UNPAINTED PLAIN BLOCK
- 4 (E) BRICK BULKHEAD LEDGE FOR STOREFRONT
- 5 (E) WOOD FRAMED FIXED STOREFRONT SINGLE GLAZED
- 6 (E) ENTRANCE DOORS - WOOD FRENCH DOOR
- 7 (E) METAL SECURITY GRILL BEHIND STOREFRONT GLAZING
- 8 (E) METAL SECURITY SCREEN DOORS
- 9 (E) ROLL-UP DOOR
- 10 (E) CANVAS AWNING
- 11 (E) MERCHANT SIGNS - PAINTED WOOD
- 12 (E) EXTERIOR LAMPS
- 13 (E) SCUPPER DRAIN AND DOWNSPOUTS
- 14 (E) METAL LOUVERED ATTIC VENTS
- 15 (E) ELECT SERVICE METERS



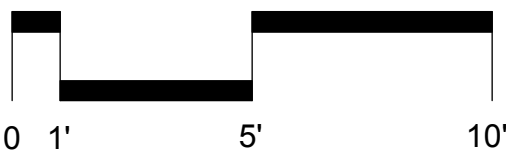
WEST ELEVATION

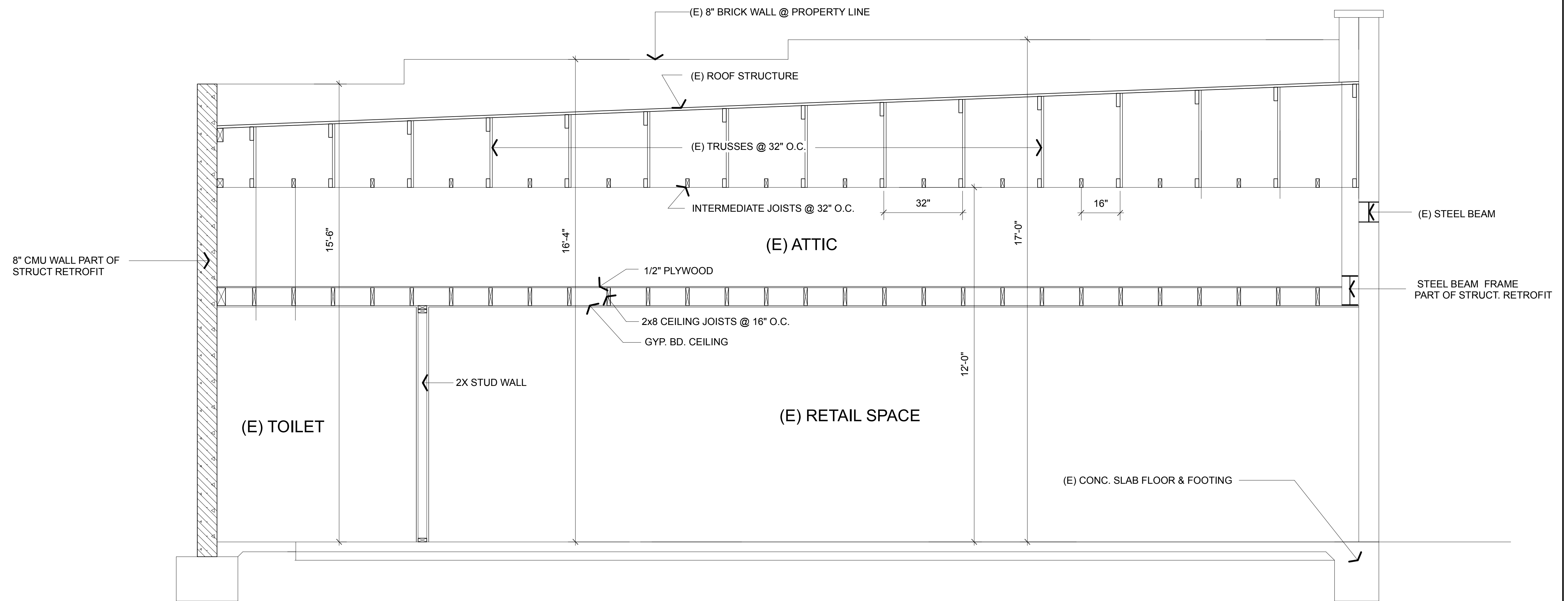
(E) ALL VERTICAL DIMENSIONS FROM PHOTOGRAPH - VERIFY



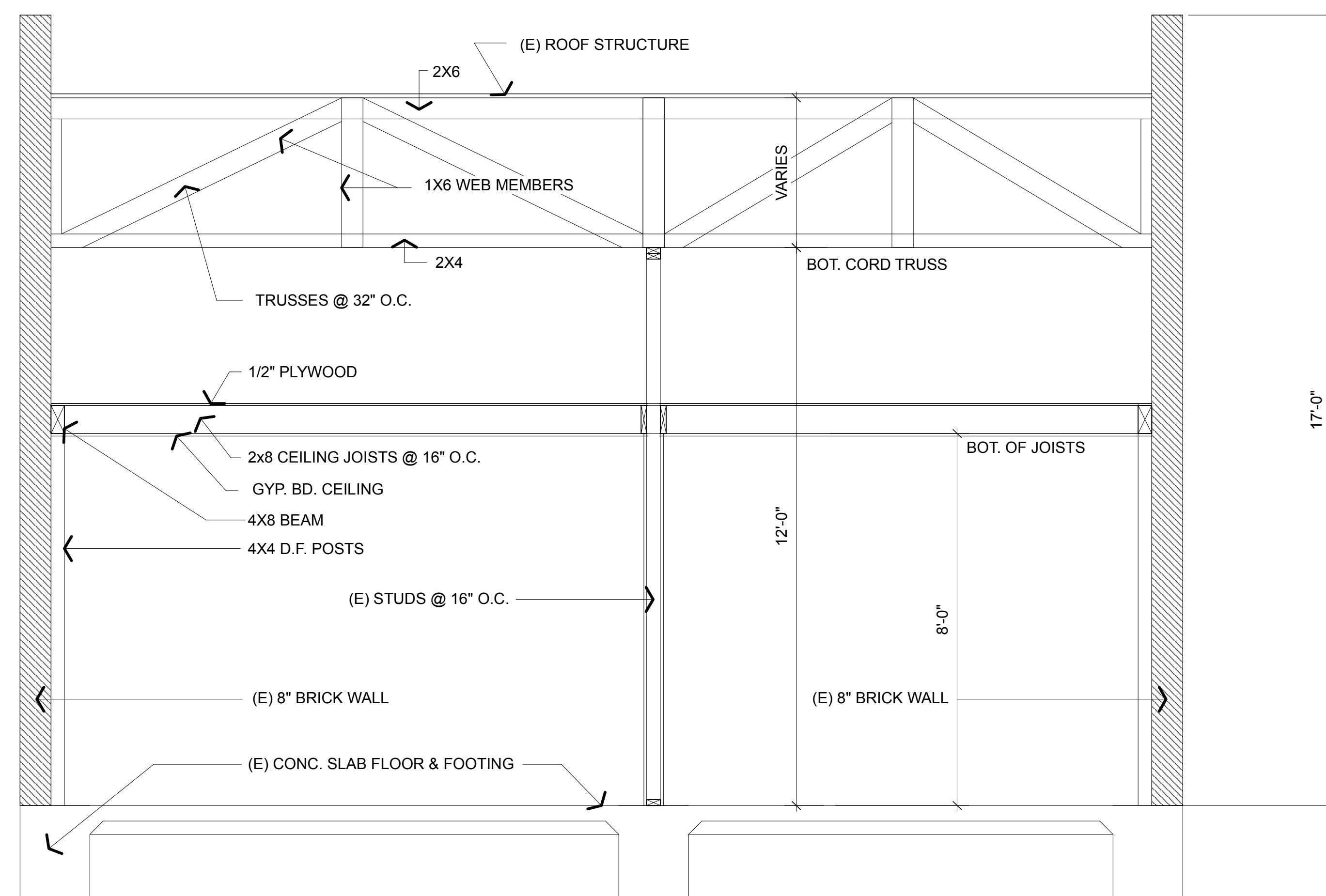
EAST ELEVATION

(E) ALL VERTICAL DIMENSIONS FROM PHOTOGRAPH - VERIFY

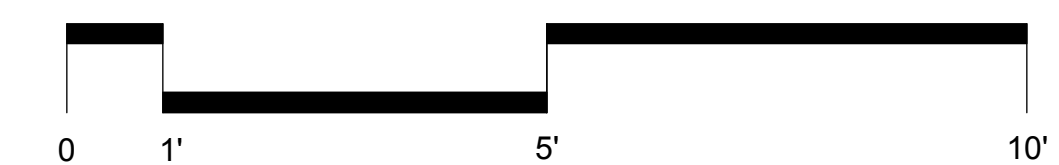




SECTION B



SECTION A



NOTE SECTIONS WHERE NOT FIELD SURVEYED.
INFORMATION IS COPY OF PREVIOUS BUILDING SECTIONS
FROM KEYSTONE DESIGN ASSOC. DATED 1991.

