



CITY of YORBA LINDA

**CITY COUNCIL/SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY,
YORBA LINDA HOUSING AUTHORITY AND YORBA LINDA MUNICIPAL FINANCING AUTHORITY
JOINT MEETING
AGENDA**

Tuesday, July 16, 2024, 6:30 p.m.

Council Chambers

4845 Casa Loma Avenue

This meeting is being broadcast live for airing on cable channel 3, channel 99 AT&T U-Verse and the city's website. By remaining in the room, you are giving your permission to be televised.

Pages

CALL TO ORDER

The City Council/Successor Agency to the Yorba Linda Redevelopment Agency will convene at 5:30 p.m. in the Council Chambers at 4845 Casa Loma Avenue.

ROLL CALL

ANNOUNCEMENT OF CLOSED SESSION ITEMS

CITY COUNCIL/SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY

A. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION,
SIGNIFICANT EXPOSURE TO LITIGATION

Government Code Section 54956.9(d)(2) (3 Cases)

B. CONFERENCE WITH LABOR NEGOTIATORS

Government Code Section 54957.6

Agency Designated Representatives: City Manager Pulone

Employee Organizations: Yorba Linda Chapter of the Orange County Employees Association; Yorba Linda Mid-Management Association; and non-represented Management Employees

PUBLIC COMMENT ON CLOSED SESSION ITEMS

CONVENE INTO CLOSED SESSION

RECESS

CALL TO ORDER

The City Council/Successor Agency to the Yorba Linda Redevelopment Agency, Yorba Linda Housing Authority and Yorba Linda Municipal Financing Authority will reconvene at 6:30 p.m. in the Council Chambers at 4845 Casa Loma Avenue, Yorba Linda.

ROLL CALL

PLEDGE OF ALLEGIANCE

INVOCATION

DEACON DENIS ZAUN, ST. MARTIN DE PORRES CATHOLIC CHURCH

CLOSED SESSION REPORT

INTRODUCTIONS & PRESENTATIONS

INTRODUCTION OF NEW STAFF MEMBER BRIAN BUCKNER, IT ANALYST

INTRODUCTION OF NEW STAFF MEMBER JAYDEN JONES, RECREATION COORDINATOR

INTRODUCTION OF NEW STAFF MEMBER ROBERT O'BALLES, FACILITIES MAINTENANCE CUSTODIAN

PROCLAMATION RECOGNIZING JULY AS PARKS & RECREATION MONTH

RECOGNITION OF DEPUTY OF THE YEAR

LAW ENFORCEMENT SERVICES UPDATE BY CHIEF OF POLICE SERVICES
CAPTAIN DE ANNE WIGGINTON

PUBLIC COMMENTS – ITEMS ON THE CONSENT CALENDAR OR ITEMS NOT ON THE REMAINDER OF THE AGENDA

There is a five (5) minute maximum time limit for each individual addressing the legislative body during Public Comments and on all other items listed on the Agenda. Whenever a group of persons wishes to address the City Council on the same subject matter, it shall be proper for the presiding officer to request that a spokesman be chosen by the group so as to avoid unnecessary repetitions before the City Council.

CONSENT CALENDAR

All matters listed under "CONSENT CALENDAR" are considered by the City Council/Successor Agency to the Yorba Linda Redevelopment Agency, Yorba Linda Housing Authority and Yorba Linda Municipal Financing Authority to be routine and will be enacted by one motion approving the recommendation listed on the Agenda. There will be no separate discussion unless Members of the Council/Successor Agency, Yorba Linda Housing Authority and Yorba Linda Municipal Financing Authority or Staff request specific items to be removed from the Consent Calendar.

Recommendation:

It is recommended that the City Council approve the Consent Calendar.

1. WAIVE READING IN FULL OF ALL ORDINANCES AND RESOLUTIONS ON THE AGENDA

Recommendation:

It is recommended that the City Council/Successor Agency to the Yorba Linda Redevelopment Agency waive reading in full of all ordinances and resolutions on the agenda and declare that said titles which appear on the public agenda shall be determined to have been read by title and further reading waived.

2. ACCOUNTS PAYABLE CHECK REGISTER – JULY 16, 2024

7

Recommendation:

It is recommended that the City Council receive and file the accounts payable check register and wire transfer report dated July 16, 2024, in the amount of \$2,220,710.67.

3. APPROVAL OF THE MINUTES OF THE JUNE 18, 2024 CITY COUNCIL / SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY MEETING

102

Recommendation:

It is recommended that the City Council/Successor Agency to the Yorba Linda Redevelopment Agency approve the minutes of the June 18, 2024 City Council/Successor Agency to the Yorba Linda Redevelopment Agency joint meeting.

4. APPROVAL OF THE MINUTES OF THE JULY 9, 2024 CITY COUNCIL / SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY SPECIAL MEETING

111

Recommendation:

It is recommended that the City Council/Successor Agency to the Yorba Linda Redevelopment Agency approve the minutes of the July 9, 2024 City Council/Successor Agency to the Yorba Linda Redevelopment Agency joint special meeting

5. TREASURER'S REPORT – APRIL 2024

113

Recommendation:

It is recommended that the City Council: 1.) Receive and file the attached monthly Treasurer's Report; and 2.) Delegate investment responsibility to the City's Finance Director / City Treasurer for a period of up to one year.

6. REVIEW OF CITY'S CONFLICT OF INTEREST CODE

155

Recommendation:

It is recommended that the City Council direct staff to review the City's Conflict of Interest Code, prepare a biennial report by October 1, 2024, and report back to the City Council.

7. DECLARING PUBLIC NUISANCE, INTENT TO PROVIDE ABATEMENT, AND SETTING THE DATE FOR THE PUBLIC HEARING

156

Recommendation:

It is recommended that the City Council adopt Resolution No. 2024-5900, declaring its intent to set a public hearing on August 20, 2024, for this year's Weed Abatement Program.

8. SECOND READING OF ORDINANCES PERTAINING TO GENERAL PLAN AMENDMENTS AND ZONING CODE AMENDMENTS ASSOCIATED WITH THE 2021-2029 HOUSING ELEMENT IMPLEMENTATION

163

Recommendation:

It is recommended that the City Council adopt for second reading the following Ordinances related to the Housing Element Implementation Programs: 1.) Ordinance No. 2024-1108 amending the text of the Land Use Element of the General Plan (GPA 2024-01) and finding that GPA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 2.) Ordinance No. 2024-1109 amending the text of the Land Use Element and amending the Land Use Diagram of the General Plan (GPA 2024-02) and finding that GPA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 3.) Ordinance No. 2024-1110 amending the Zoning Code (ZCA 2024-01) and finding that ZCA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 4.) Ordinance No. 2024-1111 amending the Zoning Code (ZCA 2024-02) and finding that ZCA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.

9. ENCROACHMENT ON THE PUBLIC RIGHT-OF-WAY REQUEST – 17812 CABALLO DRIVE

221

Recommendation:

It is recommended that the City Council: 1.) Authorize the construction of a secondary driveway approach on 17812 Caballo Drive, and 2.) Determine such encroachments will not adversely impact the Public Right-of-Way (ROW), or the general public safety, and 3.) Require the property owner(s) at 17812 Caballo Drive to execute a Declaration of Restrictive Covenants Agreement pursuant to City Council Policy E-5.

10. ENCROACHMENT ONTO CITY PROPERTY REQUEST – 4845 MAIN STREET

245

Recommendation:

It is recommended that the City Council: 1.) Authorize the construction of approximately 43 linear feet of 6 feet high white vinyl fence on 4852 Olinda Street, and 2.) Determine such encroachments will not adversely impact the City's property, City's facility, or the general public safety, and 3.) Require the property owner(s) at 4845 Main Street to execute a Declaration of Restrictive Covenants Agreement pursuant to City Council Policy E-5.

11. AGREEMENT EXTENSION WITH HF&H CONSULTANTS FOR PROFESSIONAL SERVICES RELATED TO SB 1383 IMPLEMENTATION AND CONTRACT MANAGEMENT

277

Recommendation:

It is recommended that the City Council authorize the City Manager to sign Amendment No. 1 to the Agreement for Professional Services related to SB 1383 implementation services, extending the agreement with HF&H Consultants to June 30, 2026, and increasing the total contract sum to \$155,500.

12. BUDGET APPROPRIATION FOR PARK IMPROVEMENTS 306

Recommendation:

It is recommended that the City Council appropriate \$75,000 from account 4021999-491010 (Park In-Lieu Fund) and transfer to Parks Division account 1010460-432650 to facilitate park improvements.

13. REPORTS OF PLANNING COMMISSION ACTIONS FROM THEIR LAST MEETINGS 308

Recommendation:

It is recommended that the City Council receive and file these reports.

14. COUNCIL COMMITTEE AND AGENCY REPORTS 311

Recommendation:

It is recommended that the City Council receive and file this report.

CITY MANAGER'S REPORT/MAYOR'S REPORT/MATTERS PRESENTED BY COUNCILMEMBERS/ OTHER AGENCY REPORTS

ADMINISTRATIVE REPORTS

15. RESOLUTIONS PERTAINING TO CITYWIDE MEASURE B ELECTION AND BALLOT MEASURE ON AMENDMENTS TO GENERAL PLAN AND ZONING REQUIREMENTS FOR CERTAIN SITES IDENTIFIED IN THE 2021-2029 HOUSING ELEMENT 313

Recommendation:

It is recommended that the City Council discuss and consider the following actions relative to a citywide measure relating to amendments to the City's General Plan and Zoning requirements for nineteen separate sites within the City: 1.) Adopt Resolution No. 2024-5901, ordering the submission to the qualified electors of the City of Yorba Linda one ballot measure relating to amendments to the City's General Plan and Zoning requirements for nineteen separate sites for the General Municipal Election to be held on Tuesday, November 5, 2024; 2.) Adopt Resolution No. 2024-5902, setting priorities for filing written arguments regarding one City measure and directing the City Attorney to prepare an impartial analysis; 3.) Adopt Resolution No. 2024-5903, providing for the filing of rebuttal arguments for one City measure to be placed on the November 5, 2024 General Municipal Election Ballot.

16. RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER 369

Recommendation:

It is recommended that the City Council approve the following actions relative to an initiative relating to amendments to the City's General Plan and Zoning requirements for the Bryant Ranch Shopping Center property: 1.) Adopt Resolution No. 2024-5904, ordering the submission to the qualified electors of the City of Yorba Linda a ballot measure relating to amendments to the City's General Plan and Zoning requirements for the Bryant Ranch Shopping Center to be held on Tuesday, November 5, 2024; 2.) Adopt Resolution No. 2024-5905, setting priorities for filing written arguments regarding the Bryant Ranch Shopping Center ballot measure and directing the City Attorney to prepare an impartial analysis; 3.) Adopt Resolution No. 2024-5906, providing for the filing of rebuttal arguments regarding the Bryant Ranch Shopping Center ballot measure to be placed on the November 5, 2024 General Municipal Election Ballot.

CLOSED SESSION IF REQUIRED

ADJOURNMENT

The next regularly scheduled City Council/Successor Agency to the Yorba Linda Redevelopment Agency joint meeting is August 6, 2024.

NOTE: ALL STAFF REPORTS AND RELATED ATTACHMENTS FOR ITEMS ON THIS AGENDA ARE ON FILE IN THE CITY CLERK'S OFFICE. AS AN ADDITIONAL SERVICE, THE CITY NOW PROVIDES THE STAFF REPORTS AND RELATED ATTACHMENTS ON THE CITY'S WEBSITE. PLEASE NOTE THAT IT IS NOT ALWAYS POSSIBLE TO EMBED ALL ATTACHMENTS AND MAPS. THUS, IF YOU REQUIRE A FULL AND COMPLETE COPY OF THE AGENDA PACKET, YOU SHOULD NOT RELY UPON THE WEBSITE MATERIALS ALONE.

IN COMPLIANCE WITH THE AMERICAN DISABILITIES ACT (ADA), THE CITY WILL MAKE EVERY REASONABLE ATTEMPT TO ACCOMMODATE ANY ATTENDEE OR PARTICIPANT AT THIS MEETING NEEDING SPECIAL ASSISTANCE BEYOND WHAT IS NORMALLY PROVIDED. PLEASE CONTACT THE CITY CLERK'S OFFICE AT (714) 961-7150 AT LEAST 48 HOURS PRIOR TO THIS MEETING TO INFORM US OF YOUR PARTICULAR NEEDS AND TO DETERMINE IF ACCOMMODATION IS FEASIBLE. PLEASE ADVISE US AT THE TIME YOU CALL IF SPECIAL ASSISTANCE IS REQUIRED TO ATTEND OR PARTICIPATE IN MEETINGS ON A REGULAR BASIS.



STAFF REPORT

CITY of YORBA LINDA

FINANCE DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: DAVID CHRISTIAN, ASSISTANT CITY MANAGER, INTERIM FINANCE
DIRECTOR / CITY TREASURER

SUBJECT: ACCOUNTS PAYABLE CHECK REGISTER – JULY 16, 2024

RECOMMENDATION

It is recommended that the City Council receive and file the accounts payable check register and wire transfer report dated July 16, 2024, in the amount of \$2,220,710.67.

BACKGROUND

The Yorba Linda Municipal Code states that the accounts payable check register shall be presented to the City Council at the next scheduled meeting following the printing and mailing of checks.

DISCUSSION

This check register includes both City and Successor Agency weekly check runs for the weeks since the last City Council meeting. Additionally, a report of any wires sent by the City is included as an attachment to this report on an as-needed basis as well as a report on credit card transactions.

FISCAL IMPACT

There is no direct fiscal impact associated with this report. Sufficient funds are available in the approved budget to cover all the listed checks and wires.

**CITY OF YORBA LINDA and the SUCCESSOR AGENCY to the YORBA LINDA
REDEVELOPMENT AGENCY**

ACCOUNTS PAYABLE CHECK REGISTER

The attached listing(s) of accounts payable checks totaling \$2,042,633.41 and wire transfers totaling \$178,077.26 for a total of \$2,220,710.67 is presented on July 16, 2024, to the Yorba Linda City Council and Agency Board for their consideration and approval in accordance with Section 3.12 of the Yorba Linda Municipal Code.



David Christian
Assistant City Manager,
Interim Finance Director / City Treasurer

Check Register

[illegible]

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
						CHECK	119659	TOTAL:	1,614.24
119660	06/13/2024	PRTD	10349 DEPT OF INDUSTRIAL R	51224	P 2061106 SN	04/24/2024	23241486	061324	171.25
			171.25 101 -04-0450-0000-0000-424600-					MISC NON-CONTRACT SERVICE	
						CHECK	119660	TOTAL:	171.25
119661	06/13/2024	PRTD	11419 ECO FERT INC	52304	5981	06/03/2024	23240372	061324	476.00
			476.00 101 -04-0460-0000-0000-432650-					PARK MAINTENANCE	
						CHECK	119661	TOTAL:	476.00
119662	06/13/2024	PRTD	10458 GARDA WORLD	52337	10782577	06/01/2024	23240087	061324	265.23
			265.23 101 -06-0600-0000-0000-431110-					BANK SERV/INVEST SAFEKEEPING	
						CHECK	119662	TOTAL:	265.23
119663	06/13/2024	PRTD	10463 THE GAS CO	52348	04/22-05/21	05/23/2024		061324	418.32
			234.28 101 -04-0440-0000-0000-425200-					GAS SERVICE	
			20.36 101 -04-0450-0000-0000-425200-					GAS SERVICE	
			109.90 101 -04-0470-0000-0000-425200-					GAS SERVICE	
			17.29 101 -04-0470-0000-0000-429050-					BRYANT RANCH MUSEUM	
			36.49 202 -07-0700-0000-0000-425200-					GAS SERVICE	
						CHECK	119663	TOTAL:	418.32
119664	06/13/2024	PRTD	10523 HARTZOG & CRABILL IN	52251	24-0374	06/04/2024	23240310	061324	6,677.50
			6,677.50						
			E TC241003 -ALL -IMP PROJ -					TRAFFIC CONTROL	
			401 -00-0050-0000-0000-461630-						
Project Title-Citywide Traffic Signal Modification						CHECK	119664	TOTAL:	6,677.50
119665	06/13/2024	PRTD	12224 HASA INC	52222	963844	05/31/2024	23240383	061324	2,314.00
			2,314.00 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE	
				52316	965313	06/05/2024	23240383	061324	185.87
			185.87 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE	
						CHECK	119665	TOTAL:	2,499.87
119666	06/13/2024	PRTD	10549 SUZETTE HODNETT	52318	060724	06/07/2024	23240116	061324	685.80
			685.80 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
						CHECK	119666	TOTAL:	685.80
119667	06/13/2024	PRTD	10575 IMPERIAL SPRINKLER I	52291	0015694102-001	05/21/2024	23241628	061324	417.22
			417.22 101 -03-0331-0000-0000-421100-					SPECIAL SUPPLIES	
				52292	0015760629-001	05/23/2024	23241628	061324	49.14
			49.14 101 -03-0331-0000-0000-421100-					SPECIAL SUPPLIES	
						CHECK	119667	TOTAL:	466.36
119668	06/13/2024	PRTD	10583 INNO THREAD GRAPHICS	52244	15718	05/24/2024	23241571	061324	7,893.50
			7,893.50 101 -04-0430-0000-0000-421140-					REC CLASS SUPPLIES	
						CHECK	119668	TOTAL:	7,893.50
119669	06/13/2024	PRTD	10699 LIBERTY PAPER & PRIN	52329	320565	05/28/2024	23241635	061324	659.43
			659.43 202 -07-0700-0000-0000-421050-					OFFICE SUPPLIES	
						CHECK	119669	TOTAL:	659.43
119670	06/13/2024	PRTD	12082 MAD SCIENCE OF WEST	52245	1582	05/27/2024	23241624	061324	545.00
			545.00 101 -04-0430-0000-0000-421140-					REC CLASS SUPPLIES	
						CHECK	119670	TOTAL:	545.00
119671	06/13/2024	PRTD	11928 MARK THOMAS & COMPAN	52252	50422	02/27/2024	23240631	061324	23,370.70
			23,370.70						
			E SI211002 -NONCONST -					STREET IMPROVEMENTS	
			401 -00-0050-0000-0000-461620-						
			Project Title-YL Widening La Palma to Santa Ana						
						CHECK	119671	TOTAL:	23,370.70
119672	06/13/2024	PRTD	10747 MCFADDEN-DALE HARDWA	52306	547139-547571/5	06/04/2024	23240538	061324	15.30
			72.19 101 -04-0470-0000-0000-421610-					MATERIALS/BUILDING	
			-56.89 101 -04-0470-0000-0000-421610-					MATERIALS/BUILDING	
						CHECK	119672	TOTAL:	15.30
119673	06/13/2024	PRTD	10760 MERRIMAC ENERGY GROU	52297	2231871	06/04/2024	23240238	061324	10,758.63
			10,758.63 101 -03-0330-0000-0000-421160-					AUTO GAS & SUPPLIES	
						CHECK	119673	TOTAL:	10,758.63

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT											
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
119674	06/13/2024	PRTD	11721 OC ATHLETICS	52240	060424	06/04/2024	23240105	061324	105.00				
			105.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES					
								CHECK	119674 TOTAL:			105.00	
119675	06/13/2024	PRTD	10854 OC TREASURER-TAX COL	52326	SH 68587	05/29/2024	23240140	061324	2,440.00				
			2,440.00 101 -05-0500-0000-0000-430320-					OCSD - OTHER SERVICES					
								CHECK	119675 TOTAL:			2,440.00	
119676	06/13/2024	PRTD	99999 Aquagreen Constructi	52325	YL-0077450	05/31/2024		061324	283.00				
			283.00 101 -00-5210-0000-0000-321020-					PLAN CHECKS					
								CHECK	119676 TOTAL:			283.00	
119677	06/13/2024	PRTD	99999 Hana Ebrahim	52342	060524	06/05/2024		061324	146.73				
			146.73 101 -06-0600-0000-0000-426050-					TRAVEL/MEETINGS/SEMINARS					
								CHECK	119677 TOTAL:			146.73	
119678	06/13/2024	PRTD	99999 Natalynne Tran	52328	060624	06/06/2024		061324	1,041.00				
			1,041.00 101 -01-0120-0000-0000-426300-					EDUCATIONAL DEVELOPMENT					
								CHECK	119678 TOTAL:			1,041.00	
119679	06/13/2024	PRTD	10938 PFM ASSET MANAGEMENT	52327	14241692	04/30/2024	23240508	061324	3,667.43				
			3,667.43 101 -06-0600-0000-0000-431110-					BANK SERV/INVEST SAFEKEEPING					
								CHECK	119679 TOTAL:			3,667.43	
119680	06/13/2024	PRTD	11001 RAIN MASTER IRRIGATI	52270	08304001-24144	06/05/2024	23241520	061324	1,779.05				
			14.95 101 -03-0330-0000-0000-432700-					LANDSCAPE SERVICE					
			14.95										
			E ZONE A-1 -CONTRACTS -MISC MAINT-										
			201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE					
			14.95										
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			201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE					
			59.80										
			E ZONE A-5 -CONTRACTS -MISC MAINT-										
			201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE					
			74.75										
			E ZONE A-6 -CONTRACTS -MISC MAINT-										
			201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE					
			74.75										

A/P CASH DISBURSEMENTS JOURNAL

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	E ZONE A-7 -CONTRACTS -MISC MAINT-								
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59.80								MISC MAINTENANCE SERVICE	
	E ZONE A-9 -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
89.70								MISC MAINTENANCE SERVICE	
	E ZONE L-1A -CONTRACTS -MISC MAINT-								
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164.45								MISC MAINTENANCE SERVICE	
	E ZONE L-1B -CONTRACTS -MISC MAINT-								
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14.95								MISC MAINTENANCE SERVICE	
	E ZONE L-1C -CONTRACTS -MISC MAINT-								
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14.95								MISC MAINTENANCE SERVICE	
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59.80								MISC MAINTENANCE SERVICE	
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44.85								MISC MAINTENANCE SERVICE	
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209.30								MISC MAINTENANCE SERVICE	
	E ZONE L-2C -CONTRACTS -MISC MAINT-								
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74.75								MISC MAINTENANCE SERVICE	
	E ZONE L-2D -CONTRACTS -MISC MAINT-								
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29.90								MISC MAINTENANCE SERVICE	
	E ZONE L-2E -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
14.95								MISC MAINTENANCE SERVICE	
	E ZONE L-2F -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
59.80								MISC MAINTENANCE SERVICE	
	E ZONE L-2G -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
29.90								MISC MAINTENANCE SERVICE	
	E ZONE L-2H -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
44.85								MISC MAINTENANCE SERVICE	
	E ZONE L-2I -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
14.95								MISC MAINTENANCE SERVICE	
	E ZONE L-2J -CONTRACTS -MISC MAINT-								
	201 -03-0350-0000-0000-432950-								
14.95								MISC MAINTENANCE SERVICE	
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	201 -03-0350-0000-0000-432950-								
29.90								MISC MAINTENANCE SERVICE	
	E ZONE L-2L -CONTRACTS -MISC MAINT-								

A/P CASH DISBURSEMENTS JOURNAL

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14.95				E ZONE L-2P -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
44.85				E ZONE L-2Q -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
14.95				E ZONE L-2R -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
74.75				E ZONE L-2V -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
29.90				E ZONE L-3 -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
44.85				E ZONE L-4A -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
224.25				E ZONE L-5A -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
74.75				E ZONE L-5B -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
29.90				E ZONE L-5C -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
CHECK 119680 TOTAL:							1,779.05	
119681	06/13/2024	PRTD	11025 ROCKEY MURATA LANDSC	52315	0524-13	05/31/2024	23240315 061324	21,215.11
				4,828.96				
				E ZONE A-2 -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
2,022.73				E ZONE A-3 -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
263.06				E ZONE A-5 -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
381.83				E ZONE L-2G -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
3,006.78				E ZONE L-2I -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
1,083.31				E ZONE L-2J -CONTRACTS -MISC MAINT-				
				201 -03-0350-0000-0000-432950-			MISC MAINTENANCE SERVICE	
2,898.90								

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001			AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET			
					E ZONE L-2K -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE		
				1,638.59								
					E ZONE L-2L -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE		
				439.62								
					E ZONE L-2M -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE		
				1,430.59								
					E ZONE L-2O -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE		
				3,220.74								
					E ZONE L-2P -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE		
					52343 0524-15	05/31/2024	23240097	061324		6,446.59		
				6,446.59	101 -03-0330-0000-0000-432700-					LANDSCAPE SERVICE		
					52344 0220-16	05/31/2024	23240098	061324		3,607.49		
				3,607.49	101 -03-0331-0000-0000-432950-					MISC MAINTENANCE SERVICE		
					52345 59177	06/05/2024	23240098	061324		215.00		
				215.00	101 -03-0331-0000-0000-432950-					MISC MAINTENANCE SERVICE		
										CHECK 119681 TOTAL:	31,484.19	
119682	06/13/2024	PRTD	11065 JAMIE SCHROTH	52307	060324	06/03/2024	23240141	061324		1,614.24		
			1,614.24	101 -04-0410-0000-0000-433100-						RECREATION/CLASSES		
										CHECK 119682 TOTAL:	1,614.24	
119683	06/13/2024	PRTD	11113 SOUTHERN CALIFORNIA	52351	5/6-6/4	06/05/2024		061324		100,262.88		
			4,010.52									
					E LIGHT-ART -MAINTENANC-ELECTRIC - 201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS		
			96,252.36									
					E LIGHT-LCL -MAINTENANC-ELECTRIC - 201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS		
										CHECK 119683 TOTAL:	100,262.88	
119684	06/13/2024	PRTD	11113 SOUTHERN CALIFORNIA	52352	05/01-05/31	06/03/2024		061324		32,291.48		
			7,607.09	101 -04-0440-0000-0000-425100-						ELECTRIC SERVICE		
			6,027.28	101 -04-0450-0000-0000-425100-						ELEC SERVICE		
			6,576.71	101 -04-0470-0000-0000-425100-						ELEC SERVICE		
			14.49									
					E ZONE A-5 -MAINTENANC-ELECTRIC - 201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS		
			11.15									

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
					E LIGHT-ART -MAINTENANC-ELECTRIC -						
					201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS		
			267.59								
					E LIGHT-LCL -MAINTENANC-ELECTRIC -						
					201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS		
			352.55		101 -03-0331-0000-0000-425150-				ELEC SERV/LANDSCAPE AREAS		
			8,804.66		202 -07-0700-0000-0000-425100-				ELECTRIC SERVICE		
			2,629.96		101 -04-0475-0000-0000-425100-				ELECTRIC SERVICE		
									CHECK	119684 TOTAL:	
										32,291.48	
119685	06/13/2024	PRTD	11113	SOUTHERN CALIFORNIA	52353	05/01-05/31/24					
			89.82	101 -04-0460-0000-0000-425150-		05/31/2024	061324			197.44	
			2.66						ELEC SERV/LANDSCAPE AREAS		
					E LIGHT-ART -MAINTENANC-ELECTRIC -						
					201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS		
			63.90								
					E LIGHT-LCL -MAINTENANC-ELECTRIC -						
					201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS		
			41.06								
					E ZONE L-1A -MAINTENANC-ELECTRIC -						
					201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS		
									CHECK	119685 TOTAL:	
										197.44	
119686	06/13/2024	PRTD	12232	TRIEPEI SMITH & ASSO	52346	12482					
			22,761.35	101 -02-0220-0000-0000-431950-		05/31/2024	22231749 061324			22,761.35	
									MISC CONSULTANT SERVICE		
									CHECK	119686 TOTAL:	
										22,761.35	
119687	06/13/2024	PRTD	11213	ULINE INC	52223	178341890					
			1,517.60	101 -04-0475-0000-0000-421100-		05/17/2024	23241028 061324			1,517.60	
									SPECIAL SUPPLIES		
									CHECK	119687 TOTAL:	
										1,517.60	
119688	06/13/2024	PRTD	11221	URBAN CROSSROADS INC	52294	42165					
			937.50	101 -03-0320-0000-0000-431580-		04/30/2024	23240986 061324			937.50	
									TRAFFIC STUDIES		
									CHECK	119688 TOTAL:	
										937.50	
119689	06/13/2024	PRTD	11235	VERIZON WIRELESS	52332	9965051426					
			1,598.64	101 -01-0130-0000-0000-425050-		05/25/2024	061324			1,766.14	
			167.50						TELEPHONE SERVICE		
					E LMAD ALLOC-MAINTENANC-TELEPHONE -						
					201 -03-0350-0000-0000-425050-				TELEPHONE SERVICE		

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

NET

						CHECK	119689	TOTAL:	1,766.14
119690	06/13/2024	PRTD	12175	VICTORY LOCK CONTROL	52300	VCA20249	05/09/2024	23241625 061324	4.30
			4.30	101 -04-0460-0000-0000-421690-				MATERIALS/MISCELLANEOUS	
					52301	VCA20464	06/03/2024	23241625 061324	145.80
			145.80	202 -07-0700-0000-0000-424010-				MAINT/BUILDINGS	
					52302	VCA20460	06/03/2024	23241625 061324	24.73
			24.73	101 -04-0460-0000-0000-421690-				MATERIALS/MISCELLANEOUS	
						CHECK	119690	TOTAL:	174.83
119691	06/13/2024	PRTD	11255	WEST COAST ARBORISTS	52298	215186	05/31/2024	23240509 061324	525.59
			525.59	101 -04-0460-0000-0000-432300-				TREE MANAGEMENT SERVICE	
						CHECK	119691	TOTAL:	525.59
119692	06/13/2024	PRTD	11297	YORBA LINDA CHAMBER	52338	031924	06/11/2024	23241646 061324	2,500.00
			2,500.00	101 -01-0180-0000-0000-430210-				RETAIL ENHANCED PROGRAM	
						CHECK	119692	TOTAL:	2,500.00
119693	06/13/2024	PRTD	11304	YORBA LINDA NURSERY	52290	626539	05/29/2024	23241622 061324	242.43
			242.43	101 -03-0330-0000-0000-432700-				LANDSCAPE SERVICE	
					52299	626541	06/03/2024	23241623 061324	107.75
			107.75	101 -04-0460-0000-0000-432650-				PARK MAINTENANCE	
						CHECK	119693	TOTAL:	350.18
119694	06/13/2024	PRTD	11307	YORBA LINDA WATER DI	52336	5/1-5/29 YLPL	06/03/2024	061324	611.45
			470.81	202 -07-0700-0000-0000-425250-				WATER SERVICE	
			140.64	101 -04-0475-0000-0000-425250-				WATER SERVICE	
						CHECK	119694	TOTAL:	611.45
119695	06/13/2024	PRTD	11307	YORBA LINDA WATER DI	52350	4/17-5/21BRM	05/27/2024	061324	51.26
			51.26	101 -04-0470-0000-0000-425250-				WATER SERVICE	
						CHECK	119695	TOTAL:	51.26

City of Yorba Linda, CA

A/P CASH DISBURSEMENTS JOURNAL

NUMBER OF CHECKS 44 *** CASH ACCOUNT TOTAL *** 274,629.55

	COUNT	AMOUNT
TOTAL PRINTED CHECKS	44	274,629.55

*** GRAND TOTAL *** 274,629.55

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

CLERK: eshipman

YEAR PER	JNL								
SRC ACCOUNT									
EFF DATE	JNL DESC	REF 1	REF 2	REF 3	ACCOUNT DESC LINE DESC	T OB	DEBIT	CREDIT	
2024 12 72									
APP 1010000-201150					ACCOUNTS PAYABLE		108,862.24		
06/13/2024 061324	ES				AP CASH DISBURSEMENTS JOURNAL				
APP 9990000-999001					AP BANK ACCOUNT			274,629.55	
06/13/2024 061324	ES				AP CASH DISBURSEMENTS JOURNAL				
APP 4010000-201150					ACCOUNTS PAYABLE		30,303.20		
06/13/2024 061324	ES				AP CASH DISBURSEMENTS JOURNAL				
APP 2020000-201150					ACCOUNTS PAYABLE		11,653.67		
06/13/2024 061324	ES				AP CASH DISBURSEMENTS JOURNAL				
APP 2010000-201150					ACCOUNTS PAYABLE		123,810.44		
06/13/2024 061324	ES				AP CASH DISBURSEMENTS JOURNAL				
					GENERAL LEDGER TOTAL		274,629.55	274,629.55	
APP 9990000-299101					POOLED CASH FUND 101		108,862.24		
06/13/2024 061324	ES								
APP 1010000-101100					FUND CASH			108,862.24	
06/13/2024 061324	ES								
APP 9990000-299401					POOLED CASH FUND 401		30,303.20		
06/13/2024 061324	ES								
APP 4010000-101100					FUND CASH			30,303.20	
06/13/2024 061324	ES								
APP 9990000-299202					POOLED CASH FUND 202		11,653.67		
06/13/2024 061324	ES								
APP 2020000-101100					FUND CASH			11,653.67	
06/13/2024 061324	ES								
APP 9990000-299201					POOLED CASH FUND 201		123,810.44		
06/13/2024 061324	ES								
APP 2010000-101100					FUND CASH			123,810.44	
06/13/2024 061324	ES								
					SYSTEM GENERATED ENTRIES TOTAL		274,629.55	274,629.55	
					JOURNAL 2024/12/72 TOTAL		549,259.10	549,259.10	

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

FUND	ACCOUNT	YEAR	PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
101	GENERAL FUND	2024	12	72	06/13/2024			
	1010000-101100					FUND CASH		108,862.24
	1010000-201150					ACCOUNTS PAYABLE	108,862.24	
						FUND TOTAL	108,862.24	108,862.24
201	LANDSCAPE MAINT ASSESSMENT DIS	2024	12	72	06/13/2024			
	2010000-101100					FUND CASH		123,810.44
	2010000-201150					ACCOUNTS PAYABLE	123,810.44	
						FUND TOTAL	123,810.44	123,810.44
202	YL PUBLIC LIBRARY FUND	2024	12	72	06/13/2024			
	2020000-101100					FUND CASH		11,653.67
	2020000-201150					ACCOUNTS PAYABLE	11,653.67	
						FUND TOTAL	11,653.67	11,653.67
401	CAPITAL IMPROVEMENTS FUND	2024	12	72	06/13/2024			
	4010000-101100					FUND CASH		30,303.20
	4010000-201150					ACCOUNTS PAYABLE	30,303.20	
						FUND TOTAL	30,303.20	30,303.20
999	TREASURY FUND	2024	12	72	06/13/2024			
	9990000-299101					POOLED CASH FUND 101	108,862.24	
	9990000-299201					POOLED CASH FUND 201	123,810.44	
	9990000-299202					POOLED CASH FUND 202	11,653.67	
	9990000-299401					POOLED CASH FUND 401	30,303.20	
	9990000-999001					AP BANK ACCOUNT		274,629.55
						FUND TOTAL	274,629.55	274,629.55

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

FUND		DUE TO	DUE FR
101	GENERAL FUND		108,862.24
201	LANDSCAPE MAINT ASSESSMENT DIS		123,810.44
202	YL PUBLIC LIBRARY FUND		11,653.67
401	CAPITAL IMPROVEMENTS FUND		30,303.20
999	TREASURY FUND		
		274,629.55	
		TOTAL	274,629.55

** END OF REPORT - Generated by Erica Shipman **

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119652	06/13/2024	PRINTED	011820 4IMPRINT INC	1,659.57			
119653	06/13/2024	PRINTED	010037 AIM TD LLC	255.00			
119654	06/13/2024	PRINTED	010063 AMERICAN SANITARY SUPPLY	1,145.65			
119655	06/13/2024	PRINTED	010095 AT&T	7,765.28			
119656	06/13/2024	PRINTED	011957 AVIDEX INDUSTRIES LLC	323.20			
119657	06/13/2024	PRINTED	010138 BLACK GOLD GOLF CLUB	269.38			
119658	06/13/2024	PRINTED	010287 COUNTRY ESTATE FENCE CO I	186.00			
119659	06/13/2024	PRINTED	011360 DANIELLE KINSLEY	1,614.24			
119660	06/13/2024	PRINTED	010349 DEPT OF INDUSTRIAL RELATI	171.25			
119661	06/13/2024	PRINTED	011419 ECO FERT INC	476.00			
119662	06/13/2024	PRINTED	010458 GARDA WORLD	265.23			
119663	06/13/2024	PRINTED	010463 THE GAS CO	418.32			
119664	06/13/2024	PRINTED	010523 HARTZOG & CRABILL INC	6,677.50			
119665	06/13/2024	PRINTED	012224 HASA INC	2,499.87			
119666	06/13/2024	PRINTED	010549 SUZETTE HODNETT	685.80			
119667	06/13/2024	PRINTED	010575 IMPERIAL SPRINKLER INC	466.36			
119668	06/13/2024	PRINTED	010583 INNO THREAD GRAPHICS	7,893.50			
119669	06/13/2024	PRINTED	010699 LIBERTY PAPER & PRINTING	659.43			
119670	06/13/2024	PRINTED	012082 MAD SCIENCE OF WEST ORANG	545.00			
119671	06/13/2024	PRINTED	011928 MARK THOMAS & COMPANY INC	23,370.70			
119672	06/13/2024	PRINTED	010747 MCFADDEN-DALE HARDWARE	15.30			
119673	06/13/2024	PRINTED	010760 MERRIMAC ENERGY GROUP	10,758.63			
119674	06/13/2024	PRINTED	011721 OC ATHLETICS	105.00			
119675	06/13/2024	PRINTED	010854 OC TREASURER-TAX COLLECTO	2,440.00			
119676	06/13/2024	PRINTED	099999 Aquagreen Construction	283.00			
119677	06/13/2024	PRINTED	099999 Hana Ebrahim	146.73			
119678	06/13/2024	PRINTED	099999 Natalynne Tran	1,041.00			
119679	06/13/2024	PRINTED	010938 PFM ASSET MANAGEMENT LLC	3,667.43			
119680	06/13/2024	PRINTED	011001 RAIN MASTER IRRIGATION SY	1,779.05			
119681	06/13/2024	PRINTED	011025 ROCKEY MURATA LANDSCAPE M	31,484.19			
119682	06/13/2024	PRINTED	011065 JAMIE SCHROTH	1,614.24			
119683	06/13/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	100,262.88			
119684	06/13/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	32,291.48			
119685	06/13/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	197.44			
119686	06/13/2024	PRINTED	012232 TRIPEPI SMITH & ASSOCIATE	22,761.35			
119687	06/13/2024	PRINTED	011213 ULINE INC	1,517.60			
119688	06/13/2024	PRINTED	011221 URBAN CROSSROADS INC	937.50			
119689	06/13/2024	PRINTED	011235 VERIZON WIRELESS	1,766.14			
119690	06/13/2024	PRINTED	012175 VICTORY LOCK CONTROL INC	174.83			
119691	06/13/2024	PRINTED	011255 WEST COAST ARBORISTS INC	525.59			
119692	06/13/2024	PRINTED	011297 YORBA LINDA CHAMBER COMME	2,500.00			
119693	06/13/2024	PRINTED	011304 YORBA LINDA NURSERY	350.18			
119694	06/13/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	611.45			
119695	06/13/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	51.26			
44 CHECKS				CASH ACCOUNT TOTAL	274,629.55	.00	