EXISTING BUILDING SECTIONS

1/2" = 1'-0"

1



"THE ARTISAN"
4893 MAIN STREET
YORBA LINDA, CALIFORNIA 92886

PRELIMINARY DESIGN
PROPOSED EXTERIOR ELEVATIONS
W/ EXTERIOR COLORS

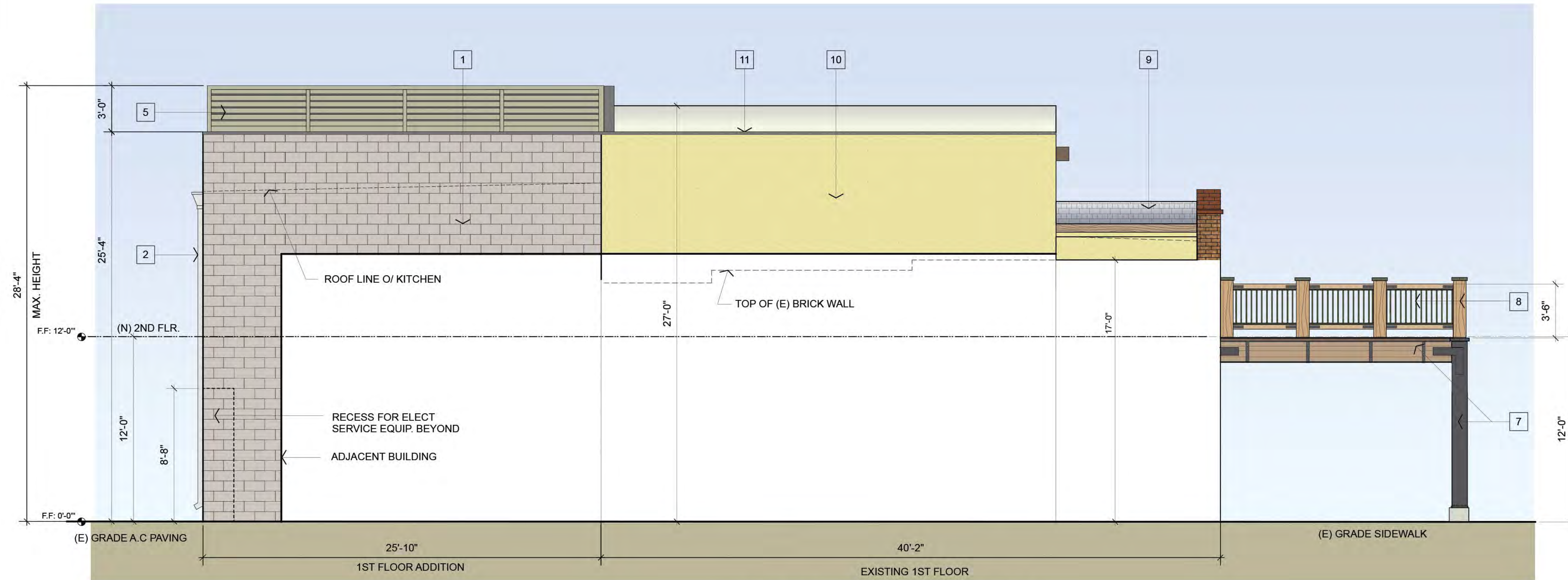
#21022
DECEMBER 4, 2021 START
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DESIGN REVISION
MAY 4, 2023 REVIEW
MAY 10, 2023
C.U.P. SUBMITTAL

A-3.1A

KEY NOTES

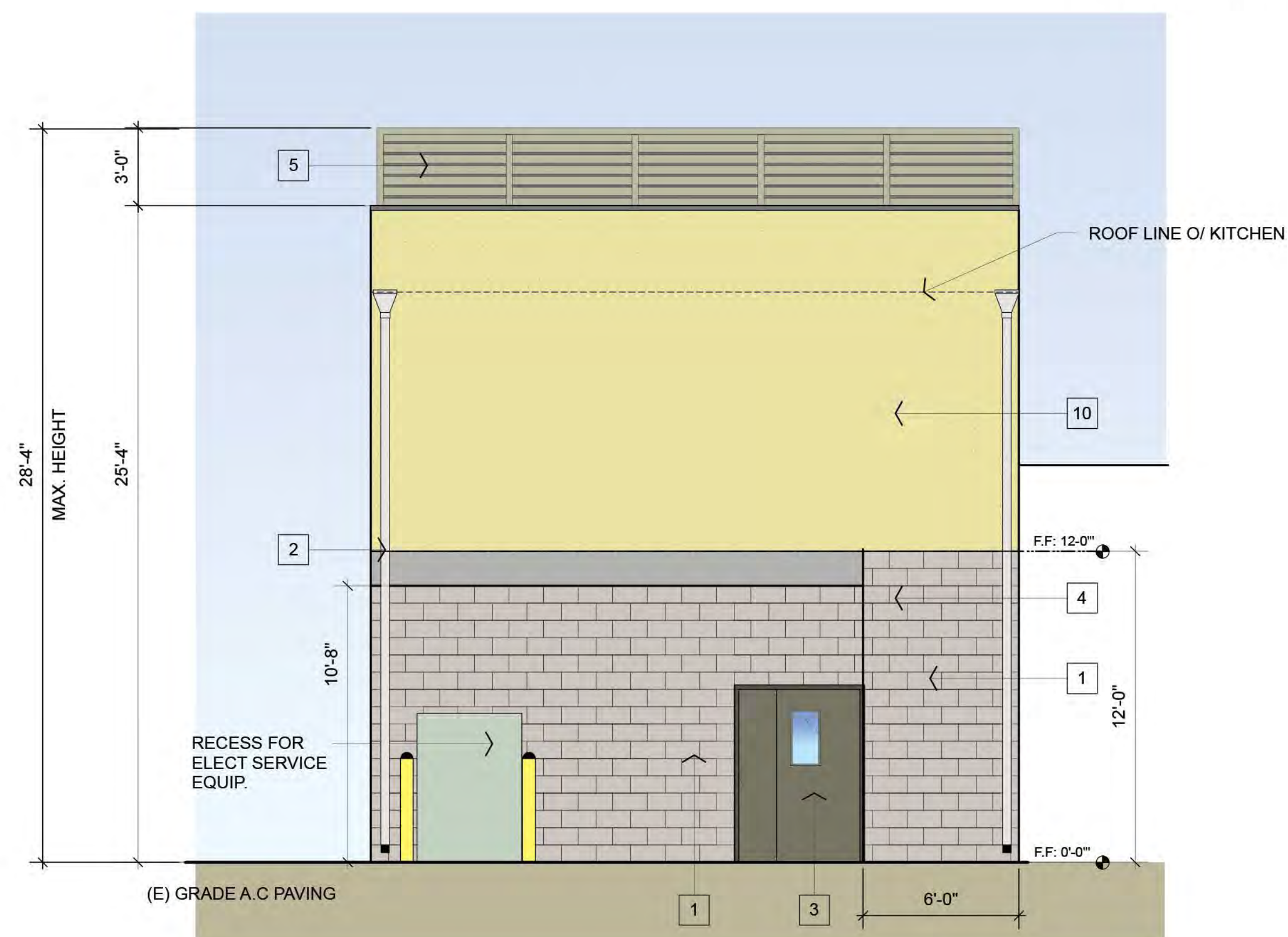
DESCRIPTION:

- (N) CMU WALL PAINTED W/ MTL. COPING AT PARAPET
- (N) SCUPPER DRAIN AND DOWNSPOUTS
- (N) H.M. DOOR & FRAME W/ SINGLE VISION LITE.
- (E) STOREFRONT TO REMAIN
- (N) STL. MECH. SCREEN
- (N) ENTRY DOORS 6'-0" PR. PATCH (E) WALL
- (N) PAINTED STEEL WF DECK COLUMN W/ CONC BASE
HEAVY TIMBER BEAMS W/ MTL STRAPPING
- (N) DECK RAILING HEAVY TIMBER W/ MTL. RAILING
- (N) SLATE GABLE ROOF W/ WOOD FASCIA
BEHIND BRICK PARAPET
- (N) PLASTER WALL (ABOVE (E) BRICK WALL) AT P.L.
- (N) ARCHED ROOF
- (N) BOW STRING TRUSS W/ CLERESTORY WINDOWS
- (N) DOOR TO DECK , CUT INTO (E) FRONT FACADE



SOUTH ELEVATION

(NORTH ELEVATION SIM.)



WEST ELEVATION

NEW REAR ADDITION WALL



EAST ELEVATION

(E) HISTORIC FACADE TO REMAIN (ENTRY DOORS MODIFIED & AWNING REMOVED)
NEW FRONT DECK ADDITION AND SECOND FLOOR ADDITION BEYOND .