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
44 CHECKS	FINAL TOTAL	274,629.55	.00

** END OF REPORT - Generated by Erica Shipman **

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

NET

119696	06/20/2024	PRTD	12060	ABIDE CREATIVE LLC	52490	23-1045	06/10/2024	23241490	062024	2,000.00
				2,000.00 210 -00-1000-0000-0000-433950-						
									MISC OTHER CONTRACT SERVICE	
							CHECK	119696	TOTAL:	2,000.00
119697	06/20/2024	PRTD	10063	AMERICAN SANITARY SU	52405	IN-AM029230	05/22/2024	23240107	062024	877.73
				877.73 101 -04-0470-0000-0000-421010-					CUSTODIAL SUPPLIES	
							CHECK	119697	TOTAL:	877.73
119698	06/20/2024	PRTD	12170	ANTONY ODELL ROGERS	52416	061724	06/17/2024	23241665	062024	300.00
				300.00 101 -04-0410-0000-0000-433220-					SR CENTER SERVICES	
							CHECK	119698	TOTAL:	300.00
119699	06/20/2024	PRTD	10096	AT&T MOBILITY	52383	2872935066456012024	05/23/2024		062024	97.48
				97.48 101 -05-0500-0000-0000-425050-					TELEPHONE SERVICES	
							CHECK	119699	TOTAL:	97.48
119700	06/20/2024	PRTD	10109	BAKER & TAYLOR INC	52515	2038252940	05/09/2024	23240085	062024	315.13
				315.13 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
					52516	2038252941	05/09/2024	23240262	062024	77.39
				77.39 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES	
					52517	2038252944	05/10/2024	23240085	062024	408.03
				408.03 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
					52518	2038252945	05/10/2024	23240262	062024	137.58
				137.58 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES	
					52519	2038255005	05/09/2024	23240085	062024	591.85
				591.85 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
					52520	2038255006	05/09/2024	23240262	062024	133.28
				133.28 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES	
					52521	2038301312	05/15/2024	23240085	062024	40.62
				40.62 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
					52522	2038261313	05/15/2024	23240262	062024	636.28
				636.28 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES	
					52523	2038261799	05/10/2024	23240085	062024	63.95
				63.95 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
					52524	2038261800	05/10/2024	23240262	062024	21.50

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT											
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
				21.50	202 -07-0710-0000-0000-421080-			PROCESSING SUPPLIES					
					52525	2038275244	05/07/2024	23240085 062024		381.67			
381.67	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52526	2038277387	05/07/2024	23240085 062024		1,177.22			
1,177.22	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52527	2038278700	05/08/2024	23240085 062024		351.37			
351.37	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52528	2038279033	05/07/2024	23240085 062024		233.86			
233.86	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52529	2038282066	05/08/2024	23240085 062024		74.89			
74.89	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52530	2038284970	05/09/2024	23240085 062024		1,131.03			
1,131.03	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52531	2038287229	05/13/2024	23240085 062024		120.80			
120.80	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52532	2038287601	05/10/2024	23240085 062024		51.19			
51.19	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52533	2038290345	05/13/2024	23240085 062024		384.20			
384.20	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52534	2038294412	05/14/2024	23240085 062024		189.50			
189.50	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52535	2038295665	05/15/2024	23240085 062024		240.84			
240.84	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52536	2038297766	05/15/2024	23240085 062024		240.23			
240.23	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52537	2038261312	05/15/2024	23240085 062024		1,757.05			
1,757.05	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52538	2038305480	05/20/2024	23240085 062024		412.14			
412.14	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52539	2038306985	05/20/2024	23240085 062024		306.67			
306.67	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52540	2038308714	05/20/2024	23240085 062024		215.33			
215.33	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
					52541	2038313953	05/21/2024	23240085 062024		188.85			
188.85	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT															
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				52542	2038315683	05/21/2024	23240085	062024	88.68										
88.68	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52543	2038315735	05/22/2024	23240085	062024	225.24										
225.24	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52544	2038321276	05/24/2024	23240085	062024	546.87										
546.87	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52545	2038321277	05/24/2024	23240085	062024	226.52										
226.52	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52546	2038321278	05/24/2024	23240085	062024	449.16										
449.16	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52547	2038329722	05/29/2024	23240085	062024	267.70										
267.70	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52548	2038331244	05/28/2024	23240085	062024	51.78										
51.78	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52549	2038332028	05/29/2024	23240085	062024	39.73										
39.73	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52550	2038332041	05/29/2024	23240085	062024	436.28										
436.28	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52551	2038334605	05/30/2024	23240085	062024	98.38										
98.38	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52552	2038337320	06/01/2024	23240085	062024	504.34										
504.34	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52553	2038339086	06/03/2024	23240085	062024	217.62										
217.62	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52554	2038340389	06/03/2024	23240085	062024	106.15										
106.15	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52555	5018907742	05/09/2024	23240085	062024	36.46										
36.46	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52556	5018911679	05/13/2024	23240085	062024	114.93										
114.93	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52557	5018926599	05/20/2024	23240085	062024	18.44										
18.44	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												
				52558	5018940799	05/28/2024	23240085	062024	130.15										
130.15	202	-07-0730-0000-0000-421400-					BOOKS/LIBRARY												

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT											
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				52559	5018951823	06/03/2024	23240085	062024	54.54				
54.54	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
				52560	5018951835	06/03/2024	23240085	062024	338.81				
338.81	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
				52561	5018952639	06/03/2024	23240085	062024	99.78				
99.78	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
				52562	F12BIA00329	06/12/2024	23240085	062024	10,000.00				
10,000.00	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
				52563	NS24050199	05/15/2024	23241604	062024	2,071.69				
2,071.69	202	-07-0700-0000-0000-430300-						AUTO CIRC CONTROL SYSTEM					
							CHECK	119700 TOTAL:	26,005.70				
119701	06/20/2024	PRTD	12325 BARKER AND SONS PLUM	52371	119346	04/30/2024	23241642	062024	3,802.00				
			3,802.00 208 -00-0173-0000-0000-428200-					CDBG/NEIGHBORHOOD TARGETED					
							CHECK	119701 TOTAL:	3,802.00				
119702	06/20/2024	PRTD	10138 BLACK GOLD GOLF CLUB	52510	Sales0000000001353	03/26/2024	23241674	062024	255.00				
			255.00 101 -04-0410-0000-0000-433220-					SR CENTER SERVICES					
				52591	SALES0000000001375	06/18/2024		062024	105.00				
105.00	101	-00-0000-0000-0000-223640-						COUNCIL DINNER					
							CHECK	119702 TOTAL:	360.00				
119703	06/20/2024	PRTD	10142 BLACKSTONE AUDIO INC	52447	2153346	05/10/2024	23241439	062024	74.98				
			74.98 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY					
				52448	2153774	05/13/2024	23241439	062024	29.24				
29.24	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY					
				52449	2154326	05/16/2024	23240093	062024	40.00				
40.00	202	-07-0730-0000-0000-421310-						AUDIO VISUAL					
							CHECK	119703 TOTAL:	144.22				
119704	06/20/2024	PRTD	11710 BLAIS & ASSOCIATES I	52413	BA_7606_2024	06/14/2024	23240285	062024	2,185.00				
			2,185.00 101 -03-0300-0000-0000-431950-					MISC CONSULTANT SERVICE					
							CHECK	119704 TOTAL:	2,185.00				

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT																								
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119705	06/20/2024	PRTD	11964 BLISS CAR WASH LLC	52388	INV0266	05/31/2024	23240333	062024	442.00																	
			442.00 101 -05-0500-0000-0000-424050-					MAINT/AUTOMOBILES																		
								CHECK	119705 TOTAL:	442.00																
119706	06/20/2024	PRTD	11719 BORDIN SEMMER LLP	52585	1 Dated 6/18/24	06/18/2024	23241689	062024	1,944.00																	
			1,944.00 101 -01-0150-0000-0000-427400-					CLAIMS SETTLEMENTS/JDGMTS																		
				52586	4 Dated 6/18/24	06/18/2024	23241688	062024	1,080.00																	
			1,080.00 101 -01-0150-0000-0000-427400-					CLAIMS SETTLEMENTS/JDGMTS																		
								CHECK	119706 TOTAL:	3,024.00																
119707	06/20/2024	PRTD	12329 BRAGG INVESTMENT COM	52597	1140481	06/17/2024	23241627	062024	8,840.01																	
			8,840.01 101 -05-0500-0000-0000-432750-					FACILITIES MAINTENANCE																		
								CHECK	119707 TOTAL:	8,840.01																
119708	06/20/2024	PRTD	10752 BRODART CO	52450	640895	06/03/2024	23240264	062024	67.44																	
			67.44 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES																		
				52451	640946	06/04/2024	23240264	062024	67.41																	
			67.41 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES																		
								CHECK	119708 TOTAL:	134.85																
119709	06/20/2024	PRTD	10172 BSN SPORTS	52365	925752834	06/15/2024	23241558	062024	2,296.15																	
			2,296.15 101 -04-0430-0000-0000-421140-					REC CLASS SUPPLIES																		
								CHECK	119709 TOTAL:	2,296.15																
119710	06/20/2024	PRTD	10176 BUTLER CHEMICALS, IN	52509	1417593-1	06/03/2024	23241675	062024	184.31																	
			184.31 101 -04-0410-0000-0000-433220-					SR CENTER SERVICES																		
								CHECK	119710 TOTAL:	184.31																
119711	06/20/2024	PRTD	11927 CANNON CORPORATION	52362	88637	06/11/2024	21220647	062024	4,329.28																	
			4,329.28																							
			E SI201003 -ALL		-																					
			401 -00-0050-0000-0000-461620-					STREET IMPROVEMENTS																		
			Project Title-Lakeview Widening Oriente to Bastanchury					CHECK	119711 TOTAL:	4,329.28																

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
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CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
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Report generated: 06/20/2024 10:29
User: eshipman
Program ID: apcshdsb

A/P CASH DISBURSEMENTS JOURNAL

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119718	06/20/2024	PRTD	10320 CULLIGAN WATER CONDI	52339	1937691	04/30/2024	23240101	062024	80.65								
			80.65 101 -04-0440-0000-0000-425250-					WATER SERVICE									
				52340	1941694	05/31/2024	23240101	062024	90.65								
			90.65 101 -04-0440-0000-0000-425250-					WATER SERVICE									
						CHECK	119718	TOTAL:	171.30								
119719	06/20/2024	PRTD	12284 DAMANDEEP SINGH	52507	060724	06/04/2024	23240902	062024	3,528.00								
			3,528.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES									
						CHECK	119719	TOTAL:	3,528.00								
119720	06/20/2024	PRTD	10334 DAVE BANG ASSOCIATES	52368	CAS56072	06/04/2024	23241324	062024	6,992.22								
			6,992.22 101 -04-0460-0000-0000-432650-					PARK MAINTENANCE									
						CHECK	119720	TOTAL:	6,992.22								
119721	06/20/2024	PRTD	10344 DEMCO SUPPLY INC	52452	7490868	05/31/2024	23241631	062024	311.81								
			311.81 202 -07-0710-0000-0000-421080-					PROCESSING SUPPLIES									
						CHECK	119721	TOTAL:	311.81								
119722	06/20/2024	PRTD	10349 DEPT OF INDUSTRIAL R	52376	S 2070656 SN	05/30/2024	23241648	062024	675.00								
			675.00														
			E FC241001 -ALL -IMP PROJ -														
			401 -00-0050-0000-0000-461610-					MUNICIPAL BLDG. & FACILITIES									
				52377	S 2070829 SN	05/30/2024	23241648	062024	675.00								
			675.00														
			E FC241001 -ALL -IMP PROJ -														
			401 -00-0050-0000-0000-461610-					MUNICIPAL BLDG. & FACILITIES									
			Project Title-Miscellaneous Facilities Renovation														
						CHECK	119722	TOTAL:	1,350.00								
119723	06/20/2024	PRTD	11354 DMC	52393	17333	06/11/2024	23240704	062024	1,198.50								
			1,198.50 101 -02-0210-0000-0000-424330-					MICROFILMING SERVICE									
						CHECK	119723	TOTAL:	1,198.50								
119724	06/20/2024	PRTD	11908 DOG WASTE DEPOT	52425	713901	06/13/2024	23241656	062024	1,065.43								
			1,065.43 101 -04-0460-0000-0000-421100-					SPECIAL SUPPLIES									

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
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						CHECK	119724	TOTAL:	1,065.43		
119725	06/20/2024	PRTD	10374 E LAKE VILLAGE COMMU	52600	4/26-5/23	06/19/2024		062024	1,560.41		
			1,560.41								
			E ZONE L-2C -MAINTENANC-WATER		-						
			201 -03-0350-0000-0000-425300-								
								WATER SERV/LANDSCAPE AREAS			
						CHECK	119725	TOTAL:	1,560.41		
119726	06/20/2024	PRTD	10380 EBSCO	52453	2402820	05/13/2024	23241561	062024	29.82		
			29.82 202 -07-0730-0000-0000-421210-					MAGAZINE/NEWSPAPER/MICROFICH			
						CHECK	119726	TOTAL:	29.82		
119727	06/20/2024	PRTD	12324 FIELDTURF USA INC	52370	714920	06/06/2024	23241638	062024	1,700.00		
			1,700.00 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE			
						CHECK	119727	TOTAL:	1,700.00		
119728	06/20/2024	PRTD	10433 FM THOMAS AIR CONDIT	52374	46606	04/30/2024	23241650	062024	1,853.16		
			1,853.16 202 -07-0700-0000-0000-424010-					MAINT/BUILDINGS			
						CHECK	119728	TOTAL:	1,853.16		
119729	06/20/2024	PRTD	10436 JOSEPHINE ODIN FORBE	52505	060724	06/07/2024	23240113	062024	1,835.89		
			1,835.89 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
						CHECK	119729	TOTAL:	1,835.89		
119730	06/20/2024	PRTD	12285 FRANCOIS ALVES DE FR	52506	061724	06/17/2024	23240903	062024	1,494.00		
			1,494.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
						CHECK	119730	TOTAL:	1,494.00		
119731	06/20/2024	PRTD	10449 FUSCOE ENGINEERING I	52576	173080	06/06/2024	23241232	062024	7,294.58		
			7,294.58 101 -03-0340-0000-0000-432860-					N.P.D.E.S./CONSULTANT			
						CHECK	119731	TOTAL:	7,294.58		
119732	06/20/2024	PRTD	10453 CENGAGE LEARNING GAL	52454	84346978	05/21/2024	23240263	062024	136.16		
			136.16 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY			
				52455	84394475	05/28/2024	23240263	062024	86.20		
			86.20 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY			

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT									
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				52456	84403567	05/29/2024	23240263	062024	60.32				
60.32	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
				52457	84415147	05/30/2024	23240263	062024	53.43				
53.43	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
				52458	84450390	06/04/2024	23240263	062024	105.99				
105.99	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
				52459	84461812	06/05/2024	23240263	062024	35.33				
35.33	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
				52460	84462197	06/05/2024	23240263	062024	222.33				
222.33	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
				52461	84469284	06/06/2024	23240263	062024	29.31				
29.31	202	-07-0730-	0000-0000-421400-					BOOKS/LIBRARY					
								CHECK 119732 TOTAL:	729.07				
119733	06/20/2024	PRTD	10458 GARDA WORLD	52367	20606344	05/31/2024		062024	3.77				
3.77	101	-06-0600-	0000-0000-431110-					BANK SERV/INVEST SAFEKEEPING					
								CHECK 119733 TOTAL:	3.77				
119734	06/20/2024	PRTD	10462 GARZA INDUSTRIES INC	52594	1986332	06/18/2024	23240370	062024	518.04				
518.04	101	-01-0170-	0000-0000-421050-					OFFICE SUPPLIES					
								CHECK 119734 TOTAL:	518.04				
119735	06/20/2024	PRTD	11924 GMU GEOTECHNICAL INC	52581	65812	04/30/2024	22231010	062024	10,419.00				
10,419.00													
				E SI221005	-CONST								
				401	-00-0050-								
					0000-0000-461620-			STREET IMPROVEMENTS					
			Project Title-Bastanchury Rd. Widening-Casa Loma					CHECK 119735 TOTAL:	10,419.00				
119736	06/20/2024	PRTD	10489 ALICIA GRABOWSKI	52508	060324	06/03/2024	23241678	062024	1,309.00				
77.00	101	-04-0410-	0000-0000-426050-					TRAVEL/MEETINGS/SEMINARS					
462.00	101	-04-0440-	0000-0000-426050-					TRAVEL/MEETINGS/SEMINARS					
770.00	101	-04-0450-	0000-0000-426050-					TRAVEL/MEETINGS/SEMINARS					
								CHECK 119736 TOTAL:	1,309.00				

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
CHECK NO CHK DATE TYPE VENDOR NAME

Report generated: 06/20/2024 10:29
User: eshipman
Program ID: apcshdsb

A/P CASH DISBURSEMENTS JOURNAL

 CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

NET

					CHECK	119743	TOTAL:	735.39
119744	06/20/2024	PRTD	10586	INSIGHT PUBLIC SECTO 52414 1101174454	06/14/2024	23241654	062024	129.01
				129.01 101 -01-0130-0000-0000-461120-			COMPUTER HARDWARE/SOFTWARE	
				52415 1101171750	06/05/2024	23241616	062024	673.90
				673.90 101 -04-0430-0000-0000-421140-			REC CLASS SUPPLIES	
					CHECK	119744	TOTAL:	802.91
119745	06/20/2024	PRTD	10593	INTERWEST CONSULTING 52575 418051	06/18/2024	23240591	062024	640.00
				640.00 101 -03-0310-0000-0000-433200-			TEMPORARY INSPECTION SERVICE	
					CHECK	119745	TOTAL:	640.00
119746	06/20/2024	PRTD	10598	IRV SEAVER MOTORCYCL 52389 20240815	04/23/2024	23240496	062024	632.57
				632.57 101 -05-0500-0000-0000-424050-			MAINT/AUTOMOBILES	
				52390 20241028	05/15/2024	23240496	062024	1,060.29
				1,060.29 101 -05-0500-0000-0000-424050-			MAINT/AUTOMOBILES	
					CHECK	119746	TOTAL:	1,692.86
119747	06/20/2024	PRTD	10604	J D FIELDS LUMBER CO 52512 10838	06/10/2024	23241661	062024	1,166.36
				1,166.36 101 -04-0430-0000-0000-421140-			REC CLASS SUPPLIES	
					CHECK	119747	TOTAL:	1,166.36
119748	06/20/2024	PRTD	10612	JASON ADDISON CNSULT 52391 PC 7105	06/07/2024	23240376	062024	4,199.40
				4,199.40 101 -02-0210-0000-0000-431530-			PLAN CHECK SERVICE	
					CHECK	119748	TOTAL:	4,199.40
119749	06/20/2024	PRTD	12337	JERRY KNOX BURGIN 52511 061824	06/18/2024	23241677	062024	600.00
				600.00 101 -04-0430-0000-0000-421140-			REC CLASS SUPPLIES	
					CHECK	119749	TOTAL:	600.00
119750	06/20/2024	PRTD	10657	DANI KLINE 52497 060724	06/07/2024	23240117	062024	1,488.90
				1,488.90 101 -04-0410-0000-0000-433100-			RECREATION/CLASSES	
					CHECK	119750	TOTAL:	1,488.90

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT							
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
119751	06/20/2024	PRTD	12333 KNORR SYSTEMS INTL L	52429	237556	05/31/2024	23241666	062024	363.75		
			363.75 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE			
								CHECK 119751 TOTAL:	363.75		
119752	06/20/2024	PRTD	10660 KONE INC	52369	871384357	06/01/2024	23240802	062024	1,169.00		
			500.00 101 -04-0470-0000-0000-432750-					FACILITIES MAINTENANCE			
			669.00 202 -07-0700-0000-0000-432750-					FACILITIES MAINTENANCE			
								CHECK 119752 TOTAL:	1,169.00		
119753	06/20/2024	PRTD	12309 L&S CONSTRUCTION INC	52386	2441402	05/31/2024	23241370	062024	46,536.87		
			46,536.87								
			E SD241001 -ALL -IMP PROJ -					STORM DRAIN IMPROVEMENTS			
			401 -00-0050-0000-0000-461650-								
			Project Title-YL & Imperial Hwy. Sinkhold Repair								
								CHECK 119753 TOTAL:	46,536.87		
119754	06/20/2024	PRTD	10672 LAMPOST PIZZA YORBA	52360	060424	06/04/2024	23241636	062024	65.00		
			65.00 101 -04-0430-0000-0000-421140-					REC CLASS SUPPLIES			
								CHECK 119754 TOTAL:	65.00		
119755	06/20/2024	PRTD	10676 LARSON LIGHTING & AU	52491	LLA0542	06/07/2024	23241329	062024	16,200.00		
			16,200.00 101 -00-0000-0000-0000-113550-					PREPAID EXPENDITURES			
								CHECK 119755 TOTAL:	16,200.00		
119756	06/20/2024	PRTD	10736 MARCIVE INC	52466	402406	05/31/2024	23240293	062024	303.66		
			303.66 202 -07-0700-0000-0000-430300-					AUTO CIRC CONTROL SYSTEM			
								CHECK 119756 TOTAL:	303.66		
119757	06/20/2024	PRTD	12025 MARIA ELENA CABRERA	52502	061724	06/17/2024	23240124	062024	1,340.40		
			1,340.40 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
								CHECK 119757 TOTAL:	1,340.40		
119758	06/20/2024	PRTD	10753 KATHARINA M MEANS	52499	060724	06/07/2024	23240119	062024	1,744.20		
			1,744.20 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
								CHECK 119758 TOTAL:	1,744.20		

A/P CASH DISBURSEMENTS JOURNAL

 CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

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CHECK RUN

NET

119759	06/20/2024	PRTD	10757	MERCHANTS LANDSCAPE	52225	63119	05/31/2024	23240320	062024	661.00
				661.00						
				E ZONE L-1A -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52226	63130	05/31/2024	23240320	062024	1,280.34
				1,280.34						
				E ZONE L-1A -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52227	63117	05/31/2024	23240320	062024	485.00
				485.00						
				E ZONE L-2V -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52229	63114	05/31/2024	23240319	062024	153.00
				153.00						
				E ZONE L-1C -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52230	63126	05/31/2024	23240319	062024	520.00
				520.00						
				E ZONE L-1C -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52231	63127	05/31/2024	23240319	062024	540.00
				540.00						
				E ZONE L-1B -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52248	63120	05/31/2024	23240354	062024	345.00
				345.00						
				E ZONE L-2Q -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52249	63121	05/31/2024	23240354	062024	679.00
				679.00						
				E ZONE A-7 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52266	63125	05/31/2024	23240354	062024	834.00
				834.00						
				E ZONE L-2G -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52267	63124	05/31/2024	23240354	062024	1,427.00
				1,427.00						
				E ZONE L-2A -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
					52268	63123	05/31/2024	23240354	062024	770.00

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
			770.00		E ZONE L-2U -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE				
				52269	63122	05/31/2024	23240354	062024	1,111.00				
			1,111.00		E ZONE L-2T -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE				
				52363	63133	05/31/2024	23240354	062024	1,800.00				
			1,800.00	101	-03-0330-0000-0000-432600-				WEED ABATEMENT				
				52364	63132	05/31/2024	23240354	062024	1,800.00				
			1,800.00	101	-03-0330-0000-0000-432600-				WEED ABATEMENT				
				52443	63214	05/31/2024	23240978	062024	16,872.00				
			16,872.00	101	-03-0330-0000-0000-433200-				TEMPORARY PERSONNEL				
							CHECK	119759	TOTAL:		29,277.34		
119760	06/20/2024	PRTD	12234	MIDWEST TAPE LLC	52467 505538719	05/28/2024	23240092	062024	60.59				
			60.59	202	-07-0730-0000-0000-421310-				AUDIO VISUAL				
					52468 505565946	05/31/2024	23241632	062024	36.15				
			36.15	202	-07-0710-0000-0000-421080-				PROCESSING SUPPLIES				
					52469 505565947	05/31/2024	23241632	062024	3.00				
			3.00	202	-07-0710-0000-0000-421080-				PROCESSING SUPPLIES				
					52470 505571794	06/04/2024	23240092	062024	43.09				
			43.09	202	-07-0730-0000-0000-421310-				AUDIO VISUAL				
					52471 505571795	06/04/2024	23240092	062024	340.88				
			340.88	202	-07-0730-0000-0000-421310-				AUDIO VISUAL				
							CHECK	119760	TOTAL:		483.71		
119761	06/20/2024	PRTD	11722	NICK DE GRAAF	52341 104889	05/17/2024	23241644	062024	1,975.00				
			1,975.00	101	-04-0440-0000-0000-432750-				FACILITIES MAINTENANCE				
							CHECK	119761	TOTAL:		1,975.00		
119762	06/20/2024	PRTD	10854	OC TREASURER-TAX COL	52566 SH 68670	06/10/2024	23240140	062024	2,440.00				
			2,440.00	101	-05-0500-0000-0000-430320-				OCSO - OTHER SERVICES				
							CHECK	119762	TOTAL:		2,440.00		

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT													
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET						
119763	06/20/2024	PRTD	10857 OCCUPATIONAL HEALTH	52592	83339829	06/05/2024	23240267	062024	99.00						
			99.00 101 -01-0120-0000-0000-424310-					MEDICAL EXAMS/LIVE SCANS							
								CHECK 119763 TOTAL:	99.00						
119764	06/20/2024	PRTD	10861 OFFICE SOLUTIONS INC	52355	I-02202008	02/26/2024	23241652	062024	95.88						
			95.88 101 -01-0110-0000-0000-421050-					OFFICE SUPPLIES							
				52403	I-02230552	06/12/2024	23241655	062024	1,461.23						
			1,461.23 101 -03-0330-0000-0000-424210-					MAINT/MISCELLANEOUS							
				52593	I-02231912	06/18/2024	23240748	062024	67.28						
			67.28 101 -01-0120-0000-0000-421050-					OFFICE SUPPLIES							
								CHECK 119764 TOTAL:	1,624.39						
119765	06/20/2024	PRTD	99999 Joseph Owen	52588	YL-0077631	06/12/2024		062024	1,297.58						
			1,223.50 101 -00-5210-0000-0000-321010-					BUILDING PERMITS							
			71.00 101 -00-5210-0000-0000-321020-					PLAN CHECKS							
			1.00 701 -00-0000-0000-0000-227220-					CBSC DEPOSITS							
			2.08 701 -00-0000-0000-0000-227200-					SMS DEPOSITS							
								CHECK 119765 TOTAL:	1,297.58						
119766	06/20/2024	PRTD	99999 Mr Edward Kim	52402	061124	06/11/2024		062024	9,000.00						
			9,000.00												
			E SI201005 -ALL -												
			401 -00-0050-0000-0000-461620-					STREET IMPROVEMENTS							
			Project Title-YL Widening La Palma to SR91					CHECK 119766 TOTAL:	9,000.00						
119767	06/20/2024	PRTD	99999 Placentia Yorba Lind	52408	2006538.020	06/11/2024		062024	1,102.50						
			1,102.50 101 -00-5400-0000-0000-342060-					RENTAL/COMMUNITY CENTER							
								CHECK 119767 TOTAL:	1,102.50						
119768	06/20/2024	PRTD	99999 Rosalyn Dubiao	52565	YL-0077118	06/12/2024		062024	24.00						
			24.00 701 -00-0000-0000-0000-227400-					MISCELLANEOUS DEPOSITS							
								CHECK 119768 TOTAL:	24.00						
119769	06/20/2024	PRTD	10894 OVERDRIVE INC	52472	02215C024148473	05/14/2024	23240108	062024	3,350.23						
			3,350.23 202 -07-0730-0000-0000-421440-					LIB MAT/DIGITAL COLLECTIONS							
				52473	02215C024148547	05/14/2024	23240108	062024	188.71						

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT																	
CHECK NO	CHK	DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET											
					188.71	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52474	02215Co24148548	05/14/2024	23240108 062024		707.33										
					707.33	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52475	02215Co24154998	05/21/2024	23240108 062024		465.26										
					465.26	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52476	02215Co24155003	05/21/2024	23240108 062024		638.40										
					638.40	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52477	02215Co24155123	05/21/2024	23240108 062024		2,982.99										
					2,982.99	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52478	02215Co24160943	05/28/2024	23240108 062024		3,186.75										
					3,186.75	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52479	02215Co24161007	05/28/2024	23240108 062024		213.69										
					213.69	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52480	02215Co24161008	05/28/2024	23240108 062024		736.40										
					736.40	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52481	02215Co24165059	05/31/2024	23240108 062024		1,757.77										
					1,757.77	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52482	02215Co24171276	06/04/2024	23240108 062024		237.36										
					237.36	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52483	02215Co24171277	06/04/2024	23240108 062024		684.35										
					684.35	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52484	02215Co24171309	06/04/2024	23240108 062024		3,398.42										
					3,398.42	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52485	02215Co24177661	06/11/2024	23240108 062024		3,045.49										
					3,045.49	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52486	02215Co24177781	06/11/2024	23240108 062024		849.98										
					849.98	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
						52487	02215Co24177783	06/11/2024	23240108 062024		136.25										
					136.25	202 -07-0730-0000-0000-421440-			LIB MAT/DIGITAL COLLECTIONS												
								CHECK	119769	TOTAL:	22,579.38										
119770	06/20/2024	PRTD	11868	PACIFIC OFFICE AUTOM	52396	5030023651	05/30/2024	23241298 062024		3,236.40											
					3,236.40	202 -07-0700-0000-0000-427350-			LEASE/EQUIPMENT												

A/P CASH DISBURSEMENTS JOURNAL

 CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

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					CHECK	119770	TOTAL:	3,236.40
119771	06/20/2024	PRTD	10945	PITNEY BOWES INC	52444	060924		
				1,517.25	202	-07-0710-0000-0000-425500-	06/09/2024 23241645 062024	1,517.25
							POSTAGE SERVICE	
					CHECK	119771	TOTAL:	1,517.25
119772	06/20/2024	PRTD	10949	PLACENTIA-YL UNIFIED	52407	82TI1354		
				2,813.89	101	-04-0460-0000-0000-425150-	06/13/2024 23240561 062024	2,813.89
							ELEC SERV/LANDSCAPE AREAS	
					52601	9095	06/07/2024 23241681 062024	742.00
				742.00	101	-02-0220-0000-0000-426050-	TRAVEL/MEETINGS/SEMINARS	
					CHECK	119772	TOTAL:	3,555.89
119773	06/20/2024	PRTD	10971	PRINCIPAL FINANCIAL	52514	1085853-1001 JULY	06/17/2024	062024
				18,328.75	101	-00-0000-0000-0000-225240-	DENTAL INS PREMIUM	27,702.20
				8,481.78	101	-01-0120-0000-0000-411250-	CITY PAID RETIREE BENEFITS	
				891.67	202	-07-0700-0000-0000-411250-	RETIREE HEALTH INSURANCE	
					CHECK	119773	TOTAL:	27,702.20
119774	06/20/2024	PRTD	11463	RATANA INTERNATIONAL	52428	PSI54731	06/10/2024 23241663 062024	989.18
				227.51	101	-04-0475-0000-0000-432750-	FACILITIES MAINTENANCE	
				761.67	202	-07-0700-0000-0000-424010-	MAINT/BUILDINGS	
					CHECK	119774	TOTAL:	989.18
119775	06/20/2024	PRTD	11012	THE REGISTER	52394	00000592560	05/31/2024 23240332 062024	7,273.08
				7,273.08	101	-01-0160-0000-0000-424400-	PUBLICATION/ADVERTISING	
					CHECK	119775	TOTAL:	7,273.08
119776	06/20/2024	PRTD	12148	ROBIN WEINBERG	52333	053124	05/31/2024 23241372 062024	252.00
				252.00	101	-04-0410-0000-0000-433100-	RECREATION/CLASSES	
					CHECK	119776	TOTAL:	252.00
119777	06/20/2024	PRTD	11025	ROCKEY MURATA LANDSC	52310	59119	06/05/2024 23240338 062024	175.00
				175.00				
							MISC MAINTENANCE SERVICE	
					52311	59120	06/05/2024 23240338 062024	120.00
				120.00				

A/P CASH DISBURSEMENTS JOURNAL

 CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

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		E ZONE A-2 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
			52313	59128-59133	06/05/2024	23240338 062024	939.70
485.40		E ZONE A-2 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
55.60		E ZONE A-3 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
25.60		E ZONE L-2I -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
287.10		E ZONE L-2J -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
60.50		E ZONE L-2K -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
25.50		E ZONE L-2L -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
			52314	0524-14	05/31/2024	23240321 062024	50,523.82
1,149.29	101	-03-0330-0000-0000-432700-				LANDSCAPE SERVICE	
1,136.04		E ZONE A-2 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
193.20		E ZONE A-4 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
1,076.42		E ZONE A-5 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
851.03		E ZONE A-7 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
7,078.70		E ZONE A-9 -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
6,113.36		E ZONE L-2B -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
23,721.29		E ZONE L-2C -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
6,357.15		E ZONE L-2D -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	
2,681.77		E ZONE L-2H -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-				MISC MAINTENANCE SERVICE	

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
						CHECK	119778	TOTAL:	1,100.00		
119779	06/20/2024	PRTD	11038 RUTAN & TUCKER, LLP	52602	May 2024	06/13/2024	062024		31,992.90		
			29,393.00	101	-08-0800-0000-0000-431070-			OTHER LEGAL SERVICE			
			2,417.40	205	-00-0171-0000-0000-431070-			OTHER LEGAL SERVICE			
			182.50	701	-00-0000-0000-0000-227400-			MISCELLANEOUS DEPOSITS			
						CHECK	119779	TOTAL:	31,992.90		
119780	06/20/2024	PRTD	11041 S & S WORLDWIDE	52401	IN101405010	06/03/2024	23241618	062024	335.90		
			335.90	101	-04-0430-0000-0000-421140-			REC CLASS SUPPLIES			
					52495	IN101406207	06/04/2024	23241618	062024	1,368.79	
			1,368.79	101	-04-0430-0000-0000-421140-			REC CLASS SUPPLIES			
						CHECK	119780	TOTAL:	1,704.69		
119781	06/20/2024	PRTD	11043 S C SIGNS & SUPPLIES	52432	248449	06/04/2024	23241669	062024	1,592.55		
			1,592.55	101	-03-0330-0000-0000-421630-			MATERIALS/ROADWAYS			
					52441	248533	06/06/2024	23241281	062024	23,295.55	
			23,295.55	101	-03-0330-0000-0000-421640-			MATERIALS/SIGNS			
						CHECK	119781	TOTAL:	24,888.10		
119782	06/20/2024	PRTD	11047 SAGECREST PLANNING & 52513	4727		05/31/2024	23240298	062024	600.00		
			600.00	101	-02-0220-0000-0000-431930-			PC MINUTES CLERK			
						CHECK	119782	TOTAL:	600.00		
119783	06/20/2024	PRTD	11071 SECO ELECTRIC AND LI	52426	8697	06/13/2024	23241658	062024	310.68		
			310.68	101	-05-0500-0000-0000-421610-			MATERIALS/BUILDING			
					52427	8698	06/13/2024	23241659	062024	634.09	
			634.09	101	-04-0460-0000-0000-433950-			MISC OTHER CONTRACT SERVICE			
						CHECK	119783	TOTAL:	944.77		
119784	06/20/2024	PRTD	11083 SHI	52397	B18064330	03/12/2024	23241280	062024	2,295.75		
			2,295.75	101	-01-0130-0000-0000-461120-			COMPUTER HARDWARE/SOFTWARE			
						CHECK	119784	TOTAL:	2,295.75		

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
119785	06/20/2024	PRTD	11351 ADAN SILVA	52442	1617	06/10/2024	23240898	062024	1,656.00
			1,656.00 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES	
						CHECK	119785	TOTAL:	1,656.00
119786	06/20/2024	PRTD	12277 SLATE SERVICE GROUP	52412	24-4605	06/01/2024		062024	1,040.00
			1,040.00 701 -00-0000-0000-0000-227590-					CONTRACT SECURITY COMPANY	
						CHECK	119786	TOTAL:	1,040.00
119787	06/20/2024	PRTD	11112 SOUTH CO AIR QUALITY	52387	4353276	05/01/2024	23241653	062024	161.81
			161.81 101 -05-0500-0000-0000-421610-					MATERIALS/BUILDING	
						CHECK	119787	TOTAL:	161.81
119788	06/20/2024	PRTD	11117 SPECIALIZED CLEANING	52589	930	04/30/2024	23241687	062024	2,100.00
			2,100.00 101 -03-0330-0000-0000-432730-					GRAFFITI REMOVAL	
						CHECK	119788	TOTAL:	2,100.00
119789	06/20/2024	PRTD	11123 ST FRANCIS ELECTRIC	52567	2304468	05/31/2024	23240300	062024	325.33
			325.33						
			E SIGNAL TS1-CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432850-					TRAFFIC SIGNAL MAINTENANCE	
				52568	23044471	05/31/2024	23240300	062024	81.48
			81.48						
			E SIGNAL TS1-CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432850-					TRAFFIC SIGNAL MAINTENANCE	
				52569	23044469	05/31/2024	23240300	062024	4,254.65
			4,254.65						
			E SIGNAL TS2-CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432850-					TRAFFIC SIGNAL MAINTENANCE	
				52570	23044472	05/31/2024	23240300	062024	6,139.00
			6,139.00						
			E SIGNAL TS2-CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432850-					TRAFFIC SIGNAL MAINTENANCE	
				52571	23044470	05/31/2024	23240300	062024	73.00
			73.00						
			E SIGNAL TS3-CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432850-					TRAFFIC SIGNAL MAINTENANCE	

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT																							
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET																
										CHECK	119789	TOTAL:	10,873.46												
119790	06/20/2024	PRTD	11132 STATE OF CA DEPT OF	52590	738305	06/05/2024	23240729	062024	576.00																
			576.00 101 -01-0120-0000-0000-424310-																						
										CHECK	119790	TOTAL:	576.00												
119791	06/20/2024	PRTD	11153 SWANK MOTION PICTURE	52319	RG 3660074	06/06/2024	23240316	062024	565.00																
			565.00 101 -04-0430-0000-0000-421140-																						
				52320	RG 3660066	06/06/2024	23240316	062024	210.00																
			210.00 101 -04-0410-0000-0000-433220-																						
										CHECK	119791	TOTAL:	775.00												
119792	06/20/2024	PRTD	11863 T&B PLANNING INC	52101	24-2706	05/29/2024	23241394	062024	33,961.25																
			33,961.25 101 -02-0220-0000-0000-431950-																						
										CHECK	119792	TOTAL:	33,961.25												
119793	06/20/2024	PRTD	11182 TIME WARNER CABLE	52379	0373588052124	05/21/2024		062024	42.70																
			42.70 101 -01-0130-0000-0000-425050-																						
										CHECK	119793	TOTAL:	42.70												
119794	06/20/2024	PRTD	11182 TIME WARNER CABLE	52380	0476944052324	05/23/2024		062024	1,280.00																
			1,280.00 101 -01-0130-0000-0000-425050-																						
										CHECK	119794	TOTAL:	1,280.00												
119795	06/20/2024	PRTD	11182 TIME WARNER CABLE	52381	0037217060124	06/01/2024		062024	424.80																
			424.80 101 -05-0500-0000-0000-425050-																						
										CHECK	119795	TOTAL:	424.80												
119796	06/20/2024	PRTD	11182 TIME WARNER CABLE	52398	0404482051924	05/19/2024		062024	299.52																
			299.52 101 -05-0500-0000-0000-425050-																						
										CHECK	119796	TOTAL:	299.52												
119797	06/20/2024	PRTD	11215 UNIFIRST CORPORATION	52359	2190186855	06/13/2024	23240104	062024	102.31																
			102.31 101 -04-0440-0000-0000-424550-																						
				52422	2190186856	06/13/2024	23240181	062024	106.84																

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT											
CHECK NO	CHK	DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET					
					83.10	101 -04-0460-0000-0000-424550-									
					23.74	101 -04-0470-0000-0000-424550-									
						52423 2190180582	05/30/2024	23240181	062024	30.95					
					30.95	101 -04-0470-0000-0000-424550-									
						52424 2190186862	06/13/2024	23240181	062024	30.95					
					30.95	101 -04-0470-0000-0000-424550-									
						52433 2190183478	06/06/2024	23240180	062024	104.88					
					104.88	101 -03-0330-0000-0000-424550-									
						52434 2190180580	05/30/2024	23240180	062024	104.88					
					104.88	101 -03-0330-0000-0000-424550-									
						52435 2190166832	05/02/2024	23240180	062024	104.88					
					104.88	101 -03-0330-0000-0000-424550-									
							CHECK	119797	TOTAL:	585.69					
119798	06/20/2024	PRTD	11216	UNIQUE MANAGEMENT SE	52488	6126976	06/01/2024	23240279	062024	175.10					
				175.10	202 -07-0700-0000-0000-431760-										
							CHECK	119798	TOTAL:	175.10					
119799	06/20/2024	PRTD	11233	VCA CODE GROUP	52564	84793	06/01/2024	23240299	062024	6,040.00					
				6,040.00	101 -02-0210-0000-0000-431400-										
							CHECK	119799	TOTAL:	6,040.00					
119800	06/20/2024	PRTD	11235	VERIZON WIRELESS	52378	9965051427	05/25/2024		062024	326.39					
				326.39	101 -01-0130-0000-0000-425050-										
							CHECK	119800	TOTAL:	326.39					
119801	06/20/2024	PRTD	11235	VERIZON WIRELESS	52384	9965254171	05/27/2024		062024	388.16					
				388.16	101 -01-0130-0000-0000-425050-										
							CHECK	119801	TOTAL:	388.16					
119802	06/20/2024	PRTD	11253	WAXIE ENTERPRISES IN	52317	82518149	06/04/2024	23241637	062024	215.72					
				215.72	101 -04-0440-0000-0000-421010-										
							CHECK	119802	TOTAL:	215.72					

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT																	
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET												
119803	06/20/2024	PRTD	11254 KAREN WELCH	52498	060724	06/07/2024	23240122	062024	2,022.00												
			2,022.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES													
								CHECK	119803 TOTAL:	2,022.00											
119804	06/20/2024	PRTD	11291 Y KIM PAINTING SERVI	52373	052824	05/28/2024	23241641	062024	4,700.00												
			4,700.00 208 -00-0173-0000-0000-428200-					CDBG/NEIGHBORHOOD TARGETED													
								CHECK	119804 TOTAL:	4,700.00											
119805	06/20/2024	PRTD	11294 YMCA OF ORANGE COUNT	52356	2024-002	06/07/2024	23240324	062024	19,726.48												
			19,726.48 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES													
								CHECK	119805 TOTAL:	19,726.48											
119806	06/20/2024	PRTD	11303 YORBA LINDA MOBIL SE	52437	26797	06/06/2024	23240070	062024	1,035.57												
			1,035.57 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES													
				52438	26794	05/28/2024	23240070	062024	57.82												
			57.82 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES													
				52439	26796	06/06/2024	23240070	062024	259.90												
			259.90 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES													
				52440	26795	06/06/2024	23240070	062024	519.79												
			519.79 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES													
				52445	061524	06/15/2024	23240969	062024	189.09												
			189.09 101 -03-0330-0000-0000-421160-					AUTO GAS & SUPPLIES													
				52446	051524	05/15/2024	23241670	062024	57.65												
			57.65 101 -03-0330-0000-0000-421160-					AUTO GAS & SUPPLIES													
								CHECK	119806 TOTAL:	2,119.82											
119807	06/20/2024	PRTD	11304 YORBA LINDA NURSERY	52431	626542	06/13/2024	23241671	062024	302.77												
			302.77 101 -03-0330-0000-0000-432700-					LANDSCAPE SERVICE													
								CHECK	119807 TOTAL:	302.77											
119808	06/20/2024	PRTD	11305 YORBA LINDA SENIOR C	52366	061324	06/13/2024	23240971	062024	1,008.00												
			1,008.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES													
								CHECK	119808 TOTAL:	1,008.00											

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT	
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE

INV DATE	PO	CHECK RUN	NET
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Report generated: 06/20/2024 10:29
User: eshipman
Program ID: apcshdsb

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
119810	06/20/2024	PRTD	11307 YORBA LINDA WATER DI	52411	5/7-6/3	06/10/2024		062024	78,306.04		
			13,277.58	101	-04-0460-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			898.60		E ZONE A-2 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			734.51		E ZONE A-3 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			776.83		E ZONE A-4 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			3,164.62		E ZONE A-5 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			2,413.23		E ZONE A-6 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			1,396.60		E ZONE A-7 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			5,367.68		E ZONE A-9 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			225.12		E ZONE L-3 -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			12,432.33		E ZONE L-5A -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			7,776.39		E ZONE L-5B -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			3,402.66		E ZONE L-5C -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			4,658.80		E ZONE L-2A -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			1,891.08		E ZONE L-2B -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			7,678.17		E ZONE L-2D -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			2,565.09		E ZONE L-2E -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			644.12		E ZONE L-2F -MAINTENANC-WATER	-					
				201	-03-0350-0000-0000-425300-				WATER SERV/LANDSCAPE AREAS		
			2,929.61								

CASH ACCOUNT:	9990000	999001		AP BANK ACCOUNT
CHECK NO	CHK DATE	TYPE	VENDOR NAME	

[illegible]

*** GRAND TOTAL *** 869,996.83

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

CLERK: eshipman

YEAR PER	JNL						ACCOUNT DESC	T OB	DEBIT	CREDIT
SRC ACCOUNT	EFF DATE	JNL DESC	REF 1	REF 2	REF 3	LINE DESC				
2024 12	149									
APP 2100000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			2,000.00	
						AP CASH DISBURSEMENTS JOURNAL				
APP 9990000-999001	06/20/2024	062024	ES			AP BANK ACCOUNT				869,996.83
						AP CASH DISBURSEMENTS JOURNAL				
APP 1010000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			336,399.45	
						AP CASH DISBURSEMENTS JOURNAL				
APP 2020000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			63,045.64	
						AP CASH DISBURSEMENTS JOURNAL				
APP 2080000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			8,502.00	
						AP CASH DISBURSEMENTS JOURNAL				
APP 4010000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			72,735.15	
						AP CASH DISBURSEMENTS JOURNAL				
APP 2160000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			202,547.00	
						AP CASH DISBURSEMENTS JOURNAL				
APP 2010000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			181,100.61	
						AP CASH DISBURSEMENTS JOURNAL				
APP 7010000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			1,249.58	
						AP CASH DISBURSEMENTS JOURNAL				
APP 2050000-201150	06/20/2024	062024	ES			ACCOUNTS PAYABLE			2,417.40	
						AP CASH DISBURSEMENTS JOURNAL				
						GENERAL LEDGER TOTAL			869,996.83	869,996.83
APP 9990000-299210	06/20/2024	062024	ES			POOLED CASH FUND 210			2,000.00	
APP 2100000-101100	06/20/2024	062024	ES			FUND CASH				2,000.00
APP 9990000-299101	06/20/2024	062024	ES			POOLED CASH FUND 101			336,399.45	
APP 1010000-101100	06/20/2024	062024	ES			FUND CASH				336,399.45
APP 9990000-299202	06/20/2024	062024	ES			POOLED CASH FUND 202			63,045.64	
APP 2020000-101100	06/20/2024	062024	ES			FUND CASH				63,045.64
APP 9990000-299208	06/20/2024	062024	ES			POOLED CASH FUND 208			8,502.00	
APP 2080000-101100	06/20/2024	062024	ES			FUND CASH				8,502.00
APP 9990000-299401	06/20/2024	062024	ES			POOLED CASH FUND 401			72,735.15	
APP 4010000-101100	06/20/2024	062024	ES			FUND CASH				72,735.15
APP 9990000-299216	06/20/2024	062024	ES			POOLED CASH FUND 216			202,547.00	
APP 2160000-101100						FUND CASH				202,547.00

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

YEAR PER	JNL								
SRC	ACCOUNT					ACCOUNT DESC	T OB	DEBIT	CREDIT
	EFF DATE	JNL DESC	REF 1	REF 2	REF 3	LINE DESC			
	06/20/2024	062024	ES						
APP 99900000-299201	06/20/2024	062024	ES			POOLED CASH FUND 201		181,100.61	
APP 20100000-101100	06/20/2024	062024	ES			FUND CASH			181,100.61
APP 99900000-299701	06/20/2024	062024	ES			POOLED CASH FUND 701		1,249.58	
APP 70100000-101100	06/20/2024	062024	ES			FUND CASH			1,249.58
APP 99900000-299205	06/20/2024	062024	ES			POOLED CASH FUND 205		2,417.40	
APP 20500000-101100	06/20/2024	062024	ES			FUND CASH			2,417.40
	06/20/2024	062024	ES						
SYSTEM GENERATED ENTRIES TOTAL								869,996.83	869,996.83
JOURNAL 2024/12/149 TOTAL								1,739,993.66	1,739,993.66

A/P CASH DISBURSEMENTS JOURNAL
 JOURNAL ENTRIES TO BE CREATED

FUND	ACCOUNT	YEAR	PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
101	GENERAL FUND 1010000-101100 1010000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							336,399.45	336,399.45
						FUND TOTAL	336,399.45	336,399.45
201	LANDSCAPE MAINT ASSESSMENT DIS 2010000-101100 2010000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							181,100.61	181,100.61
						FUND TOTAL	181,100.61	181,100.61
202	YL PUBLIC LIBRARY FUND 2020000-101100 2020000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							63,045.64	63,045.64
						FUND TOTAL	63,045.64	63,045.64
205	AFFORDABLE HOUSING FUND 2050000-101100 2050000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							2,417.40	2,417.40
						FUND TOTAL	2,417.40	2,417.40
208	CDBG FUND 2080000-101100 2080000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							8,502.00	8,502.00
						FUND TOTAL	8,502.00	8,502.00
210	PEG ACCESS FUND 2100000-101100 2100000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							2,000.00	2,000.00
						FUND TOTAL	2,000.00	2,000.00
216	SB-2 BUILDING HOMES & JOB ACT 2160000-101100 2160000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							202,547.00	202,547.00
						FUND TOTAL	202,547.00	202,547.00
401	CAPITAL IMPROVEMENTS FUND 4010000-101100 4010000-201150	2024	12	149	06/20/2024	FUND CASH ACCOUNTS PAYABLE		
							72,735.15	72,735.15
						FUND TOTAL	72,735.15	72,735.15
701	SPECIAL DEPOSITS FUND	2024	12	149	06/20/2024			

A/P CASH DISBURSEMENTS JOURNAL
 JOURNAL ENTRIES TO BE CREATED

FUND	ACCOUNT	YEAR PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
	7010000-101100				FUND CASH		1,249.58
	7010000-201150				ACCOUNTS PAYABLE	1,249.58	
					FUND TOTAL	1,249.58	1,249.58
999	TREASURY FUND	2024 12	149	06/20/2024			
	9990000-299101				POOLED CASH FUND 101	336,399.45	
	9990000-299201				POOLED CASH FUND 201	181,100.61	
	9990000-299202				POOLED CASH FUND 202	63,045.64	
	9990000-299205				POOLED CASH FUND 205	2,417.40	
	9990000-299208				POOLED CASH FUND 208	8,502.00	
	9990000-299210				POOLED CASH FUND 210	2,000.00	
	9990000-299216				POOLED CASH FUND 216	202,547.00	
	9990000-299401				POOLED CASH FUND 401	72,735.15	
	9990000-299701				POOLED CASH FUND 701	1,249.58	
	9990000-999001				AP BANK ACCOUNT		869,996.83
					FUND TOTAL	869,996.83	869,996.83

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

FUND		DUE TO	DUE FR
101	GENERAL FUND		336,399.45
201	LANDSCAPE MAINT ASSESSMENT DIS		181,100.61
202	YL PUBLIC LIBRARY FUND		63,045.64
205	AFFORDABLE HOUSING FUND		2,417.40
208	CDBG FUND		8,502.00
210	PEG ACCESS FUND		2,000.00
216	SB-2 BUILDING HOMES & JOB ACT		202,547.00
401	CAPITAL IMPROVEMENTS FUND		72,735.15
701	SPECIAL DEPOSITS FUND		1,249.58
999	TREASURY FUND	869,996.83	
TOTAL		869,996.83	869,996.83

** END OF REPORT - Generated by Erica Shipman **

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119696	06/20/2024	PRINTED	012060 ABIDE CREATIVE LLC	2,000.00			
119697	06/20/2024	PRINTED	010063 AMERICAN SANITARY SUPPLY	877.73			
119698	06/20/2024	PRINTED	012170 ANTONY ODELL ROGERS	300.00			
119699	06/20/2024	PRINTED	010096 AT&T MOBILITY	97.48			
119700	06/20/2024	PRINTED	010109 BAKER & TAYLOR INC	26,005.70			
119701	06/20/2024	PRINTED	012325 BARKER AND SONS PLUMBING	3,802.00			
119702	06/20/2024	PRINTED	010138 BLACK GOLD GOLF CLUB	360.00			
119703	06/20/2024	PRINTED	010142 BLACKSTONE AUDIO INC	144.22			
119704	06/20/2024	PRINTED	011710 BLAIS & ASSOCIATES INC	2,185.00			
119705	06/20/2024	PRINTED	011964 BLISS CAR WASH LLC	442.00			
119706	06/20/2024	PRINTED	011719 BORDIN SEMMER LLP	3,024.00			
119707	06/20/2024	PRINTED	012329 BRAGG INVESTMENT COMPANY	8,840.01			
119708	06/20/2024	PRINTED	010752 BRODART CO	134.85			
119709	06/20/2024	PRINTED	010172 BSN SPORTS	2,296.15			
119710	06/20/2024	PRINTED	010176 BUTLER CHEMICALS, INC	184.31			
119711	06/20/2024	PRINTED	011927 CANNON CORPORATION	4,329.28			
119712	06/20/2024	PRINTED	011441 CITY OF LA HABRA-NORTH SP	202,547.00			
119713	06/20/2024	PRINTED	012018 COALITION FOR CONTROLLING	2,942.13			
119714	06/20/2024	PRINTED	010278 CONVERSA INC	1,422.00			
119715	06/20/2024	PRINTED	010280 CORODATA	1,726.77			
119716	06/20/2024	PRINTED	010287 COUNTRY ESTATE FENCE CO I	373.09			
119717	06/20/2024	PRINTED	010317 CSG CONSULTANTS INC	3,375.25			
119718	06/20/2024	PRINTED	010320 CULLIGAN WATER CONDITIONI	171.30			
119719	06/20/2024	PRINTED	012284 DAMANDEEP SINGH	3,528.00			
119720	06/20/2024	PRINTED	010334 DAVE BANG ASSOCIATES INC	6,992.22			
119721	06/20/2024	PRINTED	010344 DEMCO SUPPLY INC	311.81			
119722	06/20/2024	PRINTED	010349 DEPT OF INDUSTRIAL RELATI	1,350.00			
119723	06/20/2024	PRINTED	011354 DMC	1,198.50			
119724	06/20/2024	PRINTED	011908 DOG WASTE DEPOT	1,065.43			
119725	06/20/2024	PRINTED	010374 E LAKE VILLAGE COMMUNITY	1,560.41			
119726	06/20/2024	PRINTED	010380 EBSCO	29.82			
119727	06/20/2024	PRINTED	012324 FIELDTURF USA INC	1,700.00			
119728	06/20/2024	PRINTED	010433 FM THOMAS AIR CONDITIONIN	1,853.16			
119729	06/20/2024	PRINTED	010436 JOSEPHINE ODIN FORBES	1,835.89			
119730	06/20/2024	PRINTED	012285 FRANCOIS ALVES DE FREITAS	1,494.00			
119731	06/20/2024	PRINTED	010449 FUSCOE ENGINEERING INC	7,294.58			
119732	06/20/2024	PRINTED	010453 CENGAGE LEARNING GALE	729.07			
119733	06/20/2024	PRINTED	010458 GARDA WORLD	3.77			
119734	06/20/2024	PRINTED	010462 GARZA INDUSTRIES INC	518.04			
119735	06/20/2024	PRINTED	011924 GMU GEOTECHNICAL INC	10,419.00			
119736	06/20/2024	PRINTED	010489 ALICIA GRABOWSKI	1,309.00			
119737	06/20/2024	PRINTED	010506 GRYPHON FITNESS STUDIO LL	1,278.00			
119738	06/20/2024	PRINTED	012224 HASA INC	689.81			
119739	06/20/2024	PRINTED	010530 LUCIA HENRY	2,958.00			
119740	06/20/2024	PRINTED	010534 HERITAGE OAK PRIVATE SCHO	7,312.50			
119741	06/20/2024	PRINTED	010575 IMPERIAL SPRINKLER INC	177.70			
119742	06/20/2024	PRINTED	010581 INGRAM LIBRARY SERVICES I	3,110.19			
119743	06/20/2024	PRINTED	010583 INNO THREAD GRAPHICS	735.39			
119744	06/20/2024	PRINTED	010586 INSIGHT PUBLIC SECTOR INC	802.91			
119745	06/20/2024	PRINTED	010593 INTERWEST CONSULTING GROU	640.00			
119746	06/20/2024	PRINTED	010598 IRV SEAVER MOTORCYCLES	1,692.86			
119747	06/20/2024	PRINTED	010604 J D FIELDS LUMBER CO	1,166.36			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119748	06/20/2024	PRINTED	010612 JASON ADDISON CONSULT SVCS	4,199.40			
119749	06/20/2024	PRINTED	012337 JERRY KNOX BURGIN	600.00			
119750	06/20/2024	PRINTED	010657 DANI KLINE	1,488.90			
119751	06/20/2024	PRINTED	012333 KNORR SYSTEMS INTL LLC	363.75			
119752	06/20/2024	PRINTED	010660 KONE INC	1,169.00			
119753	06/20/2024	PRINTED	012309 L&S CONSTRUCTION INC	46,536.87			
119754	06/20/2024	PRINTED	010672 LAMPPPOST PIZZA YORBA LIND	65.00			
119755	06/20/2024	PRINTED	010676 LARSON LIGHTING & AUDIO I	16,200.00			
119756	06/20/2024	PRINTED	010736 MARCIVE INC	303.66			
119757	06/20/2024	PRINTED	012025 MARIA ELENA CABRERA	1,340.40			
119758	06/20/2024	PRINTED	010753 KATHARINA M MEANS	1,744.20			
119759	06/20/2024	PRINTED	010757 MERCHANTS LANDSCAPE SVC I	29,277.34			
119760	06/20/2024	PRINTED	012234 MIDWEST TAPE LLC	483.71			
119761	06/20/2024	PRINTED	011722 NICK DE GRAAF	1,975.00			
119762	06/20/2024	PRINTED	010854 OC TREASURER-TAX COLLECTO	2,440.00			
119763	06/20/2024	PRINTED	010857 OCCUPATIONAL HEALTH CENTE	99.00			
119764	06/20/2024	PRINTED	010861 OFFICE SOLUTIONS INC	1,624.39			
119765	06/20/2024	PRINTED	099999 Joseph Owen	1,297.58			
119766	06/20/2024	PRINTED	099999 Mr Edward Kim	9,000.00			
119767	06/20/2024	PRINTED	099999 Placentia Yorba Linda Gir	1,102.50			
119768	06/20/2024	PRINTED	099999 Rosalyn Dubiao	24.00			
119769	06/20/2024	PRINTED	010894 OVERDRIVE INC	22,579.38			
119770	06/20/2024	PRINTED	011868 PACIFIC OFFICE AUTOMATION	3,236.40			
119771	06/20/2024	PRINTED	010945 PITNEY BOWES INC	1,517.25			
119772	06/20/2024	PRINTED	010949 PLACENTIA-YL UNIFIED SCHL	3,555.89			
119773	06/20/2024	PRINTED	010971 PRINCIPAL FINANCIAL GROUP	27,702.20			
119774	06/20/2024	PRINTED	011463 RATANA INTERNATIONAL LTD	989.18			
119775	06/20/2024	PRINTED	011012 THE REGISTER	7,273.08			
119776	06/20/2024	PRINTED	012148 ROBIN WEINBERG	252.00			
119777	06/20/2024	PRINTED	011025 ROCKEY MURATA LANDSCAPE M	55,942.67			
119778	06/20/2024	PRINTED	012332 ROSS-CAMPBELL INC	1,100.00			
119779	06/20/2024	PRINTED	011038 RUTAN & TUCKER, LLP	31,992.90			
119780	06/20/2024	PRINTED	011041 S & S WORLDWIDE	1,704.69			
119781	06/20/2024	PRINTED	011043 S C SIGNS & SUPPLIES LLC	24,888.10			
119782	06/20/2024	PRINTED	011047 SAGECREST PLANNING & ENVI	600.00			
119783	06/20/2024	PRINTED	011071 SECO ELECTRIC AND LIGHTIN	944.77			
119784	06/20/2024	PRINTED	011083 SHI	2,295.75			
119785	06/20/2024	PRINTED	011351 ADAN SILVA	1,656.00			
119786	06/20/2024	PRINTED	012277 SLATE SERVICE GROUP LLC	1,040.00			
119787	06/20/2024	PRINTED	011112 SOUTH CO AIR QUALITY MGMT	161.81			
119788	06/20/2024	PRINTED	011117 SPECIALIZED CLEANING CONT	2,100.00			
119789	06/20/2024	PRINTED	011123 ST FRANCIS ELECTRIC INC	10,873.46			
119790	06/20/2024	PRINTED	011132 STATE OF CA DEPT OF JUSTI	576.00			
119791	06/20/2024	PRINTED	011153 SWANK MOTION PICTURES INC	775.00			
119792	06/20/2024	PRINTED	011863 T&B PLANNING INC	33,961.25			
119793	06/20/2024	PRINTED	011182 TIME WARNER CABLE	42.70			
119794	06/20/2024	PRINTED	011182 TIME WARNER CABLE	1,280.00			
119795	06/20/2024	PRINTED	011182 TIME WARNER CABLE	424.80			
119796	06/20/2024	PRINTED	011182 TIME WARNER CABLE	299.52			
119797	06/20/2024	PRINTED	011215 UNIFIRST CORPORATION	585.69			
119798	06/20/2024	PRINTED	011216 UNIQUE MANAGEMENT SERVICE	175.10			
119799	06/20/2024	PRINTED	011233 VCA CODE GROUP	6,040.00			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119800	06/20/2024	PRINTED	011235 VERIZON WIRELESS	326.39			
119801	06/20/2024	PRINTED	011235 VERIZON WIRELESS	388.16			
119802	06/20/2024	PRINTED	011253 WAXIE ENTERPRISES INC	215.72			
119803	06/20/2024	PRINTED	011254 KAREN WELCH	2,022.00			
119804	06/20/2024	PRINTED	011291 Y KIM PAINTING SERVICE	4,700.00			
119805	06/20/2024	PRINTED	011294 YMCA OF ORANGE COUNTY	19,726.48			
119806	06/20/2024	PRINTED	011303 YORBA LINDA MOBIL SERVICE	2,119.82			
119807	06/20/2024	PRINTED	011304 YORBA LINDA NURSERY	302.77			
119808	06/20/2024	PRINTED	011305 YORBA LINDA SENIOR CLUB	1,008.00			
119809	06/20/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	61,644.47			
119810	06/20/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	78,306.04			
115 CHECKS							
CASH ACCOUNT TOTAL				869,996.83	.00		

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
115 CHECKS	FINAL TOTAL	869,996.83	.00

** END OF REPORT - Generated by Erica Shipman **

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT											
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET						
119811	06/27/2024	PRTD	10009 A-1 FENCE COMPANY	52655	22591	06/13/2024	23241541	062724	8,175.00						
			8,175.00 101 -03-0330-0000-0000-424210-					MAINT/MISCELLANEOUS							
								CHECK 119811 TOTAL:	8,175.00						
119812	06/27/2024	PRTD	12095 A3 COMMUNICATIONS IN	52944	76553	06/26/2024	23241473	062724	320.00						
			320.00 101 -01-0130-0000-0000-461120-					COMPUTER HARDWARE/SOFTWARE							
								CHECK 119812 TOTAL:	320.00						
119813	06/27/2024	PRTD	10031 ADMINISURE	52609	17093	06/15/2024	23240687	062724	732.00						
			732.00 101 -01-0150-0000-0000-433170-					WORKER'S COMP INS ADMIN							
								CHECK 119813 TOTAL:	732.00						
119814	06/27/2024	PRTD	11769 AGA ENGINEERS INC	52608	24164-IN	05/24/2024	23240206	062724	5,280.00						
			5,280.00												
			E TC241003 -ALL -IMP PROJ -												
			401 -00-0050-0000-0000-461630-					TRAFFIC CONTROL							
			Project Title-Citywide Traffic Signal Modification												
								CHECK 119814 TOTAL:	5,280.00						
119815	06/27/2024	PRTD	10037 AIM TD LLC	52624	i5905	06/21/2024	23241651	062724	600.00						
			600.00												
			E TC241001 -ALL -IMP PROJ -												
			401 -00-0050-0000-0000-461630-					TRAFFIC CONTROL							
			Project Title-Traffic Calming/Safety/Operations												
								CHECK 119815 TOTAL:	600.00						
119816	06/27/2024	PRTD	10042 ALL CITY MANAGEMENT	52492	94071	06/12/2024	23240500	062724	45,519.05						
			45,519.05 101 -03-0320-0000-0000-432780-					CROSSING GUARD SERVICES							
								CHECK 119816 TOTAL:	45,519.05						
119817	06/27/2024	PRTD	12245 ALTA PLANNING & DESI	52580	304.0002023.134-11	06/14/2024	23240326	062724	15,341.59						
			15,341.59												
			E TC221001 -ALL -												
			401 -00-0050-0000-0000-461630-					TRAFFIC CONTROL							
			Project Title-Active Transportation Plan												
								CHECK 119817 TOTAL:	15,341.59						
119818	06/27/2024	PRTD	12178 AMAZON CAPITAL SERVI	52612	1GMG-6N39-FNXQ	05/01/2024	23241696	062724	587.19						
			318.92 202 -07-0730-0000-0000-421310-					AUDIO VISUAL							
			268.27 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY							

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
				52627	11NY-LX7Y-1T6G	06/01/2024	23241699	062724	4,311.00				
			1,594.73 202 -07-0730-0000-0000-421310-										
			2,716.27 202 -07-0730-0000-0000-421400-										
			</										

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT											
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
						CHECK	119825 TOTAL:				150.00		
119826	06/27/2024	PRTD	12340 DELUXE	52604	16468106	06/05/2024	23241690	062724				207.46	
			207.46 101 -06-0600-0000-0000-421050-					OFFICE SUPPLIES					
						CHECK	119826 TOTAL:				207.46		
119827	06/27/2024	PRTD	11812 DEVIL MOUNTAIN WHOLE	52645	INV313609	04/24/2024	23241404	062724				1,010.45	
			1,010.45										
			E ZONE L-2H -CONTRACTS -MISC MAINT-					MISC MAINTENANCE SERVICE					
			201 -03-0350-0000-0000-432950-										
						CHECK	119827 TOTAL:				1,010.45		
119828	06/27/2024	PRTD	10355 DIAMOND ENVIRONMANTA	52595	0005464976/5457370	06/20/2024	23240083	062724				373.72	
			373.72 101 -04-0460-0000-0000-433950-					MISC OTHER CONTRACT SERVICE					
						CHECK	119828 TOTAL:				373.72		
119829	06/27/2024	PRTD	11354 DMC	52661	17327	05/22/2024	23240704	062724				2,303.00	
			2,303.00 101 -02-0210-0000-0000-424330-					MICROFILMING SERVICE					
				52662	17328-RV	05/22/2024	23240704	062724				3,266.50	
			3,266.50 101 -02-0210-0000-0000-424330-					MICROFILMING SERVICE					
				52663	17325	05/22/2024	23240704	062724				1,057.50	
			1,057.50 101 -02-0210-0000-0000-424330-					MICROFILMING SERVICE					
				52664	17326	05/22/2024	23240704	062724				1,621.50	
			1,621.50 101 -02-0210-0000-0000-424330-					MICROFILMING SERVICE					
						CHECK	119829 TOTAL:				8,248.50		
119830	06/27/2024	PRTD	12311 ECOLOGY AUTO PARTS I	52418	0132368-IN	05/14/2024	23241660	062724				1,056.60	
			1,056.60										
			E MS241003 -ALL					MISCELLANEOUS					
			401 -00-0050-0000-0000-461670-										
				52419	0132640-IN	05/16/2024	23241660	062724				3,698.10	
			3,698.10										
			E MS241003 -ALL					MISCELLANEOUS					
			401 -00-0050-0000-0000-461670-										
				52420	0135784-IN	05/23/2024	23241660	062724				3,169.80	
			3,169.80										
			E MS241003 -ALL					MISCELLANEOUS					
			401 -00-0050-0000-0000-461670-										

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000		999001		AP BANK ACCOUNT							
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
				52421	0132974-IN	05/30/2024	23241660	062724	3,169.80		
			3,169.80								
			E MS241003 -ALL								
			401 -00-0050-0000-0000-461670-					MISCELLANEOUS			
				52489	0133294-IN	06/13/2024	23241660	062724	1,540.35		
			1,540.35								
			E MS241003 -ALL								
			401 -00-0050-0000-0000-461670-					MISCELLANEOUS			
			Project Title-Cal-Recycle Grant#2 SB1383 Organics					CHECK 119830 TOTAL:	12,634.65		
119831	06/27/2024	PRTD	12246 ELYSIAN ARTS & EVENT	52504	061724	06/17/2024	23240071	062724	16,067.10		
			16,067.10	101 -04-0410-0000-0000-433100-				RECREATION/CLASSES			
								CHECK 119831 TOTAL:	16,067.10		
119832	06/27/2024	PRTD	11480 G/M BUSINESS INTERIO	52587	0293317-IN	03/26/2024	23241202	062724	988.29		
			988.29	101 -03-0300-0000-0000-461100-				OFFICE EQUIP/FURNITURE			
								CHECK 119832 TOTAL:	988.29		
119833	06/27/2024	PRTD	11924 GMU GEOTECHNICAL INC	52582	65861	05/31/2024	22231010	062724	10,582.25		
			10,582.25								
			E SI221005 -CONST								
			401 -00-0050-0000-0000-461620-					STREET IMPROVEMENTS			
			Project Title-Bastanchury Rd. Widening - Casa Loma					CHECK 119833 TOTAL:	10,582.25		
119834	06/27/2024	PRTD	10519 HARRELL & COMPANY AD	52629	062024	06/20/2024	23241698	062724	3,750.00		
			2,250.00	202 -07-0700-0000-0000-433950-				MISC OTHER CONTRACT SERVICE			
			1,500.00	702 -09-0900-0000-0000-427150-				FISCAL AGENT FEES			
								CHECK 119834 TOTAL:	3,750.00		
119835	06/27/2024	PRTD	12224 HASA INC	52573	967357	06/13/2024	23240383	062724	6,380.49		
			6,380.49	101 -04-0450-0000-0000-432750-				FACILITIES MAINTENANCE			
				52584	968681	06/17/2024	23240383	062724	313.14		
			313.14	101 -04-0450-0000-0000-432750-				FACILITIES MAINTENANCE			
								CHECK 119835 TOTAL:	6,693.63		

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
119836	06/27/2024	PRTD	12251 HUSTON PERFORMING AR	52646	060524	06/05/2024	23241676	062724	300.00
			300.00 101 -00-0000-0000-0000-113550-					PREPAID EXPENDITURES	
								CHECK 119836 TOTAL:	300.00
119837	06/27/2024	PRTD	10586 INSIGHT PUBLIC SECTO	52615	1101177385	06/21/2024	23241657	062724	3,679.89
			3,679.89 101 -01-0130-0000-0000-461120-					COMPUTER HARDWARE/SOFTWARE	
				52622	1101175822	06/19/2024	23241654	062724	3,953.61
			3,953.61 101 -01-0130-0000-0000-461120-					COMPUTER HARDWARE/SOFTWARE	
				52678	1101178005	06/24/2024	23241657	062724	23,138.75
			23,138.75 101 -01-0130-0000-0000-461120-					COMPUTER HARDWARE/SOFTWARE	
								CHECK 119837 TOTAL:	30,772.25
119838	06/27/2024	PRTD	10654 KIMLEY-HORN AND ASSO	52623	28471157	05/31/2024	23240936	062724	10,055.00
			10,055.00						
			E MS231002 -ALL -					MISCELLANEOUS	
			401 -00-0050-0000-0000-461670-						
			Project Title-Black Gold Emergency Storm Drain Repair					CHECK 119838 TOTAL:	10,055.00
119839	06/27/2024	PRTD	11912 KUSTOM IMPRINTS	52579	46276	06/19/2024	23241686	062724	1,252.27
			276.70 101 -01-0100-0000-0000-427100-					PUBLIC RELATIONS	
			975.57 101 -01-0190-0000-0000-427100-					PUBLIC RELATIONS	
								CHECK 119839 TOTAL:	1,252.27
119840	06/27/2024	PRTD	11921 LEIGHTON CONSULTING	52605	62896	06/20/2024	23241388	062724	10,944.25
			10,944.25						
			E MS241002 -CONTRACTS -ENGR SVC -					MISC ENGINEERING SERVICE	
			101 -03-0310-0000-0000-431480-						
								CHECK 119840 TOTAL:	10,944.25
119841	06/27/2024	PRTD	11372 LLOYD PEST CONTROL	52638	8496758	06/19/2024	23240429	062724	33.00
			21.00 101 -04-0470-0000-0000-424600-					MISC NON-CONTRACT SERVICE	
			12.00 101 -04-0470-0000-0000-429050-					BRYANT RANCH MUSEUM	
								CHECK 119841 TOTAL:	33.00
119842	06/27/2024	PRTD	10747 MCFADDEN-DALE HARDWA	52950	549399/5	06/25/2024	23240029	062724	1,950.66
			1,950.66 101 -03-0330-0000-0000-432500-					PUBLIC WORKS CONSTRUCTION	

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT

CHECK NO	CHK DATE	TYPE	VENDOR NAME
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Report generated: 06/27/2024 10:09
User: eshipman
Program ID: apcshdsb

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
119849	06/27/2024	PRTD	99999 Natalynne Tran 1,041.00 101 -01-0120-0000-0000-426300-	52625	06-06-24	06/24/2024		062724 EDUCATIONAL DEVELOPMENT	1,041.00
						CHECK	119849	TOTAL:	1,041.00
119850	06/27/2024	PRTD	99999 Noe Sanchez 300.00 101 -03-0330-0000-0000-426250-	52611	061924	06/19/2024		062724 DUES/PUBLICATIONS	300.00
						CHECK	119850	TOTAL:	300.00
119851	06/27/2024	PRTD	12302 OSCAR MERCADO 1,869.50 E ZONE L-2H -CONTRACTS -MISC MAINT- 201 -03-0350-0000-0000-432950-	52614	74163	04/23/2024	23241640	062724 MISC MAINTENANCE SERVICE	1,869.50
						CHECK	119851	TOTAL:	1,869.50
119852	06/27/2024	PRTD	10938 PFM ASSET MANAGEMENT 3,794.37 101 -06-0600-0000-0000-431110-	52946	14280350	05/31/2024	23240508	062724 BANK SERV/INVEST SAFEKEEPING	3,794.37
						CHECK	119852	TOTAL:	3,794.37
119853	06/27/2024	PRTD	11766 QUADIENT FINANCE USA 4,000.00 101 -10-1000-0000-0000-425500-	52670	5/21-5/23	06/15/2024	23240448	062724 POSTAGE SERVICE	4,000.00
						CHECK	119853	TOTAL:	4,000.00
119854	06/27/2024	PRTD	10525 QUADIENT LEASING USA 340.00 101 -10-1000-0000-0000-424150-	52676	40230726	06/18/2024	23241711	062724 MAINT/OFFICE MACHINES	340.00
						CHECK	119854	TOTAL:	340.00
119855	06/27/2024	PRTD	11012 THE REGISTER 364.62 101 -02-0220-0000-0000-424400-	52674	0000592559	05/31/2024		062724 PUBLICATION/ADVERTISING	364.62
			2,008.66 701 -00-0000-0000-0000-227500-	52675	0000592559A	05/31/2024		062724 BUILD/PLAN SPEC PROJ DEPOSIT	2,008.66
						CHECK	119855	TOTAL:	2,373.28
119856	06/27/2024	PRTD	11041 S & S WORLDWIDE 131.15 101 -04-0430-0000-0000-421140-	52494	IN101406905	06/05/2024	23241618	062724 REC CLASS SUPPLIES	131.15

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
										CHECK	119856 TOTAL: 131.15
119857	06/27/2024	PRTD	11043 S C SIGNS & SUPPLIES	52657	248843	06/14/2024	23241704	062724	619.35		
			619.35 101 -03-0330-0000-0000-421640-					MATERIALS/SIGNS			
										CHECK	119857 TOTAL: 619.35
119858	06/27/2024	PRTD	11090 SIGN-A-RAMA	52659	WO-50277	06/21/2024	23241700	062724	188.41		
			188.41 101 -04-0460-0000-0000-421100-					SPECIAL SUPPLIES			
										CHECK	119858 TOTAL: 188.41
119859	06/27/2024	PRTD	11113 SOUTHERN CALIFORNIA	52640	5/3-6/3	06/24/2024		062724	342.04		
			13.68								
			E LIGHT-ART -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
			328.36								
			E LIGHT-LCL -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
										CHECK	119859 TOTAL: 342.04
119860	06/27/2024	PRTD	11113 SOUTHERN CALIFORNIA	52641	5/9-6/9	06/10/2024		062724	4,435.59		
			263.53 101 -04-0460-0000-0000-425150-					ELEC SERV/LANDSCAPE AREAS			
			3,856.96								
			E ZONE A-4 -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
			35.37								
			E ZONE A-6 -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
			246.22 101 -03-0330-0000-0000-425150-					ELEC SERV/LANDSCAPE AREAS			
			33.51								
			E ZONE L-2I -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
										CHECK	119860 TOTAL: 4,435.59
119861	06/27/2024	PRTD	11113 SOUTHERN CALIFORNIA	52642	5/15-6/13	06/14/2024		062724	2,572.64		
			1,589.33 101 -05-0500-0000-0000-425100-					ELECTRIC SERVICE			
			98.28 101 -04-0470-0000-0000-429050-					BRYANT RANCH MUSEUM			
			14.28								
			E LIGHT-ART -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
			342.60								
			E LIGHT-LCL -MAINTENANC-ELECTRIC -								
			201 -03-0350-0000-0000-425150-					ELEC SERV/STREET LIGHTS			
			366.95								

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT		VOUCHER INVOICE		INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME						
				E ZONE L-5A -MAINTENANC-ELECTRIC -					
				201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS	
		3.83		E ZONE L-5B -MAINTENANC-ELECTRIC -					
				201 -03-0350-0000-0000-425150-				ELEC SERV/STREET LIGHTS	
		157.37		101 -03-0330-0000-0000-425150-				ELEC SERV/LANDSCAPE AREAS	
								CHECK 119861 TOTAL:	2,572.64
119862	06/27/2024	PRTD	11804	STERLING OC ENTERPRI 52938 24068		05/10/2024		062724	1,720.00
				1,720.00 701 -00-0000-0000-0000-227580-				AV TECHNICIAN	
								CHECK 119862 TOTAL:	1,720.00
119863	06/27/2024	PRTD	12132	SULLY-MILLER CONTRAC 52578 Request #16		05/18/2024	22231016	062724	270,566.33
				270,566.33					
				E SI221005 -CONST -					
				401 -00-0050-0000-0000-461620-				STREET IMPROVEMENTS	
				Project Title-Bastanchury Rd. Widening - Casa Loma				CHECK 119863 TOTAL:	270,566.33
119864	06/27/2024	PRTD	11863	T&B PLANNING INC 52665 24-2936		06/23/2024	23241394	062724	8,043.87
				8,043.87 101 -02-0220-0000-0000-431950-				MISC CONSULTANT SERVICE	
								CHECK 119864 TOTAL:	8,043.87
119865	06/27/2024	PRTD	11169	TENNIS ANYONE INC 52643 062424		06/24/2024	23241418	062724	8,445.50
				8,445.50 101 -04-0410-0000-0000-433100-				RECREATION/CLASSES	
								CHECK 119865 TOTAL:	8,445.50
119866	06/27/2024	PRTD	11181	TIME & ALARM SYSTEMS 52660 88791		06/20/2024	23241701	062724	446.00
				446.00 101 -04-0470-0000-0000-432750-				FACILITIES MAINTENANCE	
								CHECK 119866 TOTAL:	446.00
119867	06/27/2024	PRTD	11182	TIME WARNER CABLE 52658 0336189052224		05/22/2024	23240585	062724	225.46
				225.46 101 -04-0470-0000-0000-424600-				MISC NON-CONTRACT SERVICE	
								CHECK 119867 TOTAL:	225.46
119868	06/27/2024	PRTD	11187	TOM'S PLUMBING SERVI 52596 63088		06/10/2024	23241673	062724	650.00
				650.00 101 -04-0460-0000-0000-433950-				MISC OTHER CONTRACT SERVICE	

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
						CHECK	119868	TOTAL:	650.00
119869	06/27/2024	PRTD	12001 TOP ROCK ENTERTAINME	52606	062424	06/20/2024	23241691	062724	4,400.00
			4,400.00 101 -00-0000-0000-0000-113550-					PREPAID EXPENDITURES	
						CHECK	119869	TOTAL:	4,400.00
119870	06/27/2024	PRTD	11215 UNIFIRST CORPORATION	52610	2190190616	06/20/2024	23240104	062724	64.27
			64.27 101 -04-0440-0000-0000-424550-					UNIFORM SERVICE	
				52630	2190180579	05/30/2024	23240181	062724	110.92
			88.73 101 -04-0460-0000-0000-424550-					UNIFORM SERVICE	
			22.19 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52631	2190176547	05/23/2024	23240181	062724	103.56
			82.85 101 -04-0460-0000-0000-424550-					UNIFORM SERVICE	
			20.71 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52632	2190133260	02/22/2024	23240181	062724	95.83
			76.67 101 -04-0460-0000-0000-424550-					UNIFORM SERVICE	
			19.16 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52633	2190139717	03/07/2024	23240181	062724	104.57
			83.66 101 -04-0460-0000-0000-424550-					UNIFORM SERVICE	
			20.91 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52634	2190142712	03/14/2024	23240181	062724	98.99
			79.19 101 -04-0460-0000-0000-424550-					UNIFORM SERVICE	
			19.80 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52636	2190183480	06/06/2024	23240181	062724	32.28
			32.28 101 -04-0470-0000-0000-424550-					UNIFORM SERVICE	
				52948	2190190618	06/20/2024	23240180	062724	104.88
			104.88 101 -03-0330-0000-0000-424550-					UNIFORM SERVICE	
				52949	2190186857	06/13/2024	23240180	062724	104.88
			104.88 101 -03-0330-0000-0000-424550-					UNIFORM SERVICE	
						CHECK	119870	TOTAL:	820.18
119871	06/27/2024	PRTD	11253 WAXIE ENTERPRISES IN	52607	82540286	06/13/2024	23241693	062724	642.75
			642.75 101 -04-0440-0000-0000-421010-					CUSTODIAL SUPPLIES	
				52613	82543283	06/14/2024	23241694	062724	187.72
			187.72 101 -04-0450-0000-0000-421010-					CUSTODIAL SUPPLIES	

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT																		
CHECK NO	CHK	DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET												
										CHECK	119871 TOTAL:											830.47
119872	06/27/2024	PRTD	11255	WEST COAST ARBORISTS	52603	215811	06/15/2024	23240111	062724	944.10												
				944.10	101	-03-0330-0000-0000-432300-			TREE TRIMMING													
						52618	215814	06/15/2024	23240172	062724	2,465.25											
				2,465.25		E ZONE A-4 -CONTRACTS -TREE TRIM -			TREE TRIMMING													
						201 -03-0350-0000-0000-432300-																
						52619	215815	06/15/2024	23240172	062724	2,202.90											
				2,202.90		E ZONE L-1B -CONTRACTS -TREE TRIM -			TREE TRIMMING													
						201 -03-0350-0000-0000-432300-																
						52620	215810	06/15/2024	23240172	062724	430.09											
				430.09		E ZONE L-1A -CONTRACTS -TREE TRIM -			TREE TRIMMING													
						201 -03-0350-0000-0000-432300-																
						52621	215808	06/15/2024	23240172	062724	4,772.95											
				4,772.95		E ZONE L-5B -CONTRACTS -TREE TRIM -			TREE TRIMMING													
						201 -03-0350-0000-0000-432300-																
										CHECK	119872 TOTAL:							10,815.29				
119873	06/27/2024	PRTD	11260	WEST COAST SAND & GR	52935	734312	06/10/2024	23241615	062724	1,381.00												
				1,381.00		E LI241001 -ALL -IMP PROJ -			LANDSCAPING IMPROVEMENTS													
						401 -00-0050-0000-0000-461640-																
Project Title-LMAD Capital Improvement Renovation										CHECK	119873 TOTAL:							1,381.00				
119874	06/27/2024	PRTD	11307	YORBA LINDA WATER DI	52639	05/14-06/10	06/17/2024		062724	40,677.94												
				1,048.13	101	-03-0330-0000-0000-425300-			WATER SERV/LANDSCAPE AREAS													
				9,985.72	101	-04-0460-0000-0000-425300-			WATER SERV/LANDSCAPE AREAS													
				3,277.99		E ZONE A-2 -MAINTENANC-WATER			WATER SERV/LANDSCAPE AREAS													
						201 -03-0350-0000-0000-425300-																
				1,542.75		E ZONE A-3 -MAINTENANC-WATER			WATER SERV/LANDSCAPE AREAS													
						201 -03-0350-0000-0000-425300-																
				1,880.70		E ZONE A-4 -MAINTENANC-WATER			WATER SERV/LANDSCAPE AREAS													
						201 -03-0350-0000-0000-425300-																
				370.48		E ZONE A-5 -MAINTENANC-WATER			WATER SERV/LANDSCAPE AREAS													
						201 -03-0350-0000-0000-425300-																

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000	999001	AP BANK ACCOUNT					
CHECK NO	CHK DATE	TYPE VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN
							NET

278.82	E ZONE A-7 -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
1,302.55	E ZONE A-8 -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
951.32	E ZONE A-9 -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
3,341.75	101 -03-0331-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
1,012.95	E ZONE L-4A -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
383.75	E ZONE L-4B -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
718.40	101 -03-0331-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
267.51	E ZONE L-2B -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
178.34	E ZONE L-2D -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
2,160.20	E ZONE L-2H -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
2,912.56	E ZONE L-2I -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
1,080.61	E ZONE L-2J -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
4,767.72	E ZONE L-2K -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
480.35	E ZONE L-2O -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
2,527.56	E ZONE L-2P -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
207.78	E ZONE L-2T -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	CHECK		119874 TOTAL: 40,677.94

City of Yorba Linda, CA

A/P CASH DISBURSEMENTS JOURNAL

NUMBER OF CHECKS 64 *** CASH ACCOUNT TOTAL *** 670,415.20

	COUNT	AMOUNT
TOTAL PRINTED CHECKS	64	670,415.20

*** GRAND TOTAL *** 670,415.20

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

CLERK: eshipman

YEAR PER JNL	SRC ACCOUNT	JNL	DESC	REF 1	REF 2	REF 3	ACCOUNT DESC	T OB	DEBIT	CREDIT
EFF DATE							LINE DESC			
2024 12 203										
APP 1010000-201150							ACCOUNTS PAYABLE		235,652.43	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 9990000-999001							AP BANK ACCOUNT			670,415.20
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 4010000-201150							ACCOUNTS PAYABLE		358,283.42	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 2020000-201150							ACCOUNTS PAYABLE		7,148.19	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 5010000-201150							ACCOUNTS PAYABLE		20,045.81	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 2010000-201150							ACCOUNTS PAYABLE		44,056.69	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 7020000-201150							ACCOUNTS PAYABLE		1,500.00	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
APP 7010000-201150							ACCOUNTS PAYABLE		3,728.66	
06/27/2024 062724			ES				AP CASH DISBURSEMENTS JOURNAL			
GENERAL LEDGER TOTAL									670,415.20	670,415.20
APP 9990000-299101							POOLED CASH FUND 101		235,652.43	
06/27/2024 062724			ES							
APP 1010000-101100							FUND CASH			235,652.43
06/27/2024 062724			ES							
APP 9990000-299401							POOLED CASH FUND 401		358,283.42	
06/27/2024 062724			ES							
APP 4010000-101100							FUND CASH			358,283.42
06/27/2024 062724			ES							
APP 9990000-299202							POOLED CASH FUND 202		7,148.19	
06/27/2024 062724			ES							
APP 2020000-101100							FUND CASH			7,148.19
06/27/2024 062724			ES							
APP 9990000-299501							POOLED CASH FUND 501		20,045.81	
06/27/2024 062724			ES							
APP 5010000-101100							FUND CASH			20,045.81
06/27/2024 062724			ES							
APP 9990000-299201							POOLED CASH FUND 201		44,056.69	
06/27/2024 062724			ES							
APP 2010000-101100							FUND CASH			44,056.69
06/27/2024 062724			ES							
APP 9990000-299702							POOLED CASH FUND 702		1,500.00	
06/27/2024 062724			ES							
APP 7020000-101100							FUND CASH			1,500.00
06/27/2024 062724			ES							
APP 9990000-299701							POOLED CASH FUND 701		3,728.66	
06/27/2024 062724			ES							
APP 7010000-101100							FUND CASH			3,728.66

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

YEAR PER	JNL						ACCOUNT DESC	T OR	DEBIT	CREDIT
SRC ACCOUNT	EFF DATE	JNL DESC	REF 1	REF 2	REF 3	LINE DESC				
	06/27/2024	062724	ES							
SYSTEM GENERATED ENTRIES TOTAL									670,415.20	670,415.20
JOURNAL 2024/12/203 TOTAL									1,340,830.40	1,340,830.40

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

FUND	YEAR PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
ACCOUNT						
101 GENERAL FUND	2024 12	203	06/27/2024			
1010000-101100				FUND CASH		235,652.43
1010000-201150				ACCOUNTS PAYABLE	235,652.43	
				FUND TOTAL	235,652.43	235,652.43
201 LANDSCAPE MAINT ASSESSMENT DIS	2024 12	203	06/27/2024			
2010000-101100				FUND CASH		44,056.69
2010000-201150				ACCOUNTS PAYABLE	44,056.69	
				FUND TOTAL	44,056.69	44,056.69
202 YL PUBLIC LIBRARY FUND	2024 12	203	06/27/2024			
2020000-101100				FUND CASH		7,148.19
2020000-201150				ACCOUNTS PAYABLE	7,148.19	
				FUND TOTAL	7,148.19	7,148.19
401 CAPITAL IMPROVEMENTS FUND	2024 12	203	06/27/2024			
4010000-101100				FUND CASH		358,283.42
4010000-201150				ACCOUNTS PAYABLE	358,283.42	
				FUND TOTAL	358,283.42	358,283.42
501 BLACK GOLD GOLF COURSE FUND	2024 12	203	06/27/2024			
5010000-101100				FUND CASH		20,045.81
5010000-201150				ACCOUNTS PAYABLE	20,045.81	
				FUND TOTAL	20,045.81	20,045.81
701 SPECIAL DEPOSITS FUND	2024 12	203	06/27/2024			
7010000-101100				FUND CASH		3,728.66
7010000-201150				ACCOUNTS PAYABLE	3,728.66	
				FUND TOTAL	3,728.66	3,728.66
702 SA-RPTTF FUND	2024 12	203	06/27/2024			
7020000-101100				FUND CASH		1,500.00
7020000-201150				ACCOUNTS PAYABLE	1,500.00	
				FUND TOTAL	1,500.00	1,500.00
999 TREASURY FUND	2024 12	203	06/27/2024			
9990000-299101				POOLED CASH FUND 101	235,652.43	
9990000-299201				POOLED CASH FUND 201	44,056.69	
9990000-299202				POOLED CASH FUND 202	7,148.19	
9990000-299401				POOLED CASH FUND 401	358,283.42	
9990000-299501				POOLED CASH FUND 501	20,045.81	
9990000-299701				POOLED CASH FUND 701	3,728.66	

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

FUND	YEAR PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
ACCOUNT						
9990000-299702				POOLED CASH FUND 702	1,500.00	
9990000-999001				AP BANK ACCOUNT		670,415.20
				FUND TOTAL	670,415.20	670,415.20

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

FUND		DUE TO	DUE FR
101	GENERAL FUND		235,652.43
201	LANDSCAPE MAINT ASSESSMENT DIS		44,056.69
202	YL PUBLIC LIBRARY FUND		7,148.19
401	CAPITAL IMPROVEMENTS FUND		358,283.42
501	BLACK GOLD GOLF COURSE FUND		20,045.81
701	SPECIAL DEPOSITS FUND		3,728.66
702	SA-RPTTF FUND		1,500.00
999	TREASURY FUND		
TOTAL		670,415.20	670,415.20

** END OF REPORT - Generated by Erica Shipman **

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119811	06/27/2024	PRINTED	010009 A-1 FENCE COMPANY	8,175.00			
119812	06/27/2024	PRINTED	012095 A3 COMMUNICATIONS INC	320.00			
119813	06/27/2024	PRINTED	010031 ADMINISURE	732.00			
119814	06/27/2024	PRINTED	011769 AGA ENGINEERS INC	5,280.00			
119815	06/27/2024	PRINTED	010037 AIM TD LLC	600.00			
119816	06/27/2024	PRINTED	010042 ALL CITY MANAGEMENT SVC I	45,519.05			
119817	06/27/2024	PRINTED	012245 ALTA PLANNING & DESIGN IN	15,341.59			
119818	06/27/2024	PRINTED	012178 AMAZON CAPITAL SERVICES	4,898.19			
119819	06/27/2024	PRINTED	010063 AMERICAN SANITARY SUPPLY	321.63			
119820	06/27/2024	PRINTED	012034 ARIZONA MACHINERY LLC	20,045.81			
119821	06/27/2024	PRINTED	010101 AUTOZONE INC	217.79			
119822	06/27/2024	PRINTED	011964 BLISS CAR WASH LLC	425.00			
119823	06/27/2024	PRINTED	011761 CALIFORNIA YELLOW CA	13,889.25			
119824	06/27/2024	PRINTED	010224 CERTIFIED BACKFLOW SERVIC	2,325.00			
119825	06/27/2024	PRINTED	012057 DAWN MARIE HARKEY	150.00			
119826	06/27/2024	PRINTED	012340 DELUXE	207.46			
119827	06/27/2024	PRINTED	011812 DEVIL MOUNTAIN WHOLESALE	1,010.45			
119828	06/27/2024	PRINTED	010355 DIAMOND ENVIRONMENTAL SER	373.72			
119829	06/27/2024	PRINTED	011354 DMC	8,248.50			
119830	06/27/2024	PRINTED	012311 ECOLOGY AUTO PARTS INC	12,634.65			
119831	06/27/2024	PRINTED	012246 ELYSIAN ARTS & EVENTS LLC	16,067.10			
119832	06/27/2024	PRINTED	011480 G/M BUSINESS INTERIORS	988.29			
119833	06/27/2024	PRINTED	011924 GMU GEOTECHNICAL INC	10,582.25			
119834	06/27/2024	PRINTED	010519 HARRELL & COMPANY ADVISOR	3,750.00			
119835	06/27/2024	PRINTED	012224 HASA INC	6,693.63			
119836	06/27/2024	PRINTED	012251 HUSTON PERFORMING ARTS LL	300.00			
119837	06/27/2024	PRINTED	010586 INSIGHT PUBLIC SECTOR INC	30,772.25			
119838	06/27/2024	PRINTED	010654 KIMLEY-HORN AND ASSOC INC	10,055.00			
119839	06/27/2024	PRINTED	011912 KUSTOM IMPRINTS	1,252.27			
119840	06/27/2024	PRINTED	011921 LEIGHTON CONSULTING INC	10,944.25			
119841	06/27/2024	PRINTED	011372 LLOYD PEST CONTROL	33.00			
119842	06/27/2024	PRINTED	010747 MCFADDEN-DALE HARDWARE	1,950.66			
119843	06/27/2024	PRINTED	010750 MC MASTER-CARR SUPPLY COM	159.11			
119844	06/27/2024	PRINTED	012056 NETSYNC NETWORK SOLUTIONS	31,771.26			
119845	06/27/2024	PRINTED	010844 NIEVES LANDSCAPE INC	726.07			
119846	06/27/2024	PRINTED	011362 NV5 INC	31,842.60			
119847	06/27/2024	PRINTED	099999 Aquagreen Constructing	283.00			
119848	06/27/2024	PRINTED	099999 Natalie Flores	500.00			
119849	06/27/2024	PRINTED	099999 Natalynne Tran	1,041.00			
119850	06/27/2024	PRINTED	099999 Noe Sanchez	300.00			
119851	06/27/2024	PRINTED	012302 OSCAR MERCADO	1,869.50			
119852	06/27/2024	PRINTED	010938 PFM ASSET MANAGEMENT LLC	3,794.37			
119853	06/27/2024	PRINTED	011766 QUADIENT FINANCE USA INC	4,000.00			
119854	06/27/2024	PRINTED	010525 QUADIENT LEASING USA INC	340.00			
119855	06/27/2024	PRINTED	011012 THE REGISTER	2,373.28			
119856	06/27/2024	PRINTED	011041 S & S WORLDWIDE	131.15			
119857	06/27/2024	PRINTED	011043 S C SIGNS & SUPPLIES LLC	619.35			
119858	06/27/2024	PRINTED	011090 SIGN-A-RAMA	188.41			
119859	06/27/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	342.04			
119860	06/27/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	4,435.59			
119861	06/27/2024	PRINTED	011113 SOUTHERN CALIFORNIA EDISO	2,572.64			
119862	06/27/2024	PRINTED	011804 STERLING OC ENTERPRISES L	1,720.00			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119863	06/27/2024	PRINTED	012132 SULLY-MILLER CONTRACTING	270,566.33			
119864	06/27/2024	PRINTED	011863 T&B PLANNING INC	8,043.87			
119865	06/27/2024	PRINTED	011169 TENNIS ANYONE INC	8,445.50			
119866	06/27/2024	PRINTED	011181 TIME & ALARM SYSTEMS	446.00			
119867	06/27/2024	PRINTED	011182 TIME WARNER CABLE	225.46			
119868	06/27/2024	PRINTED	011187 TOM'S PLUMBING SERVICE TP	650.00			
119869	06/27/2024	PRINTED	012001 TOP ROCK ENTERTAINMENT	4,400.00			
119870	06/27/2024	PRINTED	011215 UNIFIRST CORPORATION	820.18			
119871	06/27/2024	PRINTED	011253 WAXIE ENTERPRISES INC	830.47			
119872	06/27/2024	PRINTED	011255 WEST COAST ARBORISTS INC	10,815.29			
119873	06/27/2024	PRINTED	011260 WEST COAST SAND & GRAVEL	1,381.00			
119874	06/27/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	40,677.94			
64 CHECKS CASH ACCOUNT TOTAL				670,415.20	.00		

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
64 CHECKS	FINAL TOTAL	670,415.20	.00

** END OF REPORT - Generated by Erica Shipman **

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
119875	07/02/2024	PRTD	10012 AAA FLAG & BANNER MF	52672	INV292038	06/19/2024	23241072	070224	14,784.68
			14,784.68 101 -04-0400-0000-0000-424600-					MISC NON-CONTRACT SERVICES	
								CHECK 119875 TOTAL:	14,784.68
119876	07/02/2024	PRTD	10043 ALL PRO TURF SERVICE	53014	APTS023	06/16/2024	23241375	070224	12,354.00
			12,354.00 101 -04-0460-0000-0000-432650-					PARK MAINTENANCE	
								CHECK 119876 TOTAL:	12,354.00
119877	07/02/2024	PRTD	10055 AMERICAN FENCE COMPA	52959	2566886	06/19/2024	23241715	070224	1,400.00
			1,400.00 101 -04-0460-0000-0000-433950-					MISC OTHER CONTRACT SERVICE	
								CHECK 119877 TOTAL:	1,400.00
119878	07/02/2024	PRTD	10063 AMERICAN SANITARY SU	52962	IN-AM029909	06/05/2024	23240107	070224	1,109.74
			1,109.74 202 -07-0700-0000-0000-421010-					CUSTODIAL SUPPLIES	
								CHECK 119878 TOTAL:	1,109.74
119879	07/02/2024	PRTD	11340 ANDERSON, PATRICIA C	52626	062424	06/24/2024	23240056	070224	600.00
			600.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	
								CHECK 119879 TOTAL:	600.00
119880	07/02/2024	PRTD	10095 AT&T	52991	05/12-06/11	06/12/2024		070224	7,256.00
			7,033.92 101 -01-0130-0000-0000-425050-					TELEPHONE SERVICE	
			222.08 202 -07-0700-0000-0000-425050-					TELEPHONE SERVICE	
								CHECK 119880 TOTAL:	7,256.00
119881	07/02/2024	PRTD	10101 AUTOZONE INC	53020	5545624445	06/28/2024	23241279	070224	134.68
			134.68 101 -03-0330-0000-0000-424050-					MAINT/AUTOMOBILES	
								CHECK 119881 TOTAL:	134.68
119882	07/02/2024	PRTD	10103 B & M LAWN & GARDEN	53019	644621	06/27/2024	23241384	070224	298.24
			298.24 101 -03-0330-0000-0000-432700-					LANDSCAPE SERVICE	
								CHECK 119882 TOTAL:	298.24
119883	07/02/2024	PRTD	10109 BAKER & TAYLOR INC	52963	2038271968	06/04/2024	23240085	070224	324.26
			324.26 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
CHECK NO CHK DATE TYPE VENDOR NAME

Report generated: 07/02/2024 11:19
User: eshipman
Program ID: apcshdsb

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
						CHECK	119883	TOTAL:	4,926.67
119884	07/02/2024	PRTD	10116 BC TRAFFIC SPECIALIS	53017	044141	06/25/2024	23240671	070224	157.93
			157.93 101 -03-0330-0000-0000-432500-					PUBLIC WORKS CONSTRUCTION	
						CHECK	119884	TOTAL:	157.93
119885	07/02/2024	PRTD	11760 BRAIN BUILDERS STEM	52647	061924	06/19/2024	23240058	070224	1,443.00
			1,443.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	
						06/25/2024	23240058	070224	777.00
			777.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	
						CHECK	119885	TOTAL:	2,220.00
119886	07/02/2024	PRTD	12048 BRAINSTORM STEM EDUC	52653	061924	06/19/2024	23240125	070224	957.00
			957.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	
						CHECK	119886	TOTAL:	957.00
119887	07/02/2024	PRTD	10224 CERTIFIED BACKFLOW S	52931	28567	06/24/2024	23241719	070224	1,250.00
			250.00 101 -03-0330-0000-0000-432700-					LANDSCAPE SERVICE	
			250.00						
			E ZONE L-2F -CONTRACTS -MISC MAINT-					MISC MAINTENANCE SERVICE	
			201 -03-0350-0000-0000-432950-						
			250.00					MISC MAINTENANCE SERVICE	
			E ZONE L-2G -CONTRACTS -MISC MAINT-						
			201 -03-0350-0000-0000-432950-					MISC MAINTENANCE SERVICE	
			250.00						
			E ZONE L-2K -CONTRACTS -MISC MAINT-					MISC MAINTENANCE SERVICE	
			201 -03-0350-0000-0000-432950-						
			250.00					MISC MAINTENANCE SERVICE	
			E ZONE L-5B -CONTRACTS -MISC MAINT-						
			201 -03-0350-0000-0000-432950-						
			250.00			06/24/2024	23241726	070224	250.00
			250.00						
			E ZONE L-2K -CONTRACTS -MISC MAINT-					MISC MAINTENANCE SERVICE	
			201 -03-0350-0000-0000-432950-						
			30.00 101 -04-0460-0000-0000-433950-			06/12/2024	23241727	070224	600.00
			90.00					MISC OTHER CONTRACT SERVICE	
			E ZONE A-7 -CONTRACTS -MISC MAINT-					MISC MAINTENANCE SERVICE	
			201 -03-0350-0000-0000-432950-						
			120.00					MISC MAINTENANCE SERVICE	
			E ZONE L-2A -CONTRACTS -MISC MAINT-						
			201 -03-0350-0000-0000-432950-						

CASH ACCOUNT: 9990000 999001				AP BANK ACCOUNT							
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		

Project Title-Cal-Recycle Grant#2 SB1383 Organic

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT									
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET		
119892	07/02/2024	PRTD	12218 EIDE BAILLY LLP	52999	EI01709144	06/27/2024	23240945	070224	6,437.50		
			6,437.50 101 -06-0600-0000-0000-431080-					PROFESSIONAL SERVICES			
								CHECK 119892 TOTAL:	6,437.50		
119893	07/02/2024	PRTD	12246 ELYSIAN ARTS & EVENT	53036	062524	06/25/2024	23240071	070224	3,482.40		
			3,482.40 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
								CHECK 119893 TOTAL:	3,482.40		
119894	07/02/2024	PRTD	10453 CENGAGE LEARNING GAL	52981	84520384	06/13/2024	23240263	070224	97.38		
			97.38 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY			
								CHECK 119894 TOTAL:	97.38		
119895	07/02/2024	PRTD	10506 GRYPHON FITNESS STUD	52652	061924	06/19/2024	23240067	070224	1,482.00		
			1,482.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
				53030	062524	06/25/2024	23240067	070224	3,012.00		
			3,012.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
								CHECK 119895 TOTAL:	4,494.00		
119896	07/02/2024	PRTD	12224 HASA INC	52941	970918	06/23/2024	23240383	070224	587.50		
			587.50 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE			
				53001	970992	06/26/2024	23240383	070224	1,007.52		
			1,007.52 101 -04-0450-0000-0000-432750-					FACILITIES MAINTENANCE			
								CHECK 119896 TOTAL:	1,595.02		
119897	07/02/2024	PRTD	10530 LUCIA HENRY	53029	062524	06/25/2024	23240068	070224	2,493.38		
			2,493.38 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES			
								CHECK 119897 TOTAL:	2,493.38		
119898	07/02/2024	PRTD	10543 HINDERLITER DE LLAMA	53024	SIN039833	06/30/2024	23240482	070224	1,611.16		
			1,611.16 101 -06-0600-0000-0000-431040-					TAX REVENUE CONSULTANT			
								CHECK 119898 TOTAL:	1,611.16		
119899	07/02/2024	PRTD	10612 JASON ADDISON CONSULT	53005	PC 7137	06/07/2024	23240376	070224	2,634.40		
			2,634.40 101 -02-0210-0000-0000-431530-					PLAN CHECK SERVICE			

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT												
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET					
										CHECK	119899 TOTAL:	2,634.40		
119900	07/02/2024	PRTD	12100 JOSEFINA LEWIS	53009	070124	07/01/2024	23240153	070224	560.00					
			560.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES						
										CHECK	119900 TOTAL:	560.00		
119901	07/02/2024	PRTD	12262 JOSEPH PAUL MORRIS I	52654	885536	06/25/2024	23240752	070224	2,131.28					
			2,131.28 101 -04-0410-0000-0000-433220-					SR CENTER SERVICES						
										CHECK	119901 TOTAL:	2,131.28		
119902	07/02/2024	PRTD	12255 KATHLEEN M BIDLER	52671	062524	06/25/2024	23240588	070224	252.00					
			252.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES						
										CHECK	119902 TOTAL:	252.00		
119903	07/02/2024	PRTD	10707 LIN,AN YI	52650	062424	06/19/2024	23240139	070224	4,343.10					
			4,343.10 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES						
										CHECK	119903 TOTAL:	4,343.10		
119904	07/02/2024	PRTD	12128 MARIBEL LARIOS	53008	000126-R-0008	06/24/2024	23240843	070224	4,000.00					
			4,000.00 101 -06-0600-0000-0000-431080-					PROFESSIONAL SERVICES						
										CHECK	119904 TOTAL:	4,000.00		
119905	07/02/2024	PRTD	10742 DIANNE MARTINEZ	52648	061924	06/19/2024	23240052	070224	1,080.00					
			1,080.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES						
										CHECK	119905 TOTAL:	1,080.00		
119906	07/02/2024	PRTD	10750 MC MASTER-CARR SUPPL	53013	29176159	06/25/2024	23240209	070224	299.46					
			299.46 101 -04-0460-0000-0000-421690-					MATERIALS/MISCELLANEOUS						
										CHECK	119906 TOTAL:	299.46		
119907	07/02/2024	PRTD	10764 MICHAEL BAKER INTERN	53041	1216753	06/27/2024	23241353	070224	3,300.00					
			3,300.00											

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT											
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET				
										CHECK	119907 TOTAL:	3,300.00	
119908	07/02/2024	PRTD	12234 MIDWEST TAPE LLC	52982	505587259	06/10/2024	23240092	070224	6.40				
			6.40 202 -07-0730-0000-0000-421310-					AUDIO VISUAL					
										CHECK	119908 TOTAL:	6.40	
119909	07/02/2024	PRTD	10842 NICHOLS CONSULTING	53000	2024-9830993-01	06/28/2024	23241725	070224	2,700.00				
			2,700.00 101 -06-0600-0000-0000-433950-					MISC OTHER CONTRACT SERVICE					
										CHECK	119909 TOTAL:	2,700.00	
119910	07/02/2024	PRTD	10844 NIEVES LANDSCAPE INC	52942	77995	06/11/2024	23240336	070224	803.72				
			803.72										
			E LI241001 -ALL -IMP PROJ -										
			401 -00-0050-0000-0000-461640-					LANDSCAPING IMPROVEMENTS					
				52943	77994	06/11/2024	23240336	070224	375.00				
			375.00										
			E LI241001 -ALL -IMP PROJ -										
			401 -00-0050-0000-0000-461640-					LANDSCAPING IMPROVEMENTS					
				52997	78058	06/13/2024	23240337	070224	719.50				
			719.50										
			E LI241001 -ALL -IMP PROJ -										
			401 -00-0050-0000-0000-461640-					LANDSCAPING IMPROVEMENTS					
				52998	78061	06/13/2024	23240337	070224	426.67				
			426.67										
			E LI241001 -ALL -IMP PROJ -										
			401 -00-0050-0000-0000-461640-					LANDSCAPING IMPROVEMENTS					
Project Title-LMAD Capital Improvement Renovation										CHECK	119910 TOTAL:	2,324.89	
119911	07/02/2024	PRTD	99999 Jose Romani	52993	062724	06/27/2024		070224	249.56				
			249.56 101 -03-0310-0000-0000-426050-					TRAVEL/MEETINGS/SEMINARS					
										CHECK	119911 TOTAL:	249.56	
119912	07/02/2024	PRTD	10894 OVERDRIVE INC	52983	02215CO24184173	06/18/2024	23240108	070224	2,735.96				
			2,735.96 202 -07-0730-0000-0000-421440-					LIB MAT/DIGITAL COLLECTIONS					
				52984	02215CO24184488	06/15/2024	23240108	070224	909.92				
			909.92 202 -07-0730-0000-0000-421440-					LIB MAT/DIGITAL COLLECTIONS					
				52985	02215CO24184489	06/18/2024	23240108	070224	607.24				
			607.24 202 -07-0730-0000-0000-421440-					LIB MAT/DIGITAL COLLECTIONS					

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME

VOUCHER INVOICE

INV DATE

PO

CHECK RUN

NET

				52986	CD0221524179533	06/12/2024	23241682	070224	4,000.00
4,000.00	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY	
				52987	CD0221524179534	06/12/2024	23241683	070224	12,000.00
12,000.00	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY	
				52988	CD0221524179535	06/12/2024	23241684	070224	4,000.00
4,000.00	202	-07-0730-0000-0000-421400-						BOOKS/LIBRARY	
						CHECK	119912	TOTAL:	24,253.12
119913	07/02/2024	PRTD	10949	PLACENTIA-YL UNIFIED	53052 9200	07/01/2024	23240705	070224	2,314.00
2,314.00	101	-04-0410-0000-0000-433100-						RECREATION/CLASSES	
						CHECK	119913	TOTAL:	2,314.00
119914	07/02/2024	PRTD	11011	REFRIGERATION SUPPLI	53012 9584351-00	06/13/2024	23241716	070224	93.94
93.94	101	-05-0500-0000-0000-421610-						MATERIALS/BUILDING	
						CHECK	119914	TOTAL:	93.94
119915	07/02/2024	PRTD	11043	S C SIGNS & SUPPLIES	52656 248844	06/14/2024	23241602	070224	6,214.48
6,214.48	101	-03-0330-0000-0000-421640-						MATERIALS/SIGNS	
				53021	249248	06/28/2024	23241281	070224	1,189.56
1,189.56	101	-03-0330-0000-0000-421640-						MATERIALS/SIGNS	
						CHECK	119915	TOTAL:	7,404.04
119916	07/02/2024	PRTD	11066	LAURENE LOUISE SCHUL	52933 062624	06/24/2024	23240151	070224	387.20
387.20	101	-04-0410-0000-0000-433100-						RECREATION/CLASSES	
						CHECK	119916	TOTAL:	387.20
119917	07/02/2024	PRTD	11351	ADAN SILVA	52958 1633	06/26/2024	23240898	070224	1,674.00
1,674.00	101	-03-0330-0000-0000-424050-						MAINT/AUTOMOBILES	
						CHECK	119917	TOTAL:	1,674.00
119918	07/02/2024	PRTD	11098	SITE ONE LANDSCAPE S	53018 143351439-001	06/27/2024	23240716	070224	499.54
499.54	101	-03-0330-0000-0000-432700-						LANDSCAPE SERVICE	
						CHECK	119918	TOTAL:	499.54

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT													
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET						
119919	07/02/2024	PRTD	11100 SKYHAWKS SPORTS ACAD	52649	061924	06/19/2024	23240054	070224	873.60						
			873.60 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES							
				53031	062524	06/25/2024	23240054	070224	748.80						
			748.80 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES							
						CHECK	119919	TOTAL:	1,622.40						
119920	07/02/2024	PRTD	11102 SMARDAN SUPPLY COMPA	52961	S4113207.001	06/13/2024	23241717	070224	1,145.49						
			1,145.49 101 -04-0460-0000-0000-432650-					PARK MAINTENANCE							
						CHECK	119920	TOTAL:	1,145.49						
119921	07/02/2024	PRTD	11109 SOLARWINDS NET, INC	52990	IN638975	05/30/2024	23241484	070224	2,824.00						
			2,824.00 101 -01-0130-0000-0000-431890-					SOFTWARE MAINTENANCE							
						CHECK	119921	TOTAL:	2,824.00						
119922	07/02/2024	PRTD	11332 SOURCE GRAPHICS	52945	SG233026	06/19/2024	23241662	070224	840.70						
			840.70 101 -04-0430-0000-0000-424380-					PRINTING SERVICE							
						CHECK	119922	TOTAL:	840.70						
119923	07/02/2024	PRTD	11804 STERLING OC ENTERPRI	52936	24066	05/10/2024	23240185	070224	280.00						
			280.00 101 -04-0475-0000-0000-432050-					AV OPERATIONS							
				52939	24055	04/29/2024	23240185	070224	400.00						
			400.00 101 -04-0475-0000-0000-432050-					AV OPERATIONS							
				52940	24053	04/29/2024	23240185	070224	160.00						
			160.00 101 -04-0475-0000-0000-432050-					AV OPERATIONS							
						CHECK	119923	TOTAL:	840.00						
119924	07/02/2024	PRTD	12339 SUSTAINABLE INNER PO	53033	062524	06/25/2024	23241710	070224	2,700.00						
			2,700.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES							
						CHECK	119924	TOTAL:	2,700.00						
119925	07/02/2024	PRTD	11200 TRIFYTT SPORTS	52651	061924	06/19/2024	23240055	070224	5,760.72						
			5,760.72 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES							
				53032	062524	06/25/2024	23240055	070224	1,474.20						
			1,474.20 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES							

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT				INV DATE	PO	CHECK RUN	NET
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE				
						CHECK	119925	TOTAL:	7,234.92
119926	07/02/2024	PRTD	11204 TSAI FONG BOOKS INC	52989	18518	04/23/2024	23240090	070224	86.07
			86.07 202 -07-0730-0000-0000-421400-					BOOKS/LIBRARY	
						CHECK	119926	TOTAL:	86.07
119927	07/02/2024	PRTD	11214 UNDERGROUND SERVICE	53015	23-2426421	07/01/2024	23240341	070224	84.83
			84.83 101 -03-0330-0000-0000-432800-					STORM DRAIN MAINT	
				53016	620240852	07/01/2024	23240341	070224	158.75
			158.75 101 -03-0330-0000-0000-432800-					STORM DRAIN MAINT	
						CHECK	119927	TOTAL:	243.58
119928	07/02/2024	PRTD	11215 UNIFIRST CORPORATION	52992	2190194115	06/27/2024	23240104	070224	30.49
			30.49 101 -04-0440-0000-0000-424550-					UNIFORM SERVICE	
						CHECK	119928	TOTAL:	30.49
119929	07/02/2024	PRTD	11233 VCA CODE GROUP	53003	83482	09/07/2023	23240299	070224	7,360.00
			7,360.00 101 -02-0210-0000-0000-431400-					CONSTRUCTION INSPECTION	
				53004	83613	10/10/2023	23240299	070224	6,720.00
			6,720.00 101 -02-0210-0000-0000-431400-					CONSTRUCTION INSPECTION	
						CHECK	119929	TOTAL:	14,080.00
119930	07/02/2024	PRTD	11236 VERNE'S PLUMBING INC	52669	12465140	06/19/2024	23241706	070224	637.80
			637.80 101 -04-0440-0000-0000-432750-					FACILITIES MAINTENANCE	
						CHECK	119930	TOTAL:	637.80
119931	07/02/2024	PRTD	12338 VINEYARDAPPCAMP LLC	53038	070124	07/01/2024	23241714	070224	4,371.00
			4,371.00 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES	
						CHECK	119931	TOTAL:	4,371.00
119932	07/02/2024	PRTD	11253 WAXIE ENTERPRISES IN	52668	82551673	06/19/2024	23241707	070224	525.17
			525.17 101 -04-0440-0000-0000-421010-					CUSTODIAL SUPPLIES	
						CHECK	119932	TOTAL:	525.17

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001		AP BANK ACCOUNT																
CHECK NO	CHK DATE	TYPE	VENDOR NAME	VOUCHER	INVOICE	INV DATE	PO	CHECK RUN	NET									
119933	07/02/2024	PRTD	11260 WEST COAST SAND & GR	52934	736291	06/14/2024	23241702	070224		350.00								
			350.00															
			E MS241003 -ALL	-	-													
			401 -00-0050-0000-0000-461670-															
			Project Title-Cal-Recyle Grant#2 SB1383 Organics															
								MISCELLANEOUS										
								CHECK	119933 TOTAL:	350.00								
119934	07/02/2024	PRTD	11261 TERRI LYNN WESTERGRE	53010	070124	07/01/2024	23240152	070224	921.60									
			921.60 101 -04-0410-0000-0000-433100-					RECREATION/CLASSES										
								CHECK	119934 TOTAL:	921.60								
119935	07/02/2024	PRTD	11277 WILLDAN FINANCIAL SE	53046	010-58909	06/25/2024	23240510	070224	1,582.00									
			1,582.00															
			E LMAD ALLOC-CONTRACTS -ENGR SVC	-	-													
			201 -03-0350-0000-0000-431480-					MISC ENGINEERING SERVICE										
								CHECK	119935 TOTAL:	1,582.00								
119936	07/02/2024	PRTD	11281 WOLFE ENGINEERING &	53039	4483	06/25/2024		070224	135.00									
			135.00 701 -00-0000-0000-0000-227500-					BUILD/PLAN SPEC PROJ DEPOSIT										
			270.00 701 -00-0000-0000-0000-227500-			06/25/2024		070224	270.00									
								BUILD/PLAN SPEC PROJ DEPOSIT										
			472.50 701 -00-0000-0000-0000-227500-			06/25/2024		070224	472.50									
								BUILD/PLAN SPEC PROJ DEPOSIT										
			67.50 701 -00-0000-0000-0000-227500-			06/25/2024		070224	67.50									
								BUILD/PLAN SPEC PROJ DEPOSIT										
								CHECK	119936 TOTAL:	945.00								
119937	07/02/2024	PRTD	11307 YORBA LINDA WATER DI	53027	5/21-6/17	06/24/2024		070224	51,356.25									
			1,457.87 101 -03-0330-0000-0000-425300-					WATER SERV/LANDSCAPE AREAS										
			10,704.36 101 -04-0460-0000-0000-425300-					WATER SERV/LANDSCAPE AREAS										
			2,369.02															
			E ZONE A-1 -MAINTENANC-WATER	-	-													
			201 -03-0350-0000-0000-425300-					WATER SERV/LANDSCAPE AREAS										
			382.16															
			E ZONE A-3 -MAINTENANC-WATER	-	-													
			201 -03-0350-0000-0000-425300-					WATER SERV/LANDSCAPE AREAS										
			1,193.52															
			E ZONE A-4 -MAINTENANC-WATER	-	-													
			201 -03-0350-0000-0000-425300-					WATER SERV/LANDSCAPE AREAS										
			38.45															
			E ZONE A-5 -MAINTENANC-WATER	-	-													

A/P CASH DISBURSEMENTS JOURNAL

CASH ACCOUNT: 9990000 999001 AP BANK ACCOUNT
 CHECK NO CHK DATE TYPE VENDOR NAME VOUCHER INVOICE INV DATE PO CHECK RUN NET

770.94	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE A-7 -MAINTENANC-WATER	-	
1,605.49	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE A-8 -MAINTENANC-WATER	-	
11,293.87	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-1A -MAINTENANC-WATER	-	
11,252.73	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-1B -MAINTENANC-WATER	-	
3,803.07	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-1C -MAINTENANC-WATER	-	
1,756.36	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-1D -MAINTENANC-WATER	-	
12.82	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-2G -MAINTENANC-WATER	-	
1,246.66	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-2N -MAINTENANC-WATER	-	
3,468.93	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS
	E ZONE L-2V -MAINTENANC-WATER	-	
	201 -03-0350-0000-0000-425300-		WATER SERV/LANDSCAPE AREAS

CHECK 119937 TOTAL: 51,356.25

NUMBER OF CHECKS 63 *** CASH ACCOUNT TOTAL *** 227,591.83

	COUNT	AMOUNT
TOTAL PRINTED CHECKS	63	227,591.83

*** GRAND TOTAL *** 227,591.83

A/P CASH DISBURSEMENTS JOURNAL

JOURNAL ENTRIES TO BE CREATED

CLERK: eshipman

YEAR PER	JNL						ACCOUNT DESC	T OB	DEBIT	CREDIT
SRC ACCOUNT	EFF DATE	JNL DESC	REF 1	REF 2	REF 3	LINE DESC				
2024 12	230									
APP 1010000-201150	06/30/2024	070224	ES			ACCOUNTS PAYABLE		145,834.11		
						AP CASH DISBURSEMENTS JOURNAL				
APP 9990000-999001	06/30/2024	070224	ES			AP BANK ACCOUNT				227,591.83
						AP CASH DISBURSEMENTS JOURNAL				
APP 2020000-201150	06/30/2024	070224	ES			ACCOUNTS PAYABLE		30,701.46		
						AP CASH DISBURSEMENTS JOURNAL				
APP 2010000-201150	06/30/2024	070224	ES			ACCOUNTS PAYABLE		42,596.02		
						AP CASH DISBURSEMENTS JOURNAL				
APP 4010000-201150	06/30/2024	070224	ES			ACCOUNTS PAYABLE		7,515.24		
						AP CASH DISBURSEMENTS JOURNAL				
APP 7010000-201150	06/30/2024	070224	ES			ACCOUNTS PAYABLE		945.00		
						AP CASH DISBURSEMENTS JOURNAL				
						GENERAL LEDGER TOTAL		227,591.83	227,591.83	
APP 9990000-299101	06/30/2024	070224	ES			POOLED CASH FUND 101		145,834.11		
APP 1010000-101100	06/30/2024	070224	ES			FUND CASH				145,834.11
APP 9990000-299202	06/30/2024	070224	ES			POOLED CASH FUND 202		30,701.46		
APP 2020000-101100	06/30/2024	070224	ES			FUND CASH				30,701.46
APP 9990000-299201	06/30/2024	070224	ES			POOLED CASH FUND 201		42,596.02		
APP 2010000-101100	06/30/2024	070224	ES			FUND CASH				42,596.02
APP 9990000-299401	06/30/2024	070224	ES			POOLED CASH FUND 401		7,515.24		
APP 4010000-101100	06/30/2024	070224	ES			FUND CASH				7,515.24
APP 9990000-299701	06/30/2024	070224	ES			POOLED CASH FUND 701		945.00		
APP 7010000-101100	06/30/2024	070224	ES			FUND CASH				945.00
						SYSTEM GENERATED ENTRIES TOTAL		227,591.83	227,591.83	
						JOURNAL 2024/12/230 TOTAL		455,183.66	455,183.66	

A/P CASH DISBURSEMENTS JOURNAL
 JOURNAL ENTRIES TO BE CREATED

FUND	ACCOUNT	YEAR PER	JNL	EFF DATE	ACCOUNT DESCRIPTION	DEBIT	CREDIT
101	GENERAL FUND	2024 12	230	06/30/2024			
	1010000-101100				FUND CASH		145,834.11
	1010000-201150				ACCOUNTS PAYABLE	145,834.11	
					FUND TOTAL	145,834.11	145,834.11
201	LANDSCAPE MAINT ASSESSMENT DIS	2024 12	230	06/30/2024			
	2010000-101100				FUND CASH		42,596.02
	2010000-201150				ACCOUNTS PAYABLE	42,596.02	
					FUND TOTAL	42,596.02	42,596.02
202	YL PUBLIC LIBRARY FUND	2024 12	230	06/30/2024			
	2020000-101100				FUND CASH		30,701.46
	2020000-201150				ACCOUNTS PAYABLE	30,701.46	
					FUND TOTAL	30,701.46	30,701.46
401	CAPITAL IMPROVEMENTS FUND	2024 12	230	06/30/2024			
	4010000-101100				FUND CASH		7,515.24
	4010000-201150				ACCOUNTS PAYABLE	7,515.24	
					FUND TOTAL	7,515.24	7,515.24
701	SPECIAL DEPOSITS FUND	2024 12	230	06/30/2024			
	7010000-101100				FUND CASH		945.00
	7010000-201150				ACCOUNTS PAYABLE	945.00	
					FUND TOTAL	945.00	945.00
999	TREASURY FUND	2024 12	230	06/30/2024			
	9990000-299101				POOLED CASH FUND 101	145,834.11	
	9990000-299201				POOLED CASH FUND 201	42,596.02	
	9990000-299202				POOLED CASH FUND 202	30,701.46	
	9990000-299401				POOLED CASH FUND 401	7,515.24	
	9990000-299701				POOLED CASH FUND 701	945.00	
	9990000-999001				AP BANK ACCOUNT		227,591.83
					FUND TOTAL	227,591.83	227,591.83

A/P CASH DISBURSEMENTS JOURNAL
JOURNAL ENTRIES TO BE CREATED

FUND		DUE TO	DUE FR
101	GENERAL FUND		145,834.11
201	LANDSCAPE MAINT ASSESSMENT DIS		42,596.02
202	YL PUBLIC LIBRARY FUND		30,701.46
401	CAPITAL IMPROVEMENTS FUND		7,515.24
701	SPECIAL DEPOSITS FUND		945.00
999	TREASURY FUND		
		227,591.83	
TOTAL		227,591.83	227,591.83

** END OF REPORT - Generated by Erica Shipman **

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119875	07/02/2024	PRINTED	010012 AAA FLAG & BANNER MFG CO	14,784.68			
119876	07/02/2024	PRINTED	010043 ALL PRO TURF SERVICE INC	12,354.00			
119877	07/02/2024	PRINTED	010055 AMERICAN FENCE COMPANY	1,400.00			
119878	07/02/2024	PRINTED	010063 AMERICAN SANITARY SUPPLY	1,109.74			
119879	07/02/2024	PRINTED	011340 ANDERSON, PATRICIA CAROL	600.00			
119880	07/02/2024	PRINTED	010095 AT&T	7,256.00			
119881	07/02/2024	PRINTED	010101 AUTOZONE INC	134.68			
119882	07/02/2024	PRINTED	010103 B & M LAWN & GARDEN CENTE	298.24			
119883	07/02/2024	PRINTED	010109 BAKER & TAYLOR INC	4,926.67			
119884	07/02/2024	PRINTED	010116 BC TRAFFIC SPECIALIST	157.93			
119885	07/02/2024	PRINTED	011760 BRAIN BUILDERS STEM EDUCATION	2,220.00			
119886	07/02/2024	PRINTED	012048 BRAINSTORM STEM EDUCATION	957.00			
119887	07/02/2024	PRINTED	010224 CERTIFIED BACKFLOW SERVIC	2,100.00			
119888	07/02/2024	PRINTED	010278 CONVERSA INC	750.00			
119889	07/02/2024	PRINTED	010317 CSG CONSULTANTS INC	1,296.75			
119890	07/02/2024	PRINTED	010329 DATA TICKET INC	2,651.55			
119891	07/02/2024	PRINTED	012311 ECOLOGY AUTO PARTS INC	1,540.35			
119892	07/02/2024	PRINTED	012218 EIDE BAILLY LLP	6,437.50			
119893	07/02/2024	PRINTED	012246 ELYSIAN ARTS & EVENTS LLC	3,482.40			
119894	07/02/2024	PRINTED	010453 CENGAGE LEARNING GALE	97.38			
119895	07/02/2024	PRINTED	010506 GRYPHON FITNESS STUDIO LL	4,494.00			
119896	07/02/2024	PRINTED	012224 HASA INC	1,595.02			
119897	07/02/2024	PRINTED	010530 LUCIA HENRY	2,493.38			
119898	07/02/2024	PRINTED	010543 HINDERLITER DE LLAMAS & A	1,611.16			
119899	07/02/2024	PRINTED	010612 JASON ADDISON CONSULT SVCS	2,634.40			
119900	07/02/2024	PRINTED	012100 JOSEFINA LEWIS	560.00			
119901	07/02/2024	PRINTED	012262 JOSEPH PAUL MORRIS II	2,131.28			
119902	07/02/2024	PRINTED	012255 KATHLEEN M BIDLER	252.00			
119903	07/02/2024	PRINTED	010707 LIN, AN YI	4,343.10			
119904	07/02/2024	PRINTED	012128 MARIBEL LARIOS	4,000.00			
119905	07/02/2024	PRINTED	010742 DIANNE MARTINEZ	1,080.00			
119906	07/02/2024	PRINTED	010750 MC MASTER-CARR SUPPLY COM	299.46			
119907	07/02/2024	PRINTED	010764 MICHAEL BAKER INTERNATIONAL	3,300.00			
119908	07/02/2024	PRINTED	012234 MIDWEST TAPE LLC	6.40			
119909	07/02/2024	PRINTED	010842 NICHOLS CONSULTING	2,700.00			
119910	07/02/2024	PRINTED	010844 NIEVES LANDSCAPE INC	2,324.89			
119911	07/02/2024	PRINTED	099999 Jose Romani	249.56			
119912	07/02/2024	PRINTED	010894 OVERDRIVE INC	24,253.12			
119913	07/02/2024	PRINTED	010949 PLACENTIA-YL UNIFIED SCHL	2,314.00			
119914	07/02/2024	PRINTED	011011 REFRIGERATION SUPPLIES	93.94			
119915	07/02/2024	PRINTED	011043 S C SIGNS & SUPPLIES LLC	7,404.04			
119916	07/02/2024	PRINTED	011066 LAURENE LOUISE SCHULZE	387.20			
119917	07/02/2024	PRINTED	011351 ADAN SILVA	1,674.00			
119918	07/02/2024	PRINTED	011098 SITE ONE LANDSCAPE SUPPLY	499.54			
119919	07/02/2024	PRINTED	011100 SKYHAWKS SPORTS ACADEMY I	1,622.40			
119920	07/02/2024	PRINTED	011102 SMARDAN SUPPLY COMPANY	1,145.49			
119921	07/02/2024	PRINTED	011109 SOLARWINDS NET, INC	2,824.00			
119922	07/02/2024	PRINTED	011332 SOURCE GRAPHICS	840.70			
119923	07/02/2024	PRINTED	011804 STERLING OC ENTERPRISES L	840.00			
119924	07/02/2024	PRINTED	012339 SUSTAINABLE INNER POWER	2,700.00			
119925	07/02/2024	PRINTED	011200 TRIFYTT SPORTS	7,234.92			
119926	07/02/2024	PRINTED	011204 TSAI FONG BOOKS INC	86.07			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9990000 999001

FOR: Uncleared

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
119927	07/02/2024	PRINTED	011214 UNDERGROUND SERVICE ALERT	243.58			
119928	07/02/2024	PRINTED	011215 UNIFIRST CORPORATION	30.49			
119929	07/02/2024	PRINTED	011233 VCA CODE GROUP	14,080.00			
119930	07/02/2024	PRINTED	011236 VERNE'S PLUMBING INC	637.80			
119931	07/02/2024	PRINTED	012338 VINEYARDAPPCAMP LLC	4,371.00			
119932	07/02/2024	PRINTED	011253 WAXIE ENTERPRISES INC	525.17			
119933	07/02/2024	PRINTED	011260 WEST COAST SAND & GRAVEL	350.00			
119934	07/02/2024	PRINTED	011261 TERRI LYNN WESTERGREN	921.60			
119935	07/02/2024	PRINTED	011277 WILLDAN FINANCIAL SERVICE	1,582.00			
119936	07/02/2024	PRINTED	011281 WOLFE ENGINEERING & DESIG	945.00			
119937	07/02/2024	PRINTED	011307 YORBA LINDA WATER DISTRIC	51,356.25			
63 CHECKS				CASH ACCOUNT TOTAL	227,591.83	.00	

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
63 CHECKS	FINAL TOTAL	227,591.83	.00

** END OF REPORT - Generated by Erica Shipman **

Wire Transfers

City Council Meeting - July 16, 2024
Wire / EFT Transfers Report

<u>Date</u>	<u>Transfer From</u>	<u>Transfer To</u>	<u>Amount</u>	<u>Description</u>
6/13/2024	Bank of the West	CalPERS - EFT	90,726.45	Payment to CalPERS for 5/27/24-6/9/24 PERS Contributions
7/2/2024	Bank of the West	CalPERS - EFT	87,350.81	Payment to CalPERS for 6/10/24-6/23/24 PERS Contributions
			<u>\$ 178,077.26</u>	



CITY of YORBA LINDA

CITY COUNCIL/SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY, YORBA LINDA HOUSING AUTHORITY AND YORBA LINDA MUNICIPAL FINANCING AUTHORITY JOINT MEETING

MINUTES

June 18, 2024, 6:30 p.m.

Council Chambers

4845 Casa Loma Avenue

Councilmembers Present: Campbell, Haney, Huang, Lim

Councilmembers Absent: Rodriguez

Staff Present: Brown, Christian, Farnsworth, Kudron, Lai, Litfin, Lixey, Pulone, Wigginton

CALL TO ORDER

The City Council/Successor Agency to the Yorba Linda Redevelopment Agency convened at 5:30 p.m. in the Council Chambers at 4845 Casa Loma Avenue.

ROLL CALL

ANNOUNCEMENT OF CLOSED SESSION ITEMS

CITY COUNCIL/SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY

A. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION,
SIGNIFICANT EXPOSURE TO LITIGATION

Government Code Section 54956.9(d)(2) (3 Cases)

B. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

Government Code Section 54956.9(d)(1) (1 case)

Name of Case: Sophia Fitkowski vs. City of Yorba Linda

Case Number: CIV SB 232907, Superior Court, County of San Bernardino

C. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

Government Code Section 54956.9(d)(1) (1 case)

Name of Case: Southern California Edison Company vs. City of Yorba Linda

Case Number: 30-2024-01404534-CU-PO-WJC, Superior Court, County of Orange

D. CONFERENCE WITH LABOR NEGOTIATORS

Government Code Section 54957.6

Agency Designated Representatives: City Manager Pulone

Employee Organizations: Yorba Linda Chapter of the Orange County Employees

Association; Yorba Linda Mid-Management Association; and non-represented

Management Employees

E. PUBLIC EMPLOYEE PERFORMANCE EVALUATION – TITLE: CITY MANAGER

Government Code Section 54957

PUBLIC COMMENT ON CLOSED SESSION ITEMS

None.

CONVENE INTO CLOSED SESSION

The City Council convened into Closed Session at 5:31 p.m.

RECESS

CALL TO ORDER

The City Council/Successor Agency to the Yorba Linda Redevelopment Agency, Yorba Linda Housing Authority and Yorba Linda Municipal Financing Authority reconvened at 6:31 p.m. in the Council Chambers at 4845 Casa Loma Avenue, Yorba Linda.

ROLL CALL

PLEDGE OF ALLEGIANCE

Mayor Pro Tem Beth Haney

INVOCATION

Dr. Azeem Syed, Islamic Center of Yorba Linda

CLOSED SESSION REPORT

City Attorney Todd Litfin said there was no reportable action.

PUBLIC COMMENTS – ITEMS ON THE CONSENT CALENDAR OR ITEMS NOT ON THE REMAINDER OF THE AGENDA

Pat Nelson, resident, said she would like to know what the regulations are in the City regarding fireworks. She also inquired as to the point-in time projection, if and when, the City will not be able to cover the cost of police services, and expressed concerns about speeding in areas including Valley View Circle, Valley View Avenue and Kellogg Drive, accidents and maintenance of trails.

Trudi DesRoches, Yorba Linda Water District President, provided an update on projects within the District's service area. She said one project, under construction in the City of Placentia, will improve fire flow in their system. She also said they continue to work on two older wells to get more water flow from them. Ms. DesRoches also said their new rate schedule should have been received by residents with their newest water bill. She encouraged residents to visit www.ylwd.com for rate information.

Beth Gartner, resident, expressed concerns with the use of motorbikes on sidewalks along with pedestrians and accidents that could, and have happened.

CONSENT CALENDAR

Moved by Haney

Seconded by Huang

It is recommended that the City Council approve the Consent Calendar.

AYES (4): Campbell, Haney, Huang, and Lim

ABSENT (1): Rodriguez

CARRIED (4 to 0)

1. WAIVE READING IN FULL OF ALL ORDINANCES AND RESOLUTIONS ON THE AGENDA

It is recommended that the City Council/Successor Agency to the Yorba Linda Redevelopment Agency waive reading in full of all ordinances and resolutions on the agenda and declare that said titles which appear on the public agenda shall be determined to have been read by title and further reading waived.

2. ACCOUNTS PAYABLE CHECK REGISTER – JUNE 18, 2024

It is recommended that the City Council receive and file the accounts payable check register and wire transfer report dated June 18, 2024, in the amount of \$2,084,960.76.

3. APPROVAL OF THE MINUTES OF THE JUNE 4, 2024 CITY COUNCIL / SUCCESSOR AGENCY TO THE YORBA LINDA REDEVELOPMENT AGENCY MEETING

It is recommended that the City Council/Successor Agency to the Yorba Linda Redevelopment Agency approve the minutes of the June 4, 2024 City Council/Successor Agency to the Yorba Linda Redevelopment Agency joint meeting.

4. AWARD OF CONTRACT FOR FY 2023-24 ANNUAL PAVEMENT PRESERVATION PROJECT TO IE GENERAL ENGINEERING, INC. AND APPROVE AGREEMENTS WITH FOUNTAINHEAD AND NINYO & MOORE

It is recommended that the City Council: 1.) Approve the plans and specifications for the Fiscal Year 2023-24 Annual Pavement Preservation Project (APPP) (Zones 5, 6 and 7) (SI241004), and the La Palma Avenue Improvement Project - West City Limit to 1,350 W/O Old Village Rd. (SI231002); and 2.) Find that the Projects are categorically exempt from the California Environmental Quality Act (CEQA), Class 1, pursuant to CEQA Guidelines, Section 15301; and 3.) Award the Public Works Construction Contract to IE General Engineering, Inc. for the Fiscal Year 2023-24 APPP (Zones 5, 6 and 7), and La Palma Avenue Improvement Project - West City Limit to 1,350 W/O Old Village Rd. Projects in the amount of \$2,906,992.00 and reject all other bids; and 4.) Approve a Professional Services Contract with Fountainhead Consulting Corporation (Fountainhead) in the amount of \$169,635.00 to provide Construction Management and Inspection Services; and 5.) Approve a Professional Services Contract with Ninyo &

Moore Geotechnical and Environmental Sciences Consultants (Ninyo & Moore) in the amount of \$37,655.00 to provide Geotechnical and Materials Testing Services; and 6.) It is also recommended that the City Council authorize expenditures of up to \$321,792.70 (10% of the value of the Construction Contract and 15% of the value of the other agreements) in total contract contingencies for potential additional services and unanticipated work that may arise during the course of work; and 7.) Authorize the City Manager, on behalf of Council, to execute the proposed contract and agreements and change order approval authority to execute future contract modifications and increases in amounts not to exceed the contingency threshold amounts above for each respective agreement.

5. REJECTION OF ALL BIDS FOR CONSTRUCTION OF THE LAKEVIEW AVENUE WIDENING FROM ORIENTE DRIVE TO BASTANCHURY ROAD PROJECT

It is recommended that the City Council reject all bids received for construction of the Lakeview Avenue Widening Project (SI231003) from Oriente Drive to Bastanchury Road within the City of Yorba Linda.

6. AWARD OF CONTRACT FOR JANITORIAL SUPPLIES FOR CITY FACILITIES

It is recommended that the City Council award a three-year contract for Janitorial Supplies to American Chemical & Sanitary Supply Company, Inc., of Anaheim, CA, in a not-to-exceed amount of \$300,000.00 and reject all other bids; and authorize the Mayor to sign and City Clerk to attest said agreement.

7. CONTRACT AMENDMENT FOR JANITORIAL SERVICES AT CITY FACILITIES

It is recommended that the City Council approve a contract amendment, in the amount of Three Hundred Eighty One Thousand Two Hundred Seventy One Dollars and Thirty Two Cents (\$381,271.32), for Janitorial Services at City facilities to Merchants Building Maintenance, LLC., of Santa Ana, CA, extending the period of service for one additional year from July 1, 2024, to June 30, 2025, and authorize the Mayor to sign said amendment.

8. AWARD OF CONTRACT FOR THE PARKING LOT REHABILITATION PROJECT

It is recommended that the City Council: 1.) Approve plans and specifications for the Parking Lot Rehabilitation Project; and 2.) Award the contract for construction of the Parking Lot Rehabilitation Project to Pavewest, Inc., of Artesia, CA in the amount of \$620,034 and reject all other bids; and 3.) Upon receipt of appropriate documents, authorize the City Manager to execute the contract.

9. DESIGNATION OF NEW CITY TREASURER

It is recommended that the City Council approve Resolution No. 2024-5899 designating David Christian as the City Treasurer and rescind Resolution No. 2021-5744.

10. REPORTS OF PLANNING COMMISSION ACTIONS FROM THEIR LAST MEETING

It is recommended that the City Council receive and file this report.

11. COUNCIL COMMITTEE AND AGENCY REPORTS

It is recommended that the City Council receive and file this report.

PUBLIC HEARING

12. REVISED 2021-2029 HOUSING ELEMENT AND VARIOUS GENERAL PLAN AND ZONING CODE AMENDMENTS RELATED TO THE HOUSING ELEMENT IMPLEMENTATION PROGRAMS

City Attorney Litfin stated that Mayor Tara Campbell has a potential conflict of interest on sites S3-082 (4791 & 4811 Eureka Avenue) and S3-024 (Friends Church Overflow Parking), due to the proximity of the sites to her residence. Therefore, she will recuse herself after the opening of the matter. Thus, the first Council action will be for the approval of these two sites and then Mayor Campbell can rejoin the meeting to participate in the remainder.

Mayor Campbell recused herself from the meeting at 6:45 p.m. and turned the meeting over to Mayor Pro Tem Haney.

a. Open Public Hearing - Mayor Pro Tem Haney opened the public hearing.

b. Staff Report

Community Development Director Nate Farnsworth shared a PowerPoint presentation on this item which explained the Housing Element, highlighted public engagement efforts, provided a summary of changes, phases of public engagement and feedback, and he discussed what an adopted local measure and a rejected local measure means for the City. He said if the local measure is rejected, it is then subject to Builder's Remedy, the State can then become the local planning and zoning authority and will impose fines of \$600,000 a month along with potential loss of grant funding.

City Attorney Litfin stated for the record that action on the item would include the redline revisions to the resolution and ordinances to include the addendum to the previously certified Environmental Impact Report (EIR).

c. Take Testimony

City Attorney Litfin stated that public comment would first be taken for the two sites that Mayor Campbell recused from.

Residents Audrey Von Zabern, Marcela, and Beth Gartner expressed concerns with the two sites.

A lengthy conversation ensued among Council regarding Builder's Remedy and the potential fines imposed on cities for not having an approved housing element.

Motion by Huang to move forward with including sites S3-082 and S3-024 in the Housing Element and related zoning ordinances as applicable to this item. **Seconded by** Haney. **Motion carried** with Mayor Campbell abstaining.

AYES (3): Haney, Huang, Lim

ABSTAIN (1): Campbell

ABSENT (1): Rodriguez

Mayor Campbell rejoined the meeting at 7:19 p.m.

The following residents expressed support of the housing element: Pamela Mikus, Pat Nelson, Dianne Kanne, John Hansen, Nancy Sallee, Beth Gartner, and Janice Morger.

The following residents expressed concerns regarding the housing element: A male resident, Amy Rosas, Chris Talerico, Audrey Von Zabern and Greg Tergin.

d. Close Public Hearing - Mayor Campbell closed the public hearing.

e. Make Determination

A lengthy conversation ensued among Council regarding staff efforts on Housing Element, Measure B, the support of the community and the Housing Element Working Group, the need to encourage the community to support the measure during the November election and the hard work that has gone into this over the course of the last several years.

Moved by Haney

Seconded by Huang

It is recommended that the City Council adopt Resolution No. 2024-5898 approving the General Plan Amendment 2023-01 to revise the 2021-2029 Housing Element as approved by the State Department of Housing and Community Development.

It is also recommended that the City Council conduct the first reading and introduce the following Ordinances related to the Housing Element Implementation Programs: 1.)

Ordinance No. 1108 amending the text of the Land Use Element of the General Plan (GPA 2024-01) and finding that GPA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 2.) Ordinance No. 1109 amending the text of the Land Use Element and amending the Land Use Diagram of the General Plan (GPA 2024-02) and finding that GPA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 3.) Ordinance No. 1110 amending the Zoning Code (ZCA 2024-01) and finding that ZCA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative; and 4.) Ordinance No. 1111 amending the Zoning Code (ZCA 2024-02) and finding that ZCA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.

CEQA: Pursuant to 14 California Code of Regulations, § 15164, Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574).

AYES (4): Campbell, Haney, Huang, and Lim

ABSENT (1): Rodriguez

CARRIED (4 to 0)

CITY MANAGER'S REPORT/MAYOR'S REPORT/MATTERS PRESENTED BY COUNCILMEMBERS/ OTHER AGENCY REPORTS

City Manager Mark Pulone responded to comments made by Ms. Nelson and said he and Public Works Director Jamie Lai would be happy to meet with her to discuss the areas of concern on the trails and said patrolling will be enhanced in the areas she mentioned as well. He reminded the community that fireworks are not allowed in the City and urged residents to call the Sheriff or Fire Authority to address any issues and violations. City Manager Pulone also responded to Ms. Gartner and said electric bikes are a big issue and he has met with the police and Orange County Transportation Authority (OCTA) to discuss what can be done to address the issue countywide.

Councilwoman Janice Lim attended OCTA 30-year vision with Public Works Director/City Engineer Jamie Lai. She shared that OCTA has a program that allows high school students to ride the bus for free and concluded her comments by saying that the City is receiving funding for the Senior Mobility Program.

Mayor Pro Tem Haney said she attended the Truck 32 Push-In Ceremony with Mayor Campbell and Councilwoman Lim. She said that she serves on the Transportation Corridor Agencies (TCA) Board and at the 35th Annual Transportation Foundation Awards in Sacramento, the TCA received the Operational Program Efficiency of the Year Award

for their Back Office Service System Upgrade and also received the Sustainable Transportation & Environmental Program Award for their Cattle Grazing Pilot Program at Live Oak Plaza. Mayor Pro Tem Haney concluded by wishing everyone a happy 4th of July.

Councilwoman Peggy Huang inquired if there are any resources that staff can promote on e-bike safety to help build awareness. City Manager Pulone shared that he recently met with OCTA and they're encouraging cities to work with bicycle shops that sell e-bikes to educate the community and he said several school districts are also providing educational information. Councilwoman Huang serves on the Orange County Mosquito and Vector Control Board and reminded the community that mosquito season has begun. She urged residents to eliminate sitting water around homes. She said Vector Control can visit homes to inspect pools and help mitigate any mosquito problem.

Mayor Campbell announced the upcoming Pizza with Patrol on Wednesday, June 19, from 5:00 to 8:00 p.m. at Wise Guys Pizzeria. She also shared that throughout the next few weeks, Southern California Edison (SCE) will use drones and helicopters to conduct aerial inspections in Yorba Linda as part of its wildfire prevention program. These inspections ensure electrical equipment on poles and towers are safe and clear to reduce wildfire risks. Each inspection will take about 30 to 60 minutes per pole or tower. She encouraged residents with questions to call SCE or visit the City website. Mayor Campbell concluded her comments by inviting the community to attend the annual 4th of July Fireworks Spectacular on Thursday, July 4 at Veterans Park, and Yorba Linda Middle School. The event begins at 5:00 p.m. with a spectacular firework show scheduled for 9:00 p.m. Street closures will be in place in areas immediately surrounding the site as early as 5:30 p.m. until 10 p.m. and more information can be found on the City's website.

ADJOURNMENT

Mayor Campbell adjourned the meeting at 8:23 p.m. in honor of two young Yorba Linda residents, Zachary Blake Henn who passed away in a car crash earlier in the month and Marine Corporal Claudio Patino, IV who in 2010 made the ultimate sacrifice while supporting combat operations in Helmand province, Afghanistan, to the next regularly scheduled City Council/Successor Agency to the Yorba Linda Redevelopment Agency joint meeting on July 2, 2024.

City Clerk



CITY of YORBA LINDA

CITY COUNCIL SPECIAL MEETING

MINUTES

**July 9, 2024, 5:30 p.m.
Council Chambers
4845 Casa Loma Avenue**

Councilmembers Present: Campbell, Haney, Huang, Lim

Councilmembers Absent: Rodriguez

Staff Present: Christian, Pulone

CALL TO ORDER

The City Council/Successor Agency to the Yorba Linda Redevelopment Agency convened at 5:30 p.m. in the Council Chambers at 4845 Casa Loma Avenue.

ROLL CALL

ANNOUNCEMENT OF CLOSED SESSION ITEMS

CONFERENCE WITH LABOR NEGOTIATORS

Government Code Section 54957.6

Agency Designated Representatives: City Manager Pulone
Employee Organizations: Yorba Linda Chapter of the Orange County Employees Association; Yorba Linda Mid-Management Association; and non-represented Management Employees

PUBLIC COMMENT ON CLOSED SESSION ITEMS

None.

CONVENE INTO CLOSED SESSION

The City Council convened into Closed Session at 5:31 p.m.

RECONVENE INTO OPEN SESSION

CLOSED SESSION REPORT

None.

ADJOURNMENT

Mayor Campbell adjourned the meeting at 6:10 p.m. to the next City Council/Successor Agency to the Yorba Linda Redevelopment Agency Joint meeting on July 16, 2024.

City Clerk



STAFF REPORT

CITY of YORBA LINDA

Finance Department

DATE: July 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: DAVID CHRISTIAN, INTERIM FINANCE DIRECTOR / CITY TREASURER
PREPARED BY: SOPHIA LEUNG, FINANCIAL SERVICES MANAGER

SUBJECT: TREASURER'S REPORT – APRIL 2024

RECOMMENDATION

It is recommended that the City Council:

1. Receive and file the attached monthly Treasurer's Report; and
2. Delegate investment responsibility to the City's Finance Director / City Treasurer for a period of up to one year.

BACKGROUND

Sound investment practices are essential to the City's fiscal management. The Finance Department is responsible for managing the City's investment portfolio, focusing first on the safety of investments and then on liquidity and an appropriate rate of return. State law requires the City Treasurer to submit a monthly report to the City Council reflecting the receipts, disbursements, and fund balances for each City fund. The attached Treasurer's Report reflects the summarized inflow and outflow of cash for the month of April 2024.

This report also requests approval of the routine authorization for the City Treasurer to be delegated authority to invest and reinvest the City's funds or to sell or exchange purchased securities, as required by Government Code Section 53607.

FISCAL IMPACT

There is no direct fiscal impact associated with this report. Investment earnings from the City's investment portfolio are distributed to the City's various funds in proportion to the amount of cash attributable to each Fund.

ATTACHMENTS

1. Treasurer's Report – April 2024

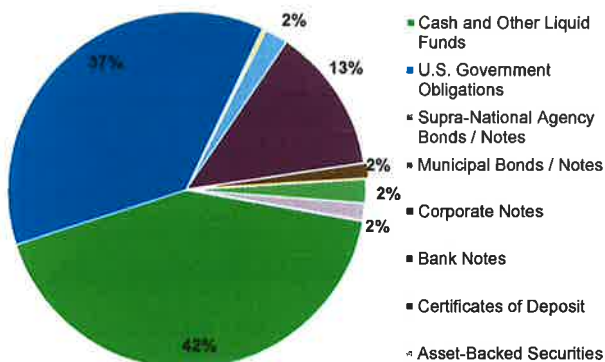
Treasurer's Report
Summary of Investment Portfolio Holdings
April 30, 2024

Investment	Purpose	Yield to Maturity	Original Cost	Amortized Cost	Market Value
Cash and Money Market Accounts					
BMO ¹	City Operations	0.75%	\$ 11,828,921.63	\$ 11,828,921.63	\$ 11,828,921.63
US Bank ²	Investment Safekeeping	5.18%	616,412.65	616,412.65	616,412.65
Petty Cash	Petty Cash at City Facilities	0.00%	12,470.00	12,470.00	12,470.00
Total Cash and Money Market Accounts		0.97%	12,457,804.28	12,457,804.28	12,457,804.28
Local Agency Investment Fund (LAIF)	Short-Term Investment	4.23%	3,894,077.52	3,894,077.52	3,894,077.52
California Asset Management Program (CAMP)	Short-Term Investment	5.48%	19,571,254.26	19,571,254.26	19,571,254.26
Managed Investment Portfolio					
U.S. Treasury Bonds / Notes	Medium-Term Investment	2.99%	21,282,094.85	21,354,174.76	20,366,491.91
U.S. Government Agency Securities	Medium-Term Investment	0.89%	3,186,830.45	3,208,105.09	3,049,490.28
U.S. Government Agency Collateralized Mortgage	Medium-Term Investment	4.77%	6,768,655.27	6,804,560.48	6,711,581.98
Supra-National Agency Bonds / Notes	Medium-Term Investment	4.49%	234,233.90	234,327.27	231,392.99
Municipal Bonds / Notes	Medium-Term Investment	1.80%	1,840,919.10	1,840,223.86	1,767,391.80
Corporate Notes	Medium-Term Investment	4.19%	11,196,258.51	11,204,169.58	10,961,718.47
Bank Note	Medium-Term Investment	5.43%	1,212,862.40	1,212,871.54	1,209,823.23
Certificates of Deposit	Medium-Term Investment	5.24%	1,860,000.00	1,860,000.00	1,861,961.75
Asset-Backed Securities	Medium-Term Investment	3.01%	1,358,766.11	1,358,837.35	1,334,521.58
Total Managed Investment Portfolio		3.50%	\$ 48,940,620.59	\$ 49,077,269.93	\$ 47,494,373.99
Total Pooled Investment Portfolio		3.62%	\$ 84,863,756.65	\$ 85,000,405.99	\$ 83,417,510.05
Fiscal Agent Money Market Accounts					
U.S. Bank Federated Government Obligation Fund	Successor Agency Bond Funds	5.18%	4,065.56	4,065.56	4,065.56
U.S. Bank Federated Government Obligation Fund	Library Bond Funds	5.18%	871,570.37	871,570.37	871,570.37
Total Fiscal Agent Money Market Accounts		5.18%	875,635.93	875,635.93	875,635.93
Total Cash and Investments			\$ 85,739,392.58	\$ 85,876,041.92	\$ 84,293,145.98

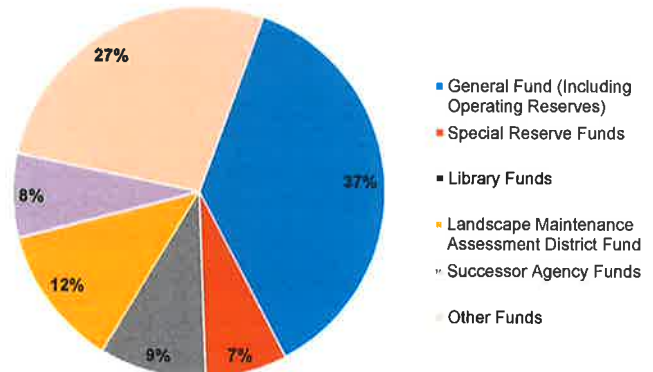
¹ Interest earned on the City's deposits with BMO is limited to the total amount of banking fees charged each month.

² This is the balance of the funds currently under management by the City's external investment advisor, PFM, that are not currently invested.

Composition of Pooled Investment Portfolio



Pooled Investment Portfolio Balances by Fund



It has been verified that the City's investment portfolio is in conformity with the City's investment policy. This Treasurer's Report accurately reflects all cash and investments of the City as of the month-ended date shown above. Cash on hand is projected to be adequate to fund all anticipated expenditures for the next six months.

Verified By:


 Sophia Leung, Financial Services Manager

Approved By:


 David Christian, Assistant City Manager,
 Interim Finance Director / City Treasurer

Cash Balances by Fund ¹
April 30, 2024

Fund		Beginning Balance	Receipts	Disbursements	Ending Balance
General Fund and Special Reserve Funds					
101	General Fund (Including Operating Reserves)	\$ 26,805,030.28	\$ 6,814,820.69	\$ (3,028,564.13)	\$ 30,591,286.84
102	Special Reserve Funds	6,202,415.73	-	(163,308.00)	6,039,107.73
104	Donation	626,347.55	4,564.18	-	630,911.73
Total General Fund and Special Reserve Funds		33,633,793.56	6,819,384.87	(3,191,872.13)	37,261,306.30
Library Special Revenue Funds					
202	Library Fund	6,311,494.21	3,066,862.83	(1,159,127.82)	8,219,229.22
203	Library Reserve Fund	539,796.06	3,933.48	-	543,729.54
204	Library Bond Fund	244.51	1.78	-	246.29
Total Library Special Revenue Funds		6,851,534.78	3,070,798.09	(1,159,127.82)	8,763,205.05
Other Special Revenue Funds					
201	Landscape Maintenance Assessment District Fund	7,921,654.23	3,096,505.13	(584,330.85)	10,433,828.51
205	Affordable Housing Fund	5,225,814.30	38,080.41	-	5,263,894.71
206	Mortgage Assistance Program Fund	84,357.29	614.71	-	84,972.00
207	Miscellaneous Grants Fund	(3,956,211.08)	191,479.64	-	(3,764,731.44)
208	Community Development Block Grant (CDBG) Fund	11,990.30	36,824.86	(12,108.67)	36,706.49
209	Air Quality Management District (AQMD) Fund	522,172.06	3,755.24	-	525,927.30
210	Public, Educational, and Government Access (PEG) Fund	309,597.72	8,008.88	(18,972.99)	298,633.61
211	Gas Tax Fund	3,074,177.33	173,533.04	-	3,247,710.37
212	Measure M Fund	2,731,902.40	27,815.54	-	2,759,717.94
213	Road Maintenance and Rehabilitation Fund	1,098,979.58	151,271.19	-	1,250,250.77
214	Traffic Safety Fund	46,777.89	46,592.52	-	93,370.41
215	Citizens' Option for Public Safety (COPS) Fund	187,149.23	6,596.68	-	193,745.91
216	SB-2 Fund	153,372.00	-	(202,547.00)	(49,175.00)
218	ARPA Fund	1,802.31	61.77	(1,802.11)	61.97
Total Other Special Revenue Funds		17,413,535.56	3,781,139.61	(819,761.62)	20,374,913.55
Capital Projects Funds					
401	Capital Improvements Fund	(346,761.30)	-	(721,546.20)	(1,068,307.50)
402	Park In-Lieu Fund	1,700,026.66	11,154.98	-	1,711,181.64
403	Master Plan of Drainage Fund	6,120,882.62	45,042.10	-	6,165,924.72
404	Traffic Mitigation Fund	474,343.54	4,071.19	-	478,414.73
405	Traffic Signal Improvement Fund	1,050,143.19	7,652.37	-	1,057,795.56
406	Parking In-Lieu Fund	65,632.02	478.26	-	66,110.28
407	Lighting & Signal Projects	782,347.12	7,640.16	-	789,987.28
Total Capital Projects Funds		9,846,613.85	76,039.06	(721,546.20)	9,201,106.71
Enterprise Funds					
501	Black Gold Golf Course Fund	2,057,233.91	1,059,112.22	(697,411.47)	2,418,934.66
503	BGGC Capital Reserve Fund	515,340.42	3,755.27	-	519,095.69
Total Enterprise Funds		2,572,574.33	1,062,867.49	(697,411.47)	2,938,030.35
Agency Funds					
701	Miscellaneous Trust & Agency Funds	939,992.11	66,528.49	(83,720.81)	922,799.79
702	Successor Agency Funds	6,209,366.33	45,774.93	-	6,255,141.26
Total Agency Funds		7,149,358.44	112,303.42	(83,720.81)	7,177,941.05
Investment Earnings and Amortization Pending Distribution ²		581,218.90	159,538.91	(581,218.90)	159,538.91
Total Cash - All Funds		\$ 78,048,629.42	\$ 15,082,071.45	\$ (7,254,658.95)	\$ 85,876,041.92

¹ The cash balances by fund shown in the table above are preliminary and may not reflect adjusting journal entries.

² Investment earnings and amortizations are recorded in a holding account monthly, but are allocated to the City's various Funds quarterly.



Customer Service
PO Box 11813
Harrisburg, PA 17108-1813

ACCOUNT STATEMENT

CITY OF YORBA LINDA

For the Month Ending
April 30, 2024

Client Management Team

Richard Babbe, CCM
Senior Managing Consultant
633 W 5th St., 25th Floor
Los Angeles, CA 90071
949-230-6896
babber@pfmam.com

Giancarlo Morales-Belletti
Portfolio Manager
213 Market Street
Harrisburg, PA 17101-2141
(717)-232-2723
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Rachael Miller
Client Consultant
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Harrisburg, PA 17101-2141
717-232-2723
millerr@pfmam.com

Contents

- Cover/Disclosures
- Summary Statement
- Individual Accounts

Accounts included in Statement

97480000 CITY OF YORBA LINDA

CITY OF YORBA LINDA
MS. SOPHIA LEUNG
4845 CASE LOMA AVENUE
YORBA LINDA, CA 92885

Online Access <https://www.pfmam.com> Customer Service 1-717-232-2723



Important Disclosures

This statement is for general information purposes only and is not intended to provide specific advice or recommendations. PFM Asset Management LLC ("PFMAM") is an investment adviser registered with the U.S. Securities and Exchange Commission and a subsidiary of U.S. Bancorp Asset Management, Inc. ("USBAM"). USBAM is a subsidiary of U.S. Bank National Association ("U.S. Bank"). U.S. Bank is a separate entity and subsidiary of U.S. Bancorp. U.S. Bank is not responsible for and does not guarantee the products, services or performance of PFMAM. PFMAM maintains a written disclosure statement of our background and business experience. If you would like to receive a copy of our current disclosure statement, please contact Service Operations at the address below.

Proxy Voting PFMAM does not normally receive proxies to vote on behalf of its clients. However, it does on occasion receive consent requests. In the event a consent request is received the portfolio manager contacts the client and then proceeds according to their instructions. PFMAM's Proxy Voting Policy is available upon request by contacting Service Operations at the address below.

Questions About an Account PFMAM's monthly statement is intended to detail our investment advisory activity as well as the activity of any accounts held by clients in pools that are managed by PFMAM. The custodian bank maintains the control of assets and executes (i.e., settles) all investment transactions. The custodian statement is the official record of security and cash holdings and transactions. PFMAM recognizes that clients may use these reports to facilitate record keeping and that the custodian bank statement and the PFMAM statement should be reconciled and differences resolved. Many custodians use a settlement date basis which may result in the need to reconcile due to a timing difference.

Account Control PFMAM does not have the authority to withdraw funds from or deposit funds to the custodian outside the scope of services provided by PFMAM. Our clients retain responsibility for their internal accounting policies; implementing and enforcing internal controls and generating ledger entries or otherwise recording transactions.

Market Value Generally, PFMAM's market prices are derived from closing bid prices as of the last business day of the month as supplied by Refinitiv or Bloomberg. For certain short-term investments or where prices are not available from generally recognized sources the securities are priced using a yield-based matrix system to arrive at an estimated market value. Prices that fall between data points are interpolated. Non-negotiable FDIC-insured bank certificates of deposit are priced at par. Although PFMAM believes the prices to be reliable, the values of the securities may not represent the prices at which the securities could have been bought or sold. Explanation of the valuation methods for a registered investment company or local government investment program is contained in the appropriate fund offering documentation or information statement.

Amortized Cost The original cost of the principal of the security is adjusted for the amount of the periodic reduction of any discount or premium from the purchase date until the date of the report. Discount or premium with respect to short term securities (those with less than one year to maturity at time of issuance) is amortized on a straightline basis. Such discount or premium with respect to longer term securities is amortized using the constant yield basis.

Important Disclosures

Tax Reporting Cost data and realized gains / losses are provided for informational purposes only. Please review for accuracy and consult your tax advisor to determine the tax consequences of your security transactions. PFMAM does not report such information to the IRS or other taxing authorities and is not responsible for the accuracy of such information that may be required to be reported to federal, state or other taxing authorities.

Financial Situation In order to better serve you, PFMAM should be promptly notified of any material change in your investment objective or financial situation.

Callable Securities Securities subject to redemption prior to maturity may be redeemed in whole or in part before maturity, which could affect the yield represented.

Portfolio The securities in this portfolio, including shares of mutual funds, are not guaranteed or otherwise protected by PFMAM, the FDIC (except for certain non-negotiable certificates of deposit) or any government agency. Investment in securities involves risks, including the possible loss of the amount invested. Actual settlement values, accrued interest, and amortized cost amounts may vary for securities subject to an adjustable interest rate or subject to principal paydowns. Any changes to the values shown may be reflected within the next monthly statement's beginning values.

Rating Information provided for ratings is based upon a good faith inquiry of selected sources, but its accuracy and completeness cannot be guaranteed.

Shares of some local government investment programs and TERM funds are marketed through representatives of PFMAM's affiliate, PFM Fund Distributors, Inc. which is registered with the SEC as a broker/dealer and is a member of the Financial Industry Regulatory Authority ("FINRA") and the Municipal Securities Rulemaking Board ("MSRB"). You may reach the FINRA by calling the FINRA Hotline at 1-800-289-9999 or at the FINRA website address <https://www.finra.org/investors/investor-contacts>. A brochure describing the FINRA Regulation Public Disclosure Program is also available from FINRA upon request.

Key Terms and Definitions

Dividends on local government investment program funds consist of interest earned, plus any discount ratably amortized to the date of maturity, plus all realized gains and losses on the sale of securities prior to maturity, less ratable amortization of any premium and all accrued expenses to the fund. Dividends are accrued daily and may be paid either monthly or quarterly. The monthly earnings on this statement represent the estimated dividend accrued for the month for any program that distributes earnings on a quarterly basis. There is no guarantee that the estimated amount will be paid on the actual distribution date.

Current Yield is the net change, exclusive of capital changes and income other than investment income, in the value of a hypothetical fund account with a balance of one share over the seven-day base period including the statement date, expressed as a percentage of the value of one share (normally \$1.00 per share) at the beginning of the seven-day period. This resulting net change in account value is then annualized by multiplying it by

365 and dividing the result by 7. The yields quoted should not be considered a representation of the yield of the fund in the future, since the yield is not fixed. **Average maturity** represents the average maturity of all securities and investments of a portfolio, determined by multiplying the par or principal value of each security or investment by its maturity (days or years), summing the products, and dividing the sum by the total principal value of the portfolio. The stated maturity date of mortgage backed or callable securities are used in this statement. However the actual maturity of these securities could vary depending on the level or prepayments on the underlying mortgages or whether a callable security has or is still able to be called.

Monthly distribution yield represents the net change in the value of one share (normally \$1.00 per share) resulting from all dividends declared during the month by a fund expressed as a percentage of the value of one share at the beginning of the month. This resulting net change is then annualized by multiplying it by 365 and dividing it by the number of calendar days in the month.

YTM at Cost The yield to maturity at cost is the expected rate of return, based on the original cost, the annual interest receipts, maturity value and the time period from purchase date to maturity, stated as a percentage, on an annualized basis.

YTM at Market The yield to maturity at market is the rate of return, based on the current market value, the annual interest receipts, maturity value and the time period remaining until maturity, stated as a percentage, on an annualized basis.

Managed Account A portfolio of investments managed discretely by PFMAM according to the client's specific investment policy and requirements. The investments are directly owned by the client and held by the client's custodian.

Unsettled Trade A trade which has been executed however the final consummation of the security transaction and payment has not yet taken place.

Please review the detail pages of this statement carefully. If you think your statement is wrong, missing account information, or if you need more information about a transaction, please contact PFMAM within 60 days of receipt. If you have other concerns or questions regarding your account, or to request an updated copy of PFMAM's current disclosure statement, please contact a member of your client management team at PFMAM Service Operations at the address below.

PFM Asset Management LLC
Attn: Service Operations
213 Market Street
Harrisburg, PA 17101

NOT FDIC INSURED NO BANK GUARANTEE MAY LOSE VALUE

Managed Account Summary Statement

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Summary - Managed Account

Opening Market Value	\$48,260,472.27
Maturities/Calls	(139,570.40)
Principal Dispositions	(1,825,781.15)
Principal Acquisitions	1,634,439.87
Unsettled Trades	666,738.21
Change in Current Value	(433,826.86)
Closing Market Value	\$48,162,471.94

Cash Transactions Summary - Managed Account

Maturities/Calls	95,237.50
Sale Proceeds	2,021,254.38
Coupon/Interest/Dividend Income	110,150.37
Principal Payments	44,570.40
Security Purchases	(1,829,901.67)
Net Cash Contribution	(455.60)
Reconciling Transactions	0.00

Earnings Reconciliation (Cash Basis) - Managed Account

Interest/Dividends/Coupons Received	115,636.90
Less Purchased Interest Related to Interest/Coupons	(2,683.90)
Plus Net Realized Gains/Losses	(75,502.54)
Total Cash Basis Earnings	\$37,450.46

Cash Balance

Closing Cash Balance **\$616,412.65**

Earnings Reconciliation (Accrual Basis)

Total

Ending Amortized Value of Securities	49,745,367.88
Ending Accrued Interest	298,067.06
Plus Proceeds from Sales	2,315,973.29
Plus Proceeds of Maturities/Calls/Principal Payments	139,807.90
Plus Coupons/Dividends Received	110,150.37
Less Cost of New Purchases	(2,790,965.17)
Less Beginning Amortized Value of Securities	(49,488,883.95)
Less Beginning Accrued Interest	(289,556.33)

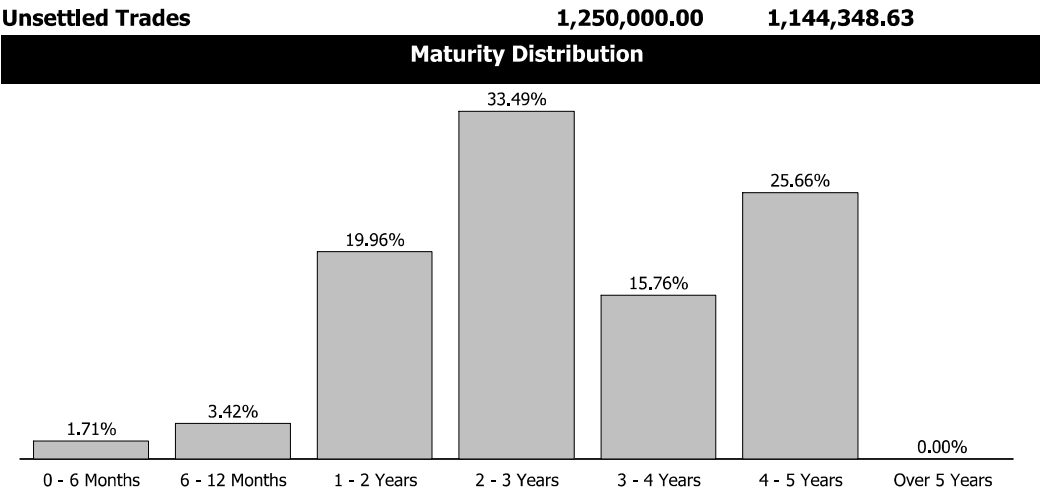
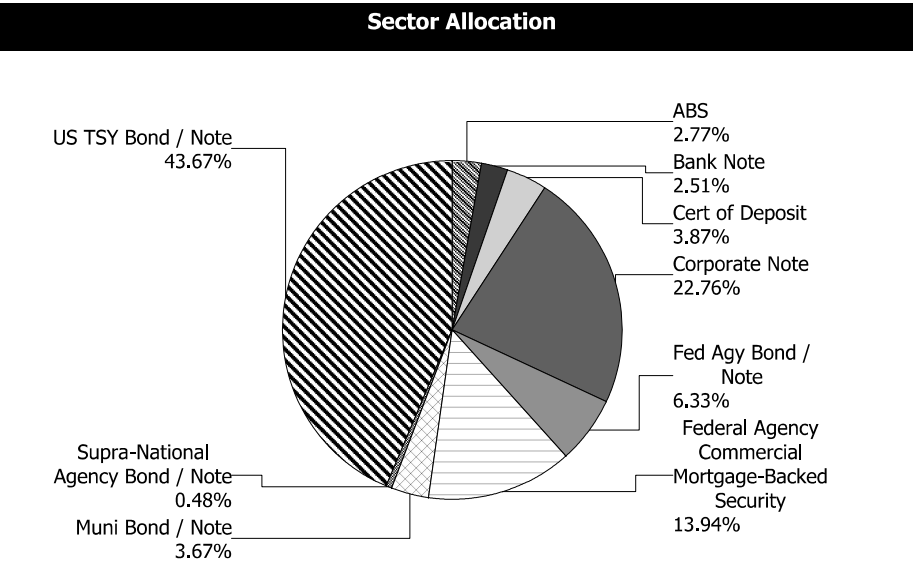
Total Accrual Basis Earnings **\$39,961.05**

Portfolio Summary and Statistics

For the Month Ending April 30, 2024

CITY OF YORBA LINDA - 97480000

Account Summary			
Description	Par Value	Market Value	Percent
U.S. Treasury Bond / Note	22,620,000.00	21,034,589.86	43.67
Supra-National Agency Bond / Note	235,000.00	231,392.99	0.48
Municipal Bond / Note	1,840,000.00	1,767,391.80	3.67
Federal Agency Commercial Mortgage-Backed Security	6,937,818.28	6,711,581.98	13.94
Federal Agency Bond / Note	3,235,000.00	3,049,490.28	6.33
Corporate Note	11,310,000.00	10,961,718.47	22.76
Certificate of Deposit	1,860,000.00	1,861,961.75	3.87
Bank Note	1,220,000.00	1,209,823.23	2.51
Asset-Backed Security	1,358,925.51	1,334,521.58	2.77
Managed Account Sub-Total	50,616,743.79	48,162,471.94	100.00%
Accrued Interest		298,067.06	
Total Portfolio	50,616,743.79	48,460,539.00	



Characteristics	
Yield to Maturity at Cost	3.49%
Yield to Maturity at Market	5.05%
Weighted Average Days to Maturity	1041

Managed Account Issuer Summary

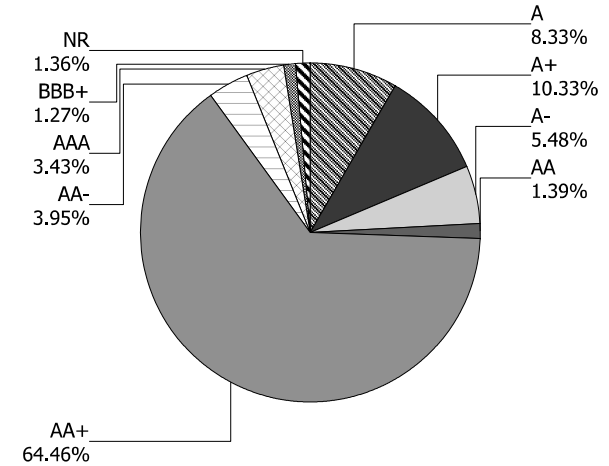
For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Issuer Summary

Issuer	Market Value of Holdings	Percent
ADOBE INC	467,140.08	0.97
AIR PRODUCTS & CHEMICALS	316,973.80	0.66
AMERICAN EXPRESS CO	702,567.68	1.46
AMERICAN HONDA FINANCE	334,209.84	0.69
ANZ BANKING GROUP LTD	355,393.44	0.74
ASTRAZENECA PLC	275,555.54	0.57
BANK OF AMERICA CO	244,415.00	0.51
BLACKROCK INC	44,116.34	0.09
BRISTOL-MYERS SQUIBB CO	220,977.23	0.46
BURLINGTON NORTHERN SANTA FE	200,115.06	0.42
CALIFORNIA STATE UNIVERSITY	109,435.70	0.23
CAPITAL ONE FINANCIAL CORP	147,094.64	0.31
CARMAX AUTO OWNER TRUST	506,638.36	1.05
CATERPILLAR INC	108,985.20	0.23
CHARLES SCHWAB	230,296.00	0.48
CISCO SYSTEMS INC	395,222.55	0.82
CITIGROUP INC	823,703.97	1.71
CREDIT AGRICOLE SA	364,851.81	0.76
CUMMINS INC	236,936.16	0.49
DEERE & COMPANY	352,293.96	0.73
DISCOVER FINANCIAL SERVICES	166,123.20	0.34
FANNIE MAE	2,323,104.21	4.82
FEDERAL HOME LOAN BANKS	715,810.98	1.49
FLORIDA STATE BOARD OF ADMIN FIN CORP	385,669.35	0.80
FREDDIE MAC	6,722,157.07	13.96
GOLDMAN SACHS GROUP INC	144,135.90	0.30
HOME DEPOT INC	223,813.56	0.46
HONDA AUTO RECEIVABLES	73,999.69	0.15
HYUNDAI AUTO RECEIVABLES	11,913.42	0.02
IBM CORP	112,400.88	0.23
INTERNATIONAL FINANCE CORPORATION	231,392.99	0.48
JP MORGAN CHASE & CO	629,270.05	1.31

Credit Quality (S&P Ratings)



Managed Account Issuer Summary

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Issuer	Market Value of Holdings	Percent
KUBOTA CREDIT OWNER TRUST	71,677.81	0.15
LOCKHEED MARTIN CORP	242,971.00	0.50
LOS ANGELES COMMUNITY COLLEGE DISTRICT	245,975.60	0.51
LOS ANGELES UNIFIED SCHOOL DISTRICT	138,991.50	0.29
MORGAN STANLEY	607,523.24	1.26
NATIONAL AUSTRALIA BANK LTD	687,496.60	1.43
NATIONAL RURAL UTILITIES CO FINANCE CORP	357,462.43	0.74
NATIXIS NY BRANCH	341,594.60	0.71
NIKE INC	112,431.00	0.23
NORTHERN TRUST	134,519.14	0.28
PACCAR FINANCIAL CORP	204,895.95	0.43
PNC FINANCIAL SERVICES GROUP	112,457.76	0.23
RABOBANK NEDERLAND	1,167,743.64	2.42
SAN DIEGO COUNTY WATER AUTHORITY	473,799.20	0.98
SAN JUAN UNIFIED SCHOOL DISTRICT	127,923.30	0.27
STATE OF MISSISSIPPI	161,206.65	0.33
STATE STREET CORPORATION	715,206.35	1.48
TEXAS INSTRUMENTS INC	330,085.51	0.69
THE BANK OF NEW YORK MELLON CORPORATION	422,561.35	0.88
TORONTO-DOMINION BANK	450,520.98	0.94
TOYOTA MOTOR CORP	348,325.54	0.72
TRUIST FIN CORP	260,248.49	0.54
UNITED STATES TREASURY	21,034,589.86	43.68
UNITEDHEALTH GROUP INC	47,863.50	0.10
UNIVERSITY OF CALIFORNIA	124,390.50	0.26
US BANCORP	346,935.05	0.72
WELLS FARGO & COMPANY	716,361.73	1.49
Total	\$48,162,471.94	100.00%

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 01/31/2020 1.375% 01/31/2025	912828Z52	200,000.00	AA+	Aaa	02/03/20	02/05/20	200,015.62	1.37	687.50	200,002.36	194,250.00
US TREASURY NOTES DTD 07/31/2020 0.250% 07/31/2025	91282CAB7	55,000.00	AA+	Aaa	04/05/21	04/07/21	53,704.49	0.81	34.38	54,625.16	51,725.78
US TREASURY NOTES DTD 08/17/2015 2.000% 08/15/2025	912828K74	250,000.00	AA+	Aaa	02/15/24	02/20/24	240,380.86	4.71	1,043.96	241,640.93	240,156.25
US TREASURY NOTES DTD 10/31/2023 5.000% 10/31/2025	91282CJE2	1,000,000.00	AA+	Aaa	11/02/23	11/06/23	1,000,312.50	4.98	135.87	1,000,238.69	997,656.20
US TREASURY NOTES DTD 11/15/2022 4.500% 11/15/2025	91282CFW6	500,000.00	AA+	Aaa	12/05/22	12/07/22	505,156.25	4.12	10,384.62	502,702.95	495,156.25
US TREASURY NOTES DTD 11/30/2020 0.375% 11/30/2025	91282CAZ4	225,000.00	AA+	Aaa	09/03/21	09/08/21	222,222.66	0.67	352.72	223,960.30	208,828.13
US TREASURY NOTES DTD 12/31/2020 0.375% 12/31/2025	91282CBC4	245,000.00	AA+	Aaa	10/04/21	10/06/21	240,454.10	0.82	307.93	243,210.44	226,586.73
US TREASURY NOTES DTD 12/31/2020 0.375% 12/31/2025	91282CBC4	650,000.00	AA+	Aaa	08/02/21	08/04/21	644,287.11	0.58	816.97	647,839.04	601,148.47
US TREASURY NOTES DTD 01/15/2023 3.875% 01/15/2026	91282CGE5	200,000.00	AA+	Aaa	02/01/23	02/03/23	200,070.31	3.86	2,278.16	200,040.74	195,968.76
US TREASURY NOTES DTD 01/31/2021 0.375% 01/31/2026	91282CBH3	650,000.00	AA+	Aaa	03/01/21	03/03/21	640,097.66	0.69	609.38	646,469.36	598,914.03
US TREASURY NOTES DTD 02/16/2016 1.625% 02/15/2026	912828P46	650,000.00	AA+	Aaa	03/01/21	03/03/21	679,630.86	0.69	2,205.36	660,722.77	611,609.38
US TREASURY NOTES DTD 03/31/2021 0.750% 03/31/2026	91282CBT7	375,000.00	AA+	Aaa	06/02/21	06/04/21	374,853.52	0.76	238.22	374,941.86	345,878.93
US TREASURY NOTES DTD 04/30/2021 0.750% 04/30/2026	91282CBW0	370,000.00	AA+	Aaa	05/04/21	05/05/21	368,829.30	0.81	7.54	369,531.33	340,110.96
US TREASURY NOTES DTD 05/16/2016 1.625% 05/15/2026	912828R36	500,000.00	AA+	Aaa	06/10/21	06/10/21	521,289.06	0.74	3,750.00	508,799.48	467,187.50

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 05/31/2021 0.750% 05/31/2026	91282CCF6	500,000.00	AA+	Aaa	06/02/21	06/04/21	498,945.31	0.79	1,567.62	499,560.06	458,046.90
US TREASURY NOTES DTD 06/30/2021 0.875% 06/30/2026	91282CCJ8	255,000.00	AA+	Aaa	09/03/21	09/08/21	256,324.81	0.76	747.84	255,596.01	233,603.92
US TREASURY NOTES DTD 07/31/2021 0.625% 07/31/2026	91282CCP4	130,000.00	AA+	Aaa	11/03/21	11/04/21	126,948.05	1.14	203.13	128,551.65	118,035.94
US TREASURY NOTES DTD 07/31/2021 0.625% 07/31/2026	91282CCP4	500,000.00	AA+	Aaa	01/04/22	01/05/22	484,121.09	1.34	781.25	492,184.30	453,984.40
US TREASURY NOTES DTD 08/15/2016 1.500% 08/15/2026	9128282A7	260,000.00	AA+	Aaa	07/05/22	07/06/22	245,943.75	2.90	814.29	252,171.20	240,418.75
US TREASURY NOTES DTD 08/31/2021 0.750% 08/31/2026	91282CCW9	500,000.00	AA+	Aaa	01/04/22	01/05/22	486,601.56	1.35	631.79	493,281.06	453,828.10
US TREASURY NOTES DTD 09/30/2021 0.875% 09/30/2026	91282CCZ2	1,000,000.00	AA+	Aaa	12/02/21	12/06/21	984,414.06	1.21	741.12	992,184.88	908,125.00
US TREASURY NOTES DTD 11/30/2021 1.250% 11/30/2026	91282CDK4	125,000.00	AA+	Aaa	02/14/22	02/15/22	121,118.17	1.93	653.18	122,907.05	113,945.31
US TREASURY NOTES DTD 01/31/2020 1.500% 01/31/2027	912828Z78	1,090,000.00	AA+	Aaa	12/01/23	12/05/23	999,095.70	4.36	4,087.50	1,010,764.25	995,306.25
US TREASURY NOTES DTD 02/15/2017 2.250% 02/15/2027	912828V98	600,000.00	AA+	Aaa	07/05/22	07/06/22	584,296.88	2.86	2,818.68	590,494.25	558,937.50
US TREASURY NOTES DTD 02/28/2022 1.875% 02/28/2027	91282CEC1	375,000.00	AA+	Aaa	05/03/22	05/04/22	356,748.05	2.97	1,184.61	364,293.43	345,292.95
US TREASURY NOTES DTD 03/31/2022 2.500% 03/31/2027	91282CEF4	500,000.00	AA+	Aaa	03/01/24	03/05/24	473,046.88	4.40	1,058.74	474,417.38	468,125.00
US TREASURY NOTES DTD 04/30/2020 0.500% 04/30/2027	912828ZN3	125,000.00	AA+	Aaa	05/05/22	05/11/22	110,996.09	2.94	1.70	116,559.08	109,882.81
US TREASURY NOTES DTD 04/30/2022 2.750% 04/30/2027	91282CEN7	375,000.00	AA+	Aaa	05/03/22	05/04/22	371,367.19	2.96	28.02	372,818.72	352,968.75

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 05/15/2017 2.375% 05/15/2027	912828X88	600,000.00	AA+	Aaa	07/05/22	07/06/22	585,539.06	2.91	6,576.92	590,959.87	558,000.00
US TREASURY NOTES DTD 05/31/2020 0.500% 05/31/2027	912828ZS2	1,200,000.00	AA+	Aaa	04/01/24	04/04/24	1,060,218.75	4.50	2,508.20	1,063,494.87	1,051,500.00
US TREASURY NOTES DTD 06/30/2022 3.250% 06/30/2027	91282CEW7	350,000.00	AA+	Aaa	08/03/22	08/03/22	355,455.08	2.91	3,812.50	353,515.97	333,703.13
US TREASURY NOTES DTD 07/31/2022 2.750% 07/31/2027	91282CFB2	500,000.00	AA+	Aaa	08/03/22	08/03/22	496,464.84	2.90	3,437.50	497,700.11	468,593.75
US TREASURY NOTES DTD 09/30/2022 4.125% 09/30/2027	91282CFM8	325,000.00	AA+	Aaa	11/16/22	11/17/22	328,732.42	3.86	1,135.50	327,617.73	317,789.06
US TREASURY NOTES DTD 10/31/2022 4.125% 10/31/2027	91282CFU0	500,000.00	AA+	Aaa	12/05/22	12/07/22	506,542.97	3.83	56.05	504,674.07	488,593.75
US TREASURY NOTES DTD 10/31/2022 4.125% 10/31/2027	91282CFU0	500,000.00	AA+	Aaa	01/03/23	01/06/23	503,222.66	3.98	56.05	502,341.42	488,593.75
US TREASURY NOTES DTD 11/30/2022 3.875% 11/30/2027	91282CFZ9	420,000.00	AA+	Aaa	12/05/22	12/07/22	421,525.78	3.79	6,803.48	421,097.15	406,940.60
US TREASURY NOTES DTD 01/31/2023 3.500% 01/31/2028	91282CGH8	450,000.00	AA+	Aaa	01/31/23	02/02/23	447,169.92	3.64	3,937.50	447,874.34	429,820.29
US TREASURY NOTES DTD 03/31/2023 3.625% 03/31/2028	91282CGT2	750,000.00	AA+	Aaa	05/02/23	05/03/23	754,335.94	3.50	2,302.77	753,456.18	718,710.90
US TREASURY NOTES DTD 04/30/2023 3.500% 04/30/2028	91282CHA2	670,000.00	AA+	Aaa	05/01/23	05/03/23	666,702.35	3.61	63.72	667,360.43	638,803.13
US TREASURY NOTES DTD 04/30/2021 1.250% 04/30/2028	91282CBZ3	750,000.00	AA+	Aaa	04/30/24	05/02/24	654,287.11	4.80	50.95	654,287.11	654,140.63
US TREASURY NOTES DTD 05/15/2018 2.875% 05/15/2028	9128284N7	725,000.00	AA+	Aaa	05/18/23	05/24/23	698,548.83	3.68	9,620.19	703,539.34	674,476.56
US TREASURY NOTES DTD 05/31/2023 3.625% 05/31/2028	91282CHE4	750,000.00	AA+	Aaa	06/01/23	06/02/23	747,480.47	3.70	11,365.27	747,941.58	718,007.85

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 06/30/2021 1.250% 06/30/2028	91282CCH2	310,000.00	AA+	Aaa	11/02/23	11/06/23	266,151.95	4.67	1,298.76	270,722.68	269,021.88
US TREASURY NOTES DTD 08/31/2023 4.375% 08/31/2028	91282CHX2	300,000.00	AA+	Aaa	09/12/23	09/14/23	299,320.31	4.43	2,211.28	299,406.54	295,406.25
US TREASURY NOTES DTD 11/30/2021 1.500% 11/30/2028	91282CDL2	765,000.00	AA+	Aaa	01/02/24	01/04/24	681,417.78	3.97	4,796.93	686,921.52	663,637.50
US TREASURY NOTES DTD 12/31/2021 1.375% 12/31/2028	91282CDP3	550,000.00	AA+	Aaa	02/02/24	02/06/24	485,804.69	4.02	2,534.68	488,853.07	473,171.88
Security Type Sub-Total		22,620,000.00					21,950,192.80	2.99	100,740.33	22,022,272.71	21,034,589.86
Supra-National Agency Bond / Note											
INTL FINANCE CORP NOTES DTD 12/06/2023 4.375% 01/15/2027	45950KDF4	235,000.00	AAA	Aaa	11/29/23	12/06/23	234,233.90	4.49	3,027.26	234,327.27	231,392.99
Security Type Sub-Total		235,000.00					234,233.90	4.49	3,027.26	234,327.27	231,392.99
Municipal Bond / Note											
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.593% 05/01/2024	797412EL3	75,000.00	AAA	NR	08/18/23	08/18/23	75,000.00	5.76	222.38	75,000.00	75,000.00
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.593% 05/01/2024	797412EK5	150,000.00	NR	NR	08/18/23	08/18/23	150,000.00	5.76	444.75	150,000.00	150,000.00
MS ST TXBL GO BONDS DTD 08/06/2020 0.565% 11/01/2024	605581MZ7	165,000.00	AA	Aa2	07/24/20	08/06/20	165,000.00	0.57	466.13	165,000.00	161,206.65
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.743% 05/01/2025	797412DM2	260,000.00	AAA	Aa2	07/09/20	07/22/20	260,000.00	0.74	965.90	260,000.00	248,799.20
UNIV OF CAL TXBL REV BONDS DTD 07/16/2020 0.933% 05/15/2025	91412HFM0	130,000.00	AA	Aa2	07/10/20	07/16/20	130,000.00	0.93	559.28	130,000.00	124,390.50

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Municipal Bond / Note											
FL ST BOARD OF ADMIN TXBL REV BONDS DTD 09/16/2020 1.258% 07/01/2025	341271AD6	130,000.00	AA	Aa3	09/03/20	09/16/20	130,919.10	1.11	545.13	130,223.86	123,795.10
FL ST BOARD OF ADMIN TXBL REV BONDS DTD 09/16/2020 1.258% 07/01/2025	341271AD6	275,000.00	AA	Aa3	09/03/20	09/16/20	275,000.00	1.26	1,153.17	275,000.00	261,874.25
SAN JUAN USD, CA TXBL GO BONDS DTD 10/29/2020 0.852% 08/01/2025	798306WP7	135,000.00	NR	Aa2	10/16/20	10/29/20	135,000.00	0.85	287.55	135,000.00	127,923.30
LOS ANGELES CCD, CA TXBL GO BONDS DTD 11/10/2020 0.773% 08/01/2025	54438CYK2	260,000.00	AA+	Aaa	10/30/20	11/10/20	260,000.00	0.77	502.45	260,000.00	245,975.60
LOS ANGELES USD, CA TXBL GO BONDS DTD 11/10/2021 1.455% 07/01/2026	544647FC9	150,000.00	NR	Aa2	10/28/21	11/10/21	150,000.00	1.46	727.50	150,000.00	138,991.50
CA ST UNIV TRUSTEES - MUNICIPAL BONDS DTD 08/09/2023 4.755% 11/01/2026	13077DTC6	110,000.00	AA-	Aa2	07/20/23	08/09/23	110,000.00	4.75	3,806.64	110,000.00	109,435.70

Security Type Sub-Total		1,840,000.00					1,840,919.10	1.80	9,680.88	1,840,223.86	1,767,391.80
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Federal Agency Commercial Mortgage-Backed Security											
FHMS K054 A2 DTD 04/20/2016 2.745% 01/01/2026	3137BNGT5	280,000.00	AA+	Aaa	04/11/23	04/14/23	268,406.25	4.37	640.50	272,877.96	268,457.31
FHMS K058 A2 DTD 11/09/2016 2.653% 08/01/2026	3137BSP72	485,000.00	AA+	Aaa	04/06/23	04/12/23	464,576.95	4.02	1,072.25	471,091.34	457,443.50
FHMS K059 A2 DTD 11/29/2016 3.120% 09/01/2026	3137BSRE5	475,000.00	AA+	Aaa	11/15/23	11/20/23	449,895.51	5.16	1,235.00	453,694.51	452,386.79
FHMS K061 A2 DTD 01/30/2017 3.347% 11/01/2026	3137BTUM1	346,757.63	AA+	Aaa	05/19/23	05/24/23	336,083.99	4.31	967.16	338,996.53	331,280.90
FHMS K063 A2 DTD 03/01/2017 3.430% 01/01/2027	3137BVZ82	505,000.00	AA+	Aaa	05/18/23	05/23/23	490,402.34	4.30	1,443.46	494,209.46	482,272.57
FHMS K064 A2 DTD 05/15/2017 3.224% 03/01/2027	3137BXQY1	495,000.00	AA+	Aaa	08/16/23	08/18/23	466,924.22	4.98	1,329.90	472,513.28	469,259.04
FHLMC MULTIFAMILY STRUCTURED P DTD 07/01/2017 3.243% 04/01/2027	3137F1G44	500,000.00	AA+	Aaa	06/08/23	06/13/23	479,121.09	4.44	1,351.25	483,979.80	473,211.08

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Federal Agency Commercial Mortgage-Backed Security											
FHMS KJ48 A1 DTD 12/01/2023 4.858% 05/01/2028	3137HBC69	377,956.92	AA+	Aaa	12/06/23	12/14/23	377,953.89	4.86	1,530.10	377,954.13	372,164.98
FHMS KJ46 A1 DTD 07/01/2023 4.777% 06/01/2028	3137HAD45	378,103.73	AA+	Aaa	07/19/23	07/27/23	378,094.26	4.78	1,505.17	378,095.75	372,441.04
FHMS K505 A2 DTD 07/01/2023 4.819% 06/01/2028	3137HACX2	465,000.00	AA+	Aaa	07/13/23	07/20/23	469,644.42	4.59	1,867.36	468,897.34	457,279.58
FNA 2023-M6 A2 DTD 07/01/2023 4.190% 07/01/2028	3136BQDE6	470,000.00	AA+	Aaa	07/18/23	07/31/23	462,032.03	4.58	1,641.08	463,251.39	452,339.01
FHMS K508 A2 DTD 10/01/2023 4.740% 08/01/2028	3137HAQ74	455,000.00	AA+	Aaa	10/11/23	10/19/23	445,019.12	5.26	1,797.25	446,014.62	446,371.81
FHMS K506 A2 DTD 09/01/2023 4.650% 08/01/2028	3137HAMH6	470,000.00	AA+	Aaa	09/07/23	09/14/23	463,047.29	4.99	1,821.25	463,853.38	459,685.58
FHMS K509 A2 DTD 10/01/2023 4.850% 09/01/2028	3137HAST4	340,000.00	AA+	Aaa	10/25/23	10/31/23	329,159.78	5.60	1,374.17	330,155.02	334,872.02
FHMS K507 A2 DTD 09/01/2023 4.800% 09/01/2028	3137HAMS2	455,000.00	AA+	Aaa	09/20/23	09/28/23	449,561.39	5.07	1,820.00	450,145.37	447,309.98
FHMS K510 A2 DTD 11/01/2023 5.069% 10/01/2028	3137HB3D4	175,000.00	AA+	Aaa	11/14/23	11/21/23	174,494.08	5.14	739.23	174,535.28	173,763.23
FHMS K511 A2 DTD 12/01/2023 4.860% 10/01/2028	3137HB3G7	265,000.00	AA+	Aaa	11/28/23	12/07/23	264,238.66	4.93	1,073.25	264,295.32	261,043.56
Security Type Sub-Total		6,937,818.28					6,768,655.27	4.77	23,208.38	6,804,560.48	6,711,581.98
Federal Agency Bond / Note											
FEDERAL HOME LOAN BANK NOTES DTD 04/16/2020 0.500% 04/14/2025	3130AJHU6	385,000.00	AA+	Aaa	04/15/20	04/16/20	383,090.40	0.60	90.90	384,635.67	368,024.97
FANNIE MAE NOTES DTD 04/24/2020 0.625% 04/22/2025	3135G03U5	965,000.00	AA+	Aaa	04/22/20	04/24/20	963,012.10	0.67	150.78	964,612.01	922,617.20

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Federal Agency Bond / Note											
FANNIE MAE NOTES DTD 06/19/2020 0.500% 06/17/2025	3135G04Z3	1,000,000.00	AA+	Aaa	06/17/20	06/19/20	997,930.00	0.54	1,861.11	999,532.43	948,148.00
FREDDIE MAC NOTES DTD 09/25/2020 0.375% 09/23/2025	3137EAEX3	495,000.00	AA+	Aaa	09/23/20	09/25/20	493,510.05	0.44	195.94	494,583.40	462,914.10
FEDERAL HOME LOAN BANK NOTES (CALLABLE) DTD 02/10/2021 0.830% 02/10/2027	3130AKYH3	390,000.00	AA+	Aaa	08/18/22	08/19/22	349,287.90	3.36	728.33	364,741.58	347,786.01
Security Type Sub-Total		3,235,000.00					3,186,830.45	0.89	3,027.06	3,208,105.09	3,049,490.28
Corporate Note											
CITIGROUP INC CORPORATE NOTES (CALLED,OM DTD 05/04/2021 0.981% 05/01/2024	172967MX6	60,000.00	BBB+	A3	04/27/21	05/04/21	60,000.00	0.98	294.30	60,000.00	59,991.42
CITIGROUP INC CORPORATE NOTES (CALLED,OM DTD 05/04/2021 0.981% 05/01/2024	172967MX6	60,000.00	BBB+	A3	04/28/21	05/04/21	60,118.20	0.91	294.30	60,000.00	59,991.42
US BANCORP NOTES (CALLABLE) DTD 07/29/2019 2.400% 07/30/2024	91159HHX1	350,000.00	A	A3	08/08/19	08/12/19	354,424.00	2.13	2,123.33	350,143.99	346,935.05
BANK OF NY MELLON CORP DTD 10/24/2019 2.100% 10/24/2024	06406RAL1	135,000.00	A	A1	01/21/20	01/28/20	135,594.00	2.00	55.13	135,060.40	132,644.93
AMERICAN EXPRESS CORP NOTES (CALLABLE) DTD 08/03/2022 3.950% 08/01/2025	025816CY3	125,000.00	BBB+	A2	07/25/22	08/03/22	124,875.00	3.99	1,234.38	124,947.78	122,382.25
BURLINGTN NORTH SANTA FE CORP NOTES (CAL DTD 08/20/2015 3.650% 09/01/2025	12189LAY7	205,000.00	AA-	A3	05/20/21	05/24/21	227,334.75	1.03	1,247.08	211,020.80	200,115.06
MORGAN STANLEY CORP NOTES (CALLABLE) DTD 10/19/2021 1.164% 10/21/2025	61747YEG6	120,000.00	A-	A1	10/14/21	10/19/21	120,000.00	1.16	38.80	120,000.00	117,315.24

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
WELLS FARGO BANK NA CORPORATE NOTES (CALL DTD 01/23/2024 4.811% 01/15/2026	94988J6H5	250,000.00	A+	Aa2	01/16/24	01/23/24	250,000.00	4.81	3,274.15	250,000.00	246,886.25
GOLDMAN SACHS GROUP INC CORP NOTES (CALL DTD 02/12/2021 0.855% 02/12/2026	38141GXS8	150,000.00	BBB+	A2	02/12/21	02/17/21	150,352.50	0.81	281.44	150,069.48	144,135.90
STATE STREET CORP NOTES (CALLABLE) DTD 10/29/2020 2.901% 03/30/2026	857477BM4	230,000.00	A	A1	03/10/22	03/14/22	231,386.90	2.74	574.56	230,415.32	223,405.44
BANK OF AMERICA CORP NOTES (CALLABLE) DTD 03/22/2022 3.384% 04/02/2026	06051GKM0	250,000.00	A-	A1	03/17/22	03/22/22	250,000.00	3.38	681.50	250,000.00	244,415.00
ASTRAZENECA FINANCE LLC (CALLABLE) CORP DTD 05/28/2021 1.200% 05/28/2026	04636NAA1	145,000.00	A	A2	07/15/21	07/19/21	145,201.55	1.17	739.50	145,084.02	133,368.83
NATIONAL RURAL UTIL COOP CORP NOTES (CALL DTD 02/24/2021 1.000% 06/15/2026	63743HEW8	210,000.00	A-	A2	03/27/24	04/01/24	192,777.90	4.97	793.33	193,419.72	191,552.97
BANK OF NEW YORK MELLON CORP NOTES (CALL DTD 07/26/2022 4.414% 07/24/2026	06406RBJ5	75,000.00	A	A1	07/19/22	07/26/22	75,000.00	4.41	892.00	75,000.00	73,878.98
TRUIST FIN CORP NOTES (CALLABLE) DTD 07/28/2022 4.260% 07/28/2026	89788MAH5	150,000.00	A-	A3	07/25/22	07/28/22	150,000.00	4.26	1,650.75	150,000.00	147,026.55
STATE STREET CORP NOTES (CALLABLE) DTD 08/03/2023 5.272% 08/03/2026	857477CD3	270,000.00	A	A1	07/31/23	08/03/23	270,000.00	5.27	3,479.52	270,000.00	268,695.63
CATERPILLAR FINL SERVICE CORPORATE NOTES DTD 09/14/2021 1.150% 09/14/2026	14913R2Q9	120,000.00	A	A2	11/29/21	11/30/21	118,240.80	1.47	180.17	119,128.95	108,985.20
JPMORGAN CHASE & CO CORP NOTES DTD 07/21/2016 2.950% 10/01/2026	46625HRV4	230,000.00	A-	A1	11/19/21	11/23/21	243,103.10	1.72	565.42	236,165.71	217,097.92

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
BANK OF NY MELLON CORP CORP NOTES (CALLA DTD 07/27/2021 1.050% 10/15/2026	06406RAV9	240,000.00	A	A1	12/15/23	12/19/23	216,357.60	4.82	112.00	219,430.42	216,037.44
AMERICAN EXPRESS CO (CALLABLE) CORPORATE DTD 11/04/2021 1.650% 11/04/2026	025816CM9	245,000.00	BBB+	A2	11/19/21	11/23/21	244,593.30	1.69	1,987.56	244,793.61	223,110.97
TOYOTA MOTOR CREDIT CORP CORPORATE NOTES DTD 11/20/2023 5.400% 11/20/2026	89236TLD5	270,000.00	A+	A1	11/15/23	11/20/23	269,757.00	5.43	6,520.50	269,790.84	270,232.74
JOHN DEERE CAPITAL CORP CORPORATE NOTES DTD 01/10/2022 1.700% 01/11/2027	24422EWA3	120,000.00	A	A1	02/25/22	02/28/22	116,650.80	2.31	623.33	118,144.57	109,397.28
AUST & NZ BANKING GRP NY BONDS DTD 01/18/2024 4.750% 01/18/2027	05253JAZ4	360,000.00	AA-	Aa2	01/08/24	01/18/24	360,000.00	4.75	4,892.50	360,000.00	355,393.44
ADOBE INC (CALLABLE) CORP NOTE DTD 02/03/2020 2.150% 02/01/2027	00724PAC3	120,000.00	A+	A1	07/01/22	07/06/22	113,362.80	3.47	645.00	116,004.18	110,984.52
CISCO SYSTEMS INC CORPORATE NOTES (CALLA DTD 02/26/2024 4.800% 02/26/2027	17275RBQ4	145,000.00	AA-	A1	02/21/24	02/26/24	144,811.50	4.85	1,256.67	144,821.98	143,690.80
CHARLES SCHWAB CORP NOTES (CALLABLE) DTD 03/03/2022 2.450% 03/03/2027	808513BY0	250,000.00	A-	A2	11/01/22	11/03/22	223,595.00	5.20	986.81	232,697.29	230,296.00
DEERE & COMPANY CAPITAL CORP NOTE DTD 03/07/2024 4.850% 03/05/2027	24422EXM6	120,000.00	A	A1	03/05/24	03/07/24	120,033.60	4.84	873.00	120,032.03	118,969.80
DEERE & COMPANY CAPITAL CORP NOTE DTD 03/07/2024 4.850% 03/05/2027	24422EXM6	125,000.00	A	A1	03/06/24	03/08/24	125,145.00	4.81	909.38	125,138.36	123,926.88
AMERICAN HONDA FINANCE CORPORATE NOTES DTD 03/13/2024 4.900% 03/12/2027	02665WFD8	100,000.00	A-	A3	03/11/24	03/13/24	99,945.00	4.92	653.33	99,947.28	98,900.40

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

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Corporate Note											
STATE STREET CORP NOTE (CALLABLE) DTD 03/18/2024 4.993% 03/18/2027	857477CL5	80,000.00	A	A1	03/15/24	03/19/24	79,844.00	5.06	477.11	79,849.65	79,326.32
STATE STREET CORP NOTE (CALLABLE) DTD 03/18/2024 4.993% 03/18/2027	857477CL5	145,000.00	A	A1	03/13/24	03/18/24	145,000.00	4.99	864.76	145,000.00	143,778.96
NIKE INC CORPORATE NOTES (CALLABLE) DTD 03/27/2020 2.750% 03/27/2027	654106AJ2	120,000.00	AA-	A1	06/24/22	06/28/22	115,272.00	3.66	311.67	117,108.09	112,431.00
HOME DEPOT INC CORP NOTES (CALLABLE) DTD 03/30/2020 2.500% 04/15/2027	437076CA8	120,000.00	A	A2	07/01/22	07/06/22	115,279.20	3.40	133.33	117,079.28	111,259.20
HOME DEPOT INC (CALLABLE) CORPORATE NOTE DTD 03/28/2022 2.875% 04/15/2027	437076CN0	120,000.00	A	A2	10/26/22	10/28/22	110,311.20	4.91	153.33	113,586.37	112,554.36
NORTHERN TRUST CORP NOTE (CALLABLE) DTD 05/10/2022 4.000% 05/10/2027	665859AW4	140,000.00	A+	A2	05/10/22	05/12/22	140,940.80	3.85	2,660.00	140,563.22	134,519.14
UNITEDHEALTH GROUP INC CORP NOTES (CALLA DTD 05/20/2022 3.700% 05/15/2027	91324PEG3	50,000.00	A+	A2	05/17/22	05/20/22	49,973.00	3.71	853.06	49,983.56	47,863.50
IBM CORP CORP NOTES (CALLABLE) DTD 05/07/2020 1.700% 05/15/2027	459200KH3	125,000.00	A-	A3	06/01/22	06/03/22	114,328.75	3.60	979.86	118,450.79	112,400.88
PNC FINANCIAL SERVICES CORP NOTES (CALLA DTD 05/19/2017 3.150% 05/19/2027	693475AT2	120,000.00	A-	A3	08/02/22	08/04/22	117,055.20	3.71	1,701.00	118,126.04	112,457.76
TRUIST FINANCIAL CORP NOTES (CALLABLE) DTD 08/03/2020 1.125% 08/03/2027	89788MAC6	130,000.00	A-	A3	08/03/22	08/05/22	113,787.70	3.90	357.50	119,431.78	113,221.94
TEXAS INSTRUMENTS INC CORP NOTES (CALLAB DTD 11/03/2017 2.900% 11/03/2027	882508BC7	255,000.00	A+	Aa3	01/22/24	01/24/24	241,487.55	4.44	3,656.42	242,447.83	237,035.76
JPMORGAN CHASE & CO CORPORATE NOTES (CAL DTD 01/23/2024 5.040% 01/23/2028	46647PEA0	200,000.00	A-	A1	01/16/24	01/23/24	200,000.00	5.04	2,744.00	200,000.00	197,328.00

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
JPMORGAN CHASE & CO CORPORATE NOTES (CAL DTD 04/22/2024 5.571% 04/22/2028	46647PEE2	215,000.00	A-	A1	04/15/24	04/22/24	215,000.00	5.57	299.44	215,000.00	214,844.13
NATIONAL AUSTRALIA BK/NY CORPORATE NOTES DTD 06/13/2023 4.900% 06/13/2028	63253QAE4	350,000.00	AA-	Aa2	11/15/23	11/20/23	342,300.00	5.45	6,574.17	343,052.91	344,957.55
CITIBANK NA CORP NOTES (CALLABLE) DTD 09/29/2023 5.803% 09/29/2028	17325FBB3	445,000.00	A+	Aa3	09/26/23	09/29/23	445,000.00	5.80	2,295.41	445,000.00	453,581.38
TOYOTA MOTOR CREDIT CORP CORPORATE NOTES DTD 01/05/2024 4.650% 01/05/2029	89236TLL7	80,000.00	A+	A1	01/02/24	01/05/24	79,890.40	4.68	1,198.67	79,896.71	78,092.80
COOPERAT RABOBANK UA/NY DTD 01/09/2024 4.800% 01/09/2029	21688ABC5	475,000.00	A+	Aa2	01/02/24	01/09/24	474,643.75	4.82	7,093.33	474,663.49	462,749.28
NATIONAL AUSTRALIA BK/NY CORPORATE NOTES DTD 01/10/2024 4.787% 01/10/2029	63253QAG9	350,000.00	AA-	Aa2	01/03/24	01/10/24	350,000.00	4.79	5,165.97	350,000.00	342,539.05
PACCAR FINANCIAL CORP CORPORATE NOTES DTD 01/31/2024 4.600% 01/31/2029	69371RS80	210,000.00	A+	A1	01/24/24	01/31/24	209,657.70	4.64	2,441.83	209,673.02	204,895.95
NATIONAL RURAL UTIL COOP CORP NOTES (CAL DTD 02/05/2024 4.850% 02/07/2029	63743HFN7	170,000.00	A-	A2	02/05/24	02/08/24	169,573.30	4.91	1,969.64	169,590.60	165,909.46
TEXAS INSTRUMENTS CORP NOTES (CALLABLE) DTD 02/08/2024 4.600% 02/08/2029	882508CG7	95,000.00	A+	Aa3	02/05/24	02/08/24	94,899.30	4.62	1,007.53	94,903.41	93,049.75
AIR PRODUCTS & CHEMICALS CORP NOTES (CAL DTD 02/08/2024 4.600% 02/08/2029	009158BH8	325,000.00	A	A2	02/06/24	02/08/24	324,567.75	4.63	3,446.81	324,585.38	316,973.80

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
LOCKHEED MARTIN CORP NOTES (CALLABLE) DTD 01/29/2024 4.500% 02/15/2029	539830CC1	250,000.00	A-	A2	03/05/24	03/07/24	246,890.00	4.79	2,875.00	246,974.70	242,971.00
CUMMINS INC CORP NOTE (CALLABLE) DTD 02/20/2024 4.900% 02/20/2029	231021AV8	240,000.00	A	A2	02/26/24	02/28/24	239,035.34	4.99	2,319.33	239,065.06	236,936.16
BRISTOL-MYERS SQUIBB CORP NOTES (CALLABL DTD 02/22/2024 4.900% 02/22/2029	110122EF1	105,000.00	A	A2	02/14/24	02/22/24	104,779.50	4.95	986.13	104,786.91	103,122.71
BRISTOL-MYERS SQUIBB CORP NOTES (CALLABL DTD 02/22/2024 4.900% 02/22/2029	110122EF1	120,000.00	A	A2	02/15/24	02/22/24	120,289.20	4.85	1,127.00	120,279.26	117,854.52
ASTRAZENECA FINANCE LLC CORP NOTES (CALL DTD 02/26/2024 4.850% 02/26/2029	04636NAL7	145,000.00	A	A2	02/21/24	02/26/24	144,847.75	4.87	1,269.76	144,852.58	142,186.71
CISCO SYSTEMS INC CORPORATE NOTES (CALLA DTD 02/26/2024 4.850% 02/26/2029	17275RBR2	255,000.00	AA-	A1	02/21/24	02/26/24	254,910.75	4.86	2,233.02	254,913.58	251,531.75
AMERICAN HONDA FINANCE CORPORATE NOTES DTD 03/13/2024 4.900% 03/13/2029	02665WFE6	240,000.00	A-	A3	03/11/24	03/13/24	239,894.40	4.91	1,568.00	239,896.89	235,309.44
BLACKROCK FUNDING INC CORPORATE NOTES (C DTD 03/14/2024 4.700% 03/14/2029	09290DAA9	45,000.00	AA-	Aa3	03/05/24	03/14/24	44,918.55	4.74	276.13	44,920.44	44,116.34
ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	165,000.00	A+	A1	04/02/24	04/04/24	164,511.67	4.87	594.00	164,518.05	163,237.96
ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	195,000.00	A+	A1	04/01/24	04/04/24	194,709.45	4.83	702.00	194,713.25	192,917.60
Security Type Sub-Total		11,310,000.00					11,196,258.51	4.19	98,194.95	11,204,169.58	10,961,718.47
Certificate of Deposit											

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Certificate of Deposit											
TORONTO DOMINION BANK NY CERT DEPOS DTD 10/31/2022 5.600% 10/27/2025	89115B6K1	450,000.00	A	A1	10/27/22	10/31/22	450,000.00	5.58	13,230.00	450,000.00	450,520.98
COOPERAT RABOBANK UA/NY CERT DEPOS DTD 07/20/2023 5.080% 07/17/2026	21684LGS5	705,000.00	A+	Aa2	07/17/23	07/20/23	705,000.00	5.08	10,346.27	705,000.00	704,994.36
NATIXIS NY BRANCH CERT DEPOS DTD 09/20/2023 5.610% 09/18/2026	63873QP65	340,000.00	A	A1	09/18/23	09/20/23	340,000.00	5.61	11,868.27	340,000.00	341,594.60
CREDIT AGRICOLE CIB NY CERT DEPOS DTD 02/05/2024 4.760% 02/01/2027	22536DWD6	365,000.00	A+	Aa3	02/01/24	02/05/24	365,000.00	4.76	4,150.46	365,000.00	364,851.81
Security Type Sub-Total		1,860,000.00					1,860,000.00	5.24	39,595.00	1,860,000.00	1,861,961.75
Bank Note											
WELLS FARGO BANK NA BANK NOTES (CALLABLE) DTD 08/09/2023 5.450% 08/07/2026	94988J6D4	470,000.00	A+	Aa2	08/02/23	08/09/23	469,962.40	5.45	5,976.83	469,971.54	469,475.48
CITIBANK NA CORP NOTES (CALLABLE) DTD 12/04/2023 5.488% 12/04/2026	17325FBC1	250,000.00	A+	Aa3	11/27/23	12/04/23	250,000.00	5.49	5,602.33	250,000.00	250,139.75
MORGAN STANLEY BANK NA BANK NOTES (CALLA DTD 01/18/2024 4.952% 01/14/2028	61690U8A1	500,000.00	A+	Aa3	04/30/24	05/03/24	492,900.00	5.38	7,221.67	492,900.00	490,208.00
Security Type Sub-Total		1,220,000.00					1,212,862.40	5.43	18,800.83	1,212,871.54	1,209,823.23
Asset-Backed Security											
CARMX 2020-4 A3 DTD 10/21/2020 0.500% 08/15/2025	14316HAC6	5,489.76	AAA	NR	10/14/20	10/21/20	5,488.55	0.50	1.22	5,489.44	5,479.12
KCOT 2021-1A A3 DTD 04/14/2021 0.620% 08/15/2025	50117TAC5	29,340.65	NR	Aaa	04/06/21	04/14/21	29,334.64	0.62	8.08	29,338.86	29,014.08
HART 2021-A A3 DTD 04/28/2021 0.380% 09/15/2025	44933LAC7	11,989.87	AAA	NR	04/20/21	04/28/21	11,988.60	0.38	2.02	11,989.47	11,913.42

Managed Account Detail of Securities Held

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Asset-Backed Security											
KCOT 2021-2A A3 DTD 07/28/2021 0.560% 11/17/2025	50117XAE2	43,519.54	NR	Aaa	07/20/21	07/28/21	43,517.89	0.56	10.83	43,518.95	42,663.73
CARMX 2021-1 A3 DTD 01/27/2021 0.340% 12/15/2025	14316NAC3	10,463.73	AAA	NR	01/20/21	01/27/21	10,461.66	0.34	1.58	10,463.04	10,351.05
CARMX 2021-2 A3 DTD 04/21/2021 0.520% 02/17/2026	14314QAC8	38,827.74	AAA	NR	04/13/21	04/21/21	38,819.37	0.52	8.97	38,824.62	38,273.43
CARMX 2021-3 A3 DTD 07/28/2021 0.550% 06/15/2026	14317DAC4	129,294.22	AAA	Aaa	07/21/21	07/28/21	129,272.96	0.55	31.61	129,284.98	126,076.62
HAROT 2022-2 A3 DTD 08/24/2022 3.730% 07/20/2026	43815PAC3	75,000.00	AAA	NR	08/15/22	08/24/22	74,995.53	3.73	101.02	74,997.46	73,999.69
CARMX 2022-3 A3 DTD 07/20/2022 3.970% 04/15/2027	14318MAD1	330,000.00	AAA	NR	07/12/22	07/20/22	329,992.21	3.97	582.27	329,995.14	326,458.14
COPAR 2022-2 A3 DTD 08/10/2022 3.660% 05/17/2027	14043GAD6	150,000.00	AAA	Aaa	08/02/22	08/10/22	149,989.26	3.66	244.00	149,993.15	147,094.64
DCENT 2022-A2 A DTD 05/26/2022 3.320% 05/17/2027	254683CS2	170,000.00	NR	Aaa	05/19/22	05/26/22	169,986.18	3.32	250.84	169,991.55	166,123.20
AMXCA 2022-2 A DTD 05/24/2022 3.390% 05/17/2027	02582JJT8	365,000.00	AAA	NR	05/17/22	05/24/22	364,919.26	3.39	549.93	364,950.69	357,074.46
Security Type Sub-Total		1,358,925.51					1,358,766.11	3.01	1,792.37	1,358,837.35	1,334,521.58
Managed Account Sub-Total		50,616,743.79					49,608,718.54	3.49	298,067.06	49,745,367.88	48,162,471.94
Securities Sub-Total		\$50,616,743.79					\$49,608,718.54	3.49%	\$298,067.06	\$49,745,367.88	\$48,162,471.94
Accrued Interest											\$298,067.06
Total Investments											\$48,460,539.00

Bolded items are forward settling trades.

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
U.S. Treasury Bond / Note										
US TREASURY NOTES DTD 01/31/2020 1.375% 01/31/2025	912828Z52	200,000.00	MERRILL		97.13	194,250.00	(5,765.62)	(5,752.36)	0.75	5.32
US TREASURY NOTES DTD 07/31/2020 0.250% 07/31/2025	91282CAB7	55,000.00	WELLS_F		94.05	51,725.78	(1,978.71)	(2,899.38)	1.25	5.22
US TREASURY NOTES DTD 08/17/2015 2.000% 08/15/2025	912828K74	250,000.00	CITIGRP		96.06	240,156.25	(224.61)	(1,484.68)	1.28	5.18
US TREASURY NOTES DTD 10/31/2023 5.000% 10/31/2025	91282CJE2	1,000,000.00	CITIGRP		99.77	997,656.20	(2,656.30)	(2,582.49)	1.46	5.16
US TREASURY NOTES DTD 11/15/2022 4.500% 11/15/2025	91282CFW6	500,000.00	HSBC		99.03	495,156.25	(10,000.00)	(7,546.70)	1.48	5.16
US TREASURY NOTES DTD 11/30/2020 0.375% 11/30/2025	91282CAZ4	225,000.00	HSBC		92.81	208,828.13	(13,394.53)	(15,132.17)	1.58	5.16
US TREASURY NOTES DTD 12/31/2020 0.375% 12/31/2025	91282CBC4	245,000.00	JPM_CHA		92.48	226,586.73	(13,867.37)	(16,623.71)	1.66	5.13
US TREASURY NOTES DTD 12/31/2020 0.375% 12/31/2025	91282CBC4	650,000.00	JPM_CHA		92.48	601,148.47	(43,138.64)	(46,690.57)	1.66	5.13
US TREASURY NOTES DTD 01/15/2023 3.875% 01/15/2026	91282CGE5	200,000.00	CITIGRP		97.98	195,968.76	(4,101.55)	(4,071.98)	1.65	5.12
US TREASURY NOTES DTD 01/31/2021 0.375% 01/31/2026	91282CBH3	650,000.00	MERRILL		92.14	598,914.03	(41,183.63)	(47,555.33)	1.75	5.12
US TREASURY NOTES DTD 02/16/2016 1.625% 02/15/2026	912828P46	650,000.00	BARCLAY		94.09	611,609.38	(68,021.48)	(49,113.39)	1.77	5.11
US TREASURY NOTES DTD 03/31/2021 0.750% 03/31/2026	91282CBT7	375,000.00	JPM_CHA		92.23	345,878.93	(28,974.59)	(29,062.93)	1.91	5.05
US TREASURY NOTES DTD 04/30/2021 0.750% 04/30/2026	91282CBW0	370,000.00	CABRERA		91.92	340,110.96	(28,718.34)	(29,420.37)	1.99	5.05
US TREASURY NOTES DTD 05/16/2016 1.625% 05/15/2026	912828R36	500,000.00	JPM_CHA		93.44	467,187.50	(54,101.56)	(41,611.98)	2.00	5.05
US TREASURY NOTES DTD 05/31/2021 0.750% 05/31/2026	91282CCF6	500,000.00	SIEBERT		91.61	458,046.90	(40,898.41)	(41,513.16)	2.06	5.04
US TREASURY NOTES DTD 06/30/2021 0.875% 06/30/2026	91282CCJ8	255,000.00	MORGAN_		91.61	233,603.92	(22,720.89)	(21,992.09)	2.14	5.01
US TREASURY NOTES DTD 07/31/2021 0.625% 07/31/2026	91282CCP4	130,000.00	HSBC		90.80	118,035.94	(8,912.11)	(10,515.71)	2.24	4.99

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
U.S. Treasury Bond / Note										
US TREASURY NOTES DTD 07/31/2021 0.625% 07/31/2026	91282CCP4	500,000.00	GOLDMAN		90.80	453,984.40	(30,136.69)	(38,199.90)	2.24	4.99
US TREASURY NOTES DTD 08/15/2016 1.500% 08/15/2026	9128282A7	260,000.00	BARCLAY		92.47	240,418.75	(5,525.00)	(11,752.45)	2.26	5.02
US TREASURY NOTES DTD 08/31/2021 0.750% 08/31/2026	91282CCW9	500,000.00	CSFB		90.77	453,828.10	(32,773.46)	(39,452.96)	2.31	4.99
US TREASURY NOTES DTD 09/30/2021 0.875% 09/30/2026	91282CCZ2	1,000,000.00	MORGAN_		90.81	908,125.00	(76,289.06)	(84,059.88)	2.39	4.95
US TREASURY NOTES DTD 11/30/2021 1.250% 11/30/2026	91282CDK4	125,000.00	MERRILL		91.16	113,945.31	(7,172.86)	(8,961.74)	2.54	4.94
US TREASURY NOTES DTD 01/31/2020 1.500% 01/31/2027	912828Z78	1,090,000.00	NOMURA		91.31	995,306.25	(3,789.45)	(15,458.00)	2.69	4.91
US TREASURY NOTES DTD 02/15/2017 2.250% 02/15/2027	912828V98	600,000.00	BARCLAY		93.16	558,937.50	(25,359.38)	(31,556.75)	2.71	4.90
US TREASURY NOTES DTD 02/28/2022 1.875% 02/28/2027	91282CEC1	375,000.00	NOMURA		92.08	345,292.95	(11,455.10)	(19,000.48)	2.76	4.90
US TREASURY NOTES DTD 03/31/2022 2.500% 03/31/2027	91282CEF4	500,000.00	MORGAN_		93.63	468,125.00	(4,921.88)	(6,292.38)	2.82	4.87
US TREASURY NOTES DTD 04/30/2020 0.500% 04/30/2027	912828ZN3	125,000.00	BARCLAY		87.91	109,882.81	(1,113.28)	(6,676.27)	2.98	4.88
US TREASURY NOTES DTD 04/30/2022 2.750% 04/30/2027	91282CEN7	375,000.00	CITIGRP		94.13	352,968.75	(18,398.44)	(19,849.97)	2.90	4.88
US TREASURY NOTES DTD 05/15/2017 2.375% 05/15/2027	912828X88	600,000.00	HSBC		93.00	558,000.00	(27,539.06)	(32,959.87)	2.91	4.88
US TREASURY NOTES DTD 05/31/2020 0.500% 05/31/2027	912828ZS2	1,200,000.00	MORGAN_		87.63	1,051,500.00	(8,718.75)	(11,994.87)	3.06	4.87
US TREASURY NOTES DTD 06/30/2022 3.250% 06/30/2027	91282CEW7	350,000.00	GOLDMAN		95.34	333,703.13	(21,751.95)	(19,812.84)	3.00	4.85
US TREASURY NOTES DTD 07/31/2022 2.750% 07/31/2027	91282CFB2	500,000.00	MORGAN_		93.72	468,593.75	(27,871.09)	(29,106.36)	3.11	4.86
US TREASURY NOTES DTD 09/30/2022 4.125% 09/30/2027	91282CFM8	325,000.00	CITIGRP		97.78	317,789.06	(10,943.36)	(9,828.67)	3.21	4.84
US TREASURY NOTES DTD 10/31/2022 4.125% 10/31/2027	91282CFU0	500,000.00	JPM_CHA		97.72	488,593.75	(17,949.22)	(16,080.32)	3.29	4.84

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
U.S. Treasury Bond / Note										
US TREASURY NOTES DTD 10/31/2022 4.125% 10/31/2027	91282CFU0	500,000.00	MERRILL		97.72	488,593.75	(14,628.91)	(13,747.67)	3.29	4.84
US TREASURY NOTES DTD 11/30/2022 3.875% 11/30/2027	91282CFZ9	420,000.00	JPM_CHA		96.89	406,940.60	(14,585.18)	(14,156.55)	3.32	4.83
US TREASURY NOTES DTD 01/31/2023 3.500% 01/31/2028	91282CGH8	450,000.00	JPM_CHA		95.52	429,820.29	(17,349.63)	(18,054.05)	3.51	4.82
US TREASURY NOTES DTD 03/31/2023 3.625% 03/31/2028	91282CGT2	750,000.00	JPM_CHA		95.83	718,710.90	(35,625.04)	(34,745.28)	3.67	4.81
US TREASURY NOTES DTD 04/30/2023 3.500% 04/30/2028	91282CHA2	670,000.00	CABRERA		95.34	638,803.13	(27,899.22)	(28,557.30)	3.76	4.79
US TREASURY NOTES DTD 04/30/2021 1.250% 04/30/2028	91282CBZ3	750,000.00	CITIGRP		87.22	654,140.63	(146.48)	(146.48)	3.91	4.80
US TREASURY NOTES DTD 05/15/2018 2.875% 05/15/2028	9128284N7	725,000.00	MERRILL		93.03	674,476.56	(24,072.27)	(29,062.78)	3.78	4.79
US TREASURY NOTES DTD 05/31/2023 3.625% 05/31/2028	91282CHE4	750,000.00	JPM_CHA		95.73	718,007.85	(29,472.62)	(29,933.73)	3.77	4.79
US TREASURY NOTES DTD 06/30/2021 1.250% 06/30/2028	91282CCH2	310,000.00	BMO		86.78	269,021.88	2,869.93	(1,700.80)	4.05	4.79
US TREASURY NOTES DTD 08/31/2023 4.375% 08/31/2028	91282CHX2	300,000.00	BARCLAY		98.47	295,406.25	(3,914.06)	(4,000.29)	3.96	4.77
US TREASURY NOTES DTD 11/30/2021 1.500% 11/30/2028	91282CDL2	765,000.00	BNP_PAR		86.75	663,637.50	(17,780.28)	(23,284.02)	4.40	4.75
US TREASURY NOTES DTD 12/31/2021 1.375% 12/31/2028	91282CDP3	550,000.00	HSBC		86.03	473,171.88	(12,632.81)	(15,681.19)	4.50	4.75
Security Type Sub-Total		22,620,000.00				21,034,589.86	(915,602.94)	(987,682.85)	2.77	4.93
Supra-National Agency Bond / Note										
INTL FINANCE CORP NOTES DTD 12/06/2023 4.375% 01/15/2027	45950KDF4	235,000.00	WELLS_F		98.47	231,392.99	(2,840.91)	(2,934.28)	2.55	4.99
Security Type Sub-Total		235,000.00				231,392.99	(2,840.91)	(2,934.28)	2.55	4.99

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Municipal Bond / Note										
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.593% 05/01/2024	797412EL3	75,000.00	XCHANGE		100.00	75,000.00	0.00	0.00	0.00	0.59
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.593% 05/01/2024	797412EK5	150,000.00	XCHANGE		100.00	150,000.00	0.00	0.00	0.00	0.59
MS ST TXBL GO BONDS DTD 08/06/2020 0.565% 11/01/2024	605581M27	165,000.00	WELLS_F		97.70	161,206.65	(3,793.35)	(3,793.35)	0.50	5.26
SAN DEIGO CNTY WTR AUTH, CA TXBL REV BON DTD 07/22/2020 0.743% 05/01/2025	797412DM2	260,000.00	MERRILL		95.69	248,799.20	(11,200.80)	(11,200.80)	1.00	5.21
UNIV OF CAL TXBL REV BONDS DTD 07/16/2020 0.933% 05/15/2025	91412HFM0	130,000.00	JPM_CHA		95.69	124,390.50	(5,609.50)	(5,609.50)	1.03	5.24
FL ST BOARD OF ADMIN TXBL REV BONDS DTD 09/16/2020 1.258% 07/01/2025	341271AD6	130,000.00	MERRILL		95.23	123,795.10	(7,124.00)	(6,428.76)	1.16	5.53
FL ST BOARD OF ADMIN TXBL REV BONDS DTD 09/16/2020 1.258% 07/01/2025	341271AD6	275,000.00	MERRILL		95.23	261,874.25	(13,125.75)	(13,125.75)	1.16	5.53
SAN JUAN USD, CA TXBL GO BONDS DTD 10/29/2020 0.852% 08/01/2025	798306WP7	135,000.00	KEYBANC		94.76	127,923.30	(7,076.70)	(7,076.70)	1.25	5.23
LOS ANGELES CCD, CA TXBL GO BONDS DTD 11/10/2020 0.773% 08/01/2025	54438CYK2	260,000.00	MERRILL		94.61	245,975.60	(14,024.40)	(14,024.40)	1.25	5.28
LOS ANGELES USD, CA TXBL GO BONDS DTD 11/10/2021 1.455% 07/01/2026	544647FC9	150,000.00	BARCLAY		92.66	138,991.50	(11,008.50)	(11,008.50)	2.13	5.07
CA ST UNIV TRUSTEES - MUNICIPAL BONDS DTD 08/09/2023 4.755% 11/01/2026	13077DTC6	110,000.00	BARCLAY		99.49	109,435.70	(564.30)	(564.30)	2.31	4.98
Security Type Sub-Total		1,840,000.00				1,767,391.80	(73,527.30)	(72,832.06)	1.09	4.68
Federal Agency Commercial Mortgage-Backed Security										
FHMS K054 A2 DTD 04/20/2016 2.745% 01/01/2026	3137BNGT5	280,000.00	BAIRD		95.88	268,457.31	51.06	(4,420.65)	1.53	5.33
FHMS K058 A2 DTD 11/09/2016 2.653% 08/01/2026	3137BSP72	485,000.00	BREAN		94.32	457,443.50	(7,133.45)	(13,647.84)	2.15	5.34

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Federal Agency Commercial Mortgage-Backed Security										
FHMS K059 A2 DTD 11/29/2016 3.120% 09/01/2026	3137BSRE5	475,000.00	MORGAN_		95.24	452,386.79	2,491.28	(1,307.72)	2.17	5.29
FHMS K061 A2 DTD 01/30/2017 3.347% 11/01/2026	3137BTUM1	346,757.63	CITIGRP		95.54	331,280.90	(4,803.09)	(7,715.63)	2.27	5.25
FHMS K063 A2 DTD 03/01/2017 3.430% 01/01/2027	3137BVZ82	505,000.00	CANT_FI		95.50	482,272.57	(8,129.77)	(11,936.89)	2.42	5.24
FHMS K064 A2 DTD 05/15/2017 3.224% 03/01/2027	3137BXQY1	495,000.00	MORGAN_		94.80	469,259.04	2,334.82	(3,254.24)	2.55	5.20
FHLMC MULTIFAMILY STRUCTURED P DTD 07/01/2017 3.243% 04/01/2027	3137F1G44	500,000.00	CITIGRP		94.64	473,211.08	(5,910.01)	(10,768.72)	2.69	5.23
FHMS KJ48 A1 DTD 12/01/2023 4.858% 05/01/2028	3137HBC69	377,956.92	JPM_CHA		98.47	372,164.98	(5,788.91)	(5,789.15)	3.24	5.28
FHMS KJ46 A1 DTD 07/01/2023 4.777% 06/01/2028	3137HAD45	378,103.73	JPM_CHA		98.50	372,441.04	(5,653.22)	(5,654.71)	2.82	5.18
FHMS K505 A2 DTD 07/01/2023 4.819% 06/01/2028	3137HACX2	465,000.00	JPM_CHA		98.34	457,279.58	(12,364.84)	(11,617.76)	3.58	5.27
FNA 2023-M6 A2 DTD 07/01/2023 4.190% 07/01/2028	3136BQDE6	470,000.00	JPM_CHA		96.24	452,339.01	(9,693.02)	(10,912.38)	3.74	5.19
FHMS K508 A2 DTD 10/01/2023 4.740% 08/01/2028	3137HAQ74	455,000.00	BMO		98.10	446,371.81	1,352.69	357.19	3.74	5.24
FHMS K506 A2 DTD 09/01/2023 4.650% 08/01/2028	3137HAMH6	470,000.00	WELLS_F		97.81	459,685.58	(3,361.71)	(4,167.80)	3.72	5.23
FHMS K509 A2 DTD 10/01/2023 4.850% 09/01/2028	3137HAST4	340,000.00	MORGAN_		98.49	334,872.02	5,712.24	4,717.00	3.81	5.24
FHMS K507 A2 DTD 09/01/2023 4.800% 09/01/2028	3137HAMS2	455,000.00	MERRILL		98.31	447,309.98	(2,251.41)	(2,835.39)	3.77	5.24
FHMS K510 A2 DTD 11/01/2023 5.069% 10/01/2028	3137HB3D4	175,000.00	JPM_CHA		99.29	173,763.23	(730.85)	(772.05)	3.83	5.25
FHMS K511 A2 DTD 12/01/2023 4.860% 10/01/2028	3137HB3G7	265,000.00	MERRILL		98.51	261,043.56	(3,195.10)	(3,251.76)	3.87	5.24
Security Type Sub-Total		6,937,818.28				6,711,581.98	(57,073.29)	(92,978.50)	3.04	5.25
Federal Agency Bond / Note										

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Federal Agency Bond / Note										
FEDERAL HOME LOAN BANK NOTES DTD 04/16/2020 0.500% 04/14/2025	3130AJHU6	385,000.00	CITIGRP		95.59	368,024.97	(15,065.43)	(16,610.70)	0.95	5.29
FANNIE MAE NOTES DTD 04/24/2020 0.625% 04/22/2025	3135G03U5	965,000.00	CITIGRP		95.61	922,617.20	(40,394.90)	(41,994.81)	0.98	5.29
FANNIE MAE NOTES DTD 06/19/2020 0.500% 06/17/2025	3135G04Z3	1,000,000.00	NOMURA		94.81	948,148.00	(49,782.00)	(51,384.43)	1.13	5.28
FREDDIE MAC NOTES DTD 09/25/2020 0.375% 09/23/2025	3137EAEX3	495,000.00	CITIGRP		93.52	462,914.10	(30,595.95)	(31,669.30)	1.39	5.25
FEDERAL HOME LOAN BANK NOTES (CALLABLE) DTD 02/10/2021 0.830% 02/10/2027	3130AKYH3	390,000.00	TD	05/10/24	89.18	347,786.01	(1,501.89)	(16,955.57)	0.08	5.06
Security Type Sub-Total		3,235,000.00				3,049,490.28	(137,340.17)	(158,614.81)	0.98	5.25
Corporate Note										
CITIGROUP INC CORPORATE NOTES (CALLED,OM DTD 05/04/2021 0.981% 05/01/2024	172967MX6	60,000.00	CITIGRP	05/01/24	99.99	59,991.42	(8.58)	(8.58)	0.00	6.09
CITIGROUP INC CORPORATE NOTES (CALLED,OM DTD 05/04/2021 0.981% 05/01/2024	172967MX6	60,000.00	CSFB	05/01/24	99.99	59,991.42	(126.78)	(8.58)	0.00	6.09
US BANCORP NOTES (CALLABLE) DTD 07/29/2019 2.400% 07/30/2024	91159HHX1	350,000.00	US_BANCO	06/28/24	99.12	346,935.05	(7,488.95)	(3,208.94)	0.17	5.92
BANK OF NY MELLON CORP DTD 10/24/2019 2.100% 10/24/2024	06406RAL1	135,000.00	MORGAN_S		98.26	132,644.93	(2,949.07)	(2,415.47)	0.48	5.81
AMERICAN EXPRESS CORP NOTES (CALLABLE) DTD 08/03/2022 3.950% 08/01/2025	025816CY3	125,000.00	CSFB	07/01/25	97.91	122,382.25	(2,492.75)	(2,565.53)	1.14	5.70
BURLINGTN NORTH SANTA FE CORP NOTES (CAL DTD 08/20/2015 3.650% 09/01/2025	12189LAY7	205,000.00	WELLS_F	06/01/25	97.62	200,115.06	(27,219.69)	(10,905.74)	1.07	5.52
MORGAN STANLEY CORP NOTES (CALLABLE) DTD 10/19/2021 1.164% 10/21/2025	61747YEG6	120,000.00	MORGAN_	10/21/24	97.76	117,315.24	(2,684.76)	(2,684.76)	0.48	2.72

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Corporate Note										
WELLS FARGO BANK NA CORPORATE NOTES (CAL DTD 01/23/2024 4.811% 01/15/2026	94988J6H5	250,000.00	WELLS_F	12/14/25	98.75	246,886.25	(3,113.75)	(3,113.75)	1.56	5.59
GOLDMAN SACHS GROUP INC CORP NOTES (CALL DTD 02/12/2021 0.855% 02/12/2026	38141GXS8	150,000.00	MERRILL	02/12/25	96.09	144,135.90	(6,216.60)	(5,933.58)	0.78	3.13
STATE STREET CORP NOTES (CALLABLE) DTD 10/29/2020 2.901% 03/30/2026	857477BM4	230,000.00	JSEB	03/30/25	97.13	223,405.44	(7,981.46)	(7,009.88)	0.91	4.48
BANK OF AMERICA CORP NOTES (CALLABLE) DTD 03/22/2022 3.384% 04/02/2026	06051GKM0	250,000.00	MERRILL	04/02/25	97.77	244,415.00	(5,585.00)	(5,585.00)	0.91	4.61
ASTRAZENECA FINANCE LLC (CALLABLE) CORP DTD 05/28/2021 1.200% 05/28/2026	04636NAA1	145,000.00	JSEB	04/28/26	91.98	133,368.83	(11,832.72)	(11,715.19)	1.96	5.33
NATIONAL RURAL UTIL COOP CORP NOTES (CAL DTD 02/24/2021 1.000% 06/15/2026	63743HEW8	210,000.00	BARCLAY	05/15/26	91.22	191,552.97	(1,224.93)	(1,866.75)	2.02	5.43
BANK OF NEW YORK MELLON CORP NOTES (CALL DTD 07/26/2022 4.414% 07/24/2026	06406RBJ5	75,000.00	MORGAN_	07/24/25	98.51	73,878.98	(1,121.02)	(1,121.02)	1.20	5.13
TRUIST FIN CORP NOTES (CALLABLE) DTD 07/28/2022 4.260% 07/28/2026	89788MAH5	150,000.00	TFC	07/28/25	98.02	147,026.55	(2,973.45)	(2,973.45)	1.21	5.20
STATE STREET CORP NOTES (CALLABLE) DTD 08/03/2023 5.272% 08/03/2026	857477CD3	270,000.00	MORGAN_		99.52	268,695.63	(1,304.37)	(1,304.37)	2.13	5.50
CATERPILLAR FINL SERVICE CORPORATE NOTES DTD 09/14/2021 1.150% 09/14/2026	14913R2Q9	120,000.00	CABRERA		90.82	108,985.20	(9,255.60)	(10,143.75)	2.34	5.32
JPMORGAN CHASE & CO CORP NOTES DTD 07/21/2016 2.950% 10/01/2026	46625HRV4	230,000.00	JPM_CHA	07/01/26	94.39	217,097.92	(26,005.18)	(19,067.79)	2.11	5.46
BANK OF NY MELLON CORP CORP NOTES (CALLA DTD 07/27/2021 1.050% 10/15/2026	06406RAV9	240,000.00	CITIGRP	09/15/26	90.02	216,037.44	(320.16)	(3,392.98)	2.35	5.44

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Corporate Note										
AMERICAN EXPRESS CO (CALLABLE) CORPORATE DTD 11/04/2021 1.650% 11/04/2026	025816CM9	245,000.00	MITSU	10/04/26	91.07	223,110.97	(21,482.33)	(21,682.64)	2.37	5.51
TOYOTA MOTOR CREDIT CORP CORPORATE NOTES DTD 11/20/2023 5.400% 11/20/2026	89236TLD5	270,000.00	BNP_PAR		100.09	270,232.74	475.74	441.90	2.36	5.36
JOHN DEERE CAPITAL CORP CORPORATE NOTES DTD 01/10/2022 1.700% 01/11/2027	24422EWA3	120,000.00	BMO		91.16	109,397.28	(7,253.52)	(8,747.29)	2.63	5.26
AUST & NZ BANKING GRP NY BONDS DTD 01/18/2024 4.750% 01/18/2027	05253JAZ4	360,000.00	MERRILL		98.72	355,393.44	(4,606.56)	(4,606.56)	2.55	5.26
ADOBE INC (CALLABLE) CORP NOTE DTD 02/03/2020 2.150% 02/01/2027	00724PAC3	120,000.00	GOLDMAN	12/01/26	92.49	110,984.52	(2,378.28)	(5,019.66)	2.51	5.11
CISCO SYSTEMS INC CORPORATE NOTES (CALLA DTD 02/26/2024 4.800% 02/26/2027	17275RBQ4	145,000.00	DEUTSCH	01/26/27	99.10	143,690.80	(1,120.70)	(1,131.18)	2.58	5.15
CHARLES SCHWAB CORP NOTES (CALLABLE) DTD 03/03/2022 2.450% 03/03/2027	808513BY0	250,000.00	CITIGRP	02/03/27	92.12	230,296.00	6,701.00	(2,401.29)	2.67	5.48
DEERE & COMPANY CAPITAL CORP NOTE DTD 03/07/2024 4.850% 03/05/2027	24422EXM6	120,000.00	SOCGEN		99.14	118,969.80	(1,063.80)	(1,062.23)	2.67	5.18
DEERE & COMPANY CAPITAL CORP NOTE DTD 03/07/2024 4.850% 03/05/2027	24422EXM6	125,000.00	WELLS_F		99.14	123,926.88	(1,218.12)	(1,211.48)	2.67	5.18
AMERICAN HONDA FINANCE CORPORATE NOTES DTD 03/13/2024 4.900% 03/12/2027	02665WFD8	100,000.00	TD		98.90	98,900.40	(1,044.60)	(1,046.88)	2.69	5.32
STATE STREET CORP NOTE (CALLABLE) DTD 03/18/2024 4.993% 03/18/2027	857477CL5	80,000.00	MORGAN_	02/18/27	99.16	79,326.32	(517.68)	(523.33)	2.64	5.31
STATE STREET CORP NOTE (CALLABLE) DTD 03/18/2024 4.993% 03/18/2027	857477CL5	145,000.00	MORGAN_	02/18/27	99.16	143,778.96	(1,221.04)	(1,221.04)	2.64	5.31
NIKE INC CORPORATE NOTES (CALLABLE) DTD 03/27/2020 2.750% 03/27/2027	654106AJ2	120,000.00	DAIWA	01/27/27	93.69	112,431.00	(2,841.00)	(4,677.09)	2.65	5.11

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Corporate Note										
HOME DEPOT INC CORP NOTES (CALLABLE) DTD 03/30/2020 2.500% 04/15/2027	437076CA8	120,000.00	GOLDMAN	02/15/27	92.72	111,259.20	(4,020.00)	(5,820.08)	2.71	5.19
HOME DEPOT INC (CALLABLE) CORPORATE NOTE DTD 03/28/2022 2.875% 04/15/2027	437076CN0	120,000.00	RBC	03/15/27	93.80	112,554.36	2,243.16	(1,032.01)	2.77	5.16
NORTHERN TRUST CORP NOTE (CALLABLE) DTD 05/10/2022 4.000% 05/10/2027	665859AW4	140,000.00	MITSU	04/10/27	96.09	134,519.14	(6,421.66)	(6,044.08)	2.75	5.42
UNITEDHEALTH GROUP INC CORP NOTES (CALLA DTD 05/20/2022 3.700% 05/15/2027	91324PEG3	50,000.00	MERRILL	04/15/27	95.73	47,863.50	(2,109.50)	(2,120.06)	2.78	5.24
IBM CORP CORP NOTES (CALLABLE) DTD 05/07/2020 1.700% 05/15/2027	459200KH3	125,000.00	CITIGRP	03/15/27	89.92	112,400.88	(1,927.87)	(6,049.91)	2.79	5.33
PNC FINANCIAL SERVICES CORP NOTES (CALLA DTD 05/19/2017 3.150% 05/19/2027	693475AT2	120,000.00	GOLDMAN	04/19/27	93.71	112,457.76	(4,597.44)	(5,668.28)	2.81	5.41
TRUIST FINANCIAL CORP NOTES (CALLABLE) DTD 08/03/2020 1.125% 08/03/2027	89788MAC6	130,000.00	MORGAN_	06/03/27	87.09	113,221.94	(565.76)	(6,209.84)	3.03	5.51
TEXAS INSTRUMENTS INC CORP NOTES (CALLAB DTD 11/03/2017 2.900% 11/03/2027	882508BC7	255,000.00	GOLDMAN	08/03/27	92.96	237,035.76	(4,451.79)	(5,412.07)	3.08	5.12
JPMORGAN CHASE & CO CORPORATE NOTES (CAL DTD 01/23/2024 5.040% 01/23/2028	46647PEA0	200,000.00	JPM_CHA	12/23/27	98.66	197,328.00	(2,672.00)	(2,672.00)	3.33	5.44
JPMORGAN CHASE & CO CORPORATE NOTES (CAL DTD 04/22/2024 5.571% 04/22/2028	46647PEE2	215,000.00	JPM_CHA	04/22/27	99.93	214,844.13	(155.87)	(155.87)	2.78	5.59
NATIONAL AUSTRALIA BK/NY CORPORATE NOTES DTD 06/13/2023 4.900% 06/13/2028	63253QAE4	350,000.00	GOLDMAN		98.56	344,957.55	2,657.55	1,904.64	3.71	5.29
CITIBANK NA CORP NOTES (CALLABLE) DTD 09/29/2023 5.803% 09/29/2028	17325FBB3	445,000.00	CITIGRP	08/29/28	101.93	453,581.38	8,581.38	8,581.38	3.88	5.31

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Corporate Note										
TOYOTA MOTOR CREDIT CORP CORPORATE NOTES DTD 01/05/2024 4.650% 01/05/2029	89236TLL7	80,000.00	CITIGRP		97.62	78,092.80	(1,797.60)	(1,803.91)	4.19	5.23
COOPERAT RABOBANK UA/NY DTD 01/09/2024 4.800% 01/09/2029	21688ABC5	475,000.00	MORGAN_		97.42	462,749.28	(11,894.47)	(11,914.21)	4.19	5.43
NATIONAL AUSTRALIA BK/NY CORPORATE NOTES DTD 01/10/2024 4.787% 01/10/2029	63253QAG9	350,000.00	CITIGRP		97.87	342,539.05	(7,460.95)	(7,460.95)	4.19	5.31
PACCAR FINANCIAL CORP CORPORATE NOTES DTD 01/31/2024 4.600% 01/31/2029	69371RS80	210,000.00	TD		97.57	204,895.95	(4,761.75)	(4,777.07)	4.27	5.18
NATIONAL RURAL UTIL COOP CORP NOTES (CAL DTD 02/05/2024 4.850% 02/07/2029	63743HFN7	170,000.00	JPM_CHA	01/07/29	97.59	165,909.46	(3,663.84)	(3,681.14)	4.19	5.43
TEXAS INSTRUMENTS CORP NOTES (CALLABLE) DTD 02/08/2024 4.600% 02/08/2029	882508CG7	95,000.00	MERRILL	01/08/29	97.95	93,049.75	(1,849.55)	(1,853.66)	4.22	5.09
AIR PRODUCTS & CHEMICALS CORP NOTES (CAL DTD 02/08/2024 4.600% 02/08/2029	009158BH8	325,000.00	BARCLAY	01/08/29	97.53	316,973.80	(7,593.95)	(7,611.58)	4.22	5.19
LOCKHEED MARTIN CORP NOTES (CALLABLE) DTD 01/29/2024 4.500% 02/15/2029	539830CC1	250,000.00	JPM_CHA	01/15/29	97.19	242,971.00	(3,919.00)	(4,003.70)	4.24	5.17
CUMMINS INC CORP NOTE (CALLABLE) DTD 02/20/2024 4.900% 02/20/2029	231021AV8	240,000.00	BNP_PAR	01/20/29	98.72	236,936.16	(2,099.18)	(2,128.90)	4.23	5.20
BRISTOL-MYERS SQUIBB CORP NOTES (CALLABL DTD 02/22/2024 4.900% 02/22/2029	110122EF1	105,000.00	CITIGRP	01/22/29	98.21	103,122.71	(1,656.79)	(1,664.20)	4.23	5.33
BRISTOL-MYERS SQUIBB CORP NOTES (CALLABL DTD 02/22/2024 4.900% 02/22/2029	110122EF1	120,000.00	JPM_CHA	01/22/29	98.21	117,854.52	(2,434.68)	(2,424.74)	4.23	5.33
ASTRAZENECA FINANCE LLC CORP NOTES (CALL DTD 02/26/2024 4.850% 02/26/2029	04636NAL7	145,000.00	CITIGRP	01/26/29	98.06	142,186.71	(2,661.04)	(2,665.87)	4.25	5.31

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Corporate Note										
CISCO SYSTEMS INC CORPORATE NOTES (CALLA DTD 02/26/2024 4.850% 02/26/2029	17275RBR2	255,000.00	CITIGRP	01/26/29	98.64	251,531.75	(3,379.00)	(3,381.83)	4.25	5.17
AMERICAN HONDA FINANCE CORPORATE NOTES DTD 03/13/2024 4.900% 03/13/2029	02665WFE6	240,000.00	MITSU		98.05	235,309.44	(4,584.96)	(4,587.45)	4.36	5.36
BLACKROCK FUNDING INC CORPORATE NOTES (C DTD 03/14/2024 4.700% 03/14/2029	09290DAA9	45,000.00	CITIGRP	02/14/29	98.04	44,116.34	(802.21)	(804.10)	4.32	5.16
ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	165,000.00	BNP_PAR	03/04/29	98.93	163,237.96	(1,273.71)	(1,280.09)	4.36	5.05
ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	195,000.00	MERRILL	03/04/29	98.93	192,917.60	(1,791.85)	(1,795.65)	4.36	5.05
Security Type Sub-Total		11,310,000.00				10,961,718.47	(234,540.04)	(242,451.11)	2.84	5.26
Certificate of Deposit										
TORONTO DOMINION BANK NY CERT DEPOS DTD 10/31/2022 5.600% 10/27/2025	89115B6K1	450,000.00	TD		100.12	450,520.98	520.98	520.98	1.45	5.43
COOPERAT RABOBANK UA/NY CERT DEPOS DTD 07/20/2023 5.080% 07/17/2026	21684LGS5	705,000.00	RABOBAN		100.00	704,994.36	(5.64)	(5.64)	2.09	5.08
NATIXIS NY BRANCH CERT DEPOS DTD 09/20/2023 5.610% 09/18/2026	63873QP65	340,000.00	WELLS_F		100.47	341,594.60	1,594.60	1,594.60	2.22	5.40
CREDIT AGRICOLE CIB NY CERT DEPOS DTD 02/05/2024 4.760% 02/01/2027	22536DWD6	365,000.00	CREDAG		99.96	364,851.81	(148.19)	(148.19)	2.62	4.78
Security Type Sub-Total		1,860,000.00				1,861,961.75	1,961.75	1,961.75	2.06	5.16
Bank Note										
WELLS FARGO BANK NA BANK NOTES (CALLABLE DTD 08/09/2023 5.450% 08/07/2026	94988J6D4	470,000.00	WELLS_F	07/07/26	99.89	469,475.48	(486.92)	(496.06)	2.07	5.50

Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
Bank Note										
CITIBANK NA CORP NOTES (CALLABLE) DTD 12/04/2023 5.488% 12/04/2026	17325FBC1	250,000.00	CITIGRP	11/04/26	100.06	250,139.75	139.75	139.75	2.33	5.46
MORGAN STANLEY BANK NA BANK NOTES (CALLA DTD 01/18/2024 4.952% 01/14/2028	61690U8A1	500,000.00	JSEB	12/14/27	98.04	490,208.00	(2,692.00)	(2,692.00)	3.43	5.54
Security Type Sub-Total		1,220,000.00				1,209,823.23	(3,039.17)	(3,048.31)	2.67	5.51
Asset-Backed Security										
CARMX 2020-4 A3 DTD 10/21/2020 0.500% 08/15/2025	14316HAC6	5,489.76	RBC		99.81	5,479.12	(9.43)	(10.32)	0.04	0.65
KCOT 2021-1A A3 DTD 04/14/2021 0.620% 08/15/2025	50117TAC5	29,340.65	JPM_CHA		98.89	29,014.08	(320.56)	(324.78)	0.21	1.49
HART 2021-A A3 DTD 04/28/2021 0.380% 09/15/2025	44933LAC7	11,989.87	BARCLAY		99.36	11,913.42	(75.18)	(76.05)	0.11	0.85
KCOT 2021-2A A3 DTD 07/28/2021 0.560% 11/17/2025	50117XAE2	43,519.54	MITSU		98.03	42,663.73	(854.16)	(855.22)	0.36	1.85
CARMX 2021-1 A3 DTD 01/27/2021 0.340% 12/15/2025	14316NAC3	10,463.73	MITSU		98.92	10,351.05	(110.61)	(111.99)	0.16	1.01
CARMX 2021-2 A3 DTD 04/21/2021 0.520% 02/17/2026	14314OAC8	38,827.74	MERRILL		98.57	38,273.43	(545.94)	(551.19)	0.24	1.32
CARMX 2021-3 A3 DTD 07/28/2021 0.550% 06/15/2026	14317DAC4	129,294.22	RBC		97.51	126,076.62	(3,196.34)	(3,208.36)	0.42	1.74
HAROT 2022-2 A3 DTD 08/24/2022 3.730% 07/20/2026	43815PAC3	75,000.00	MITSU		98.67	73,999.69	(995.84)	(997.77)	0.69	4.36
CARMX 2022-3 A3 DTD 07/20/2022 3.970% 04/15/2027	14318MAD1	330,000.00	RBC		98.93	326,458.14	(3,534.07)	(3,537.00)	0.75	4.36
COPAR 2022-2 A3 DTD 08/10/2022 3.660% 05/17/2027	14043GAD6	150,000.00	JPM_CHA		98.06	147,094.64	(2,894.62)	(2,898.51)	0.87	4.34
DCENT 2022-A2 A DTD 05/26/2022 3.320% 05/17/2027	254683CS2	170,000.00	RBC		97.72	166,123.20	(3,862.98)	(3,868.35)	0.99	4.12
AMXCA 2022-2 A DTD 05/24/2022 3.390% 05/17/2027	02582JJT8	365,000.00	BARCLAY		97.83	357,074.46	(7,844.80)	(7,876.23)	0.99	4.15



Managed Account Fair Market Value & Analytics

For the Month Ending April 30, 2024

CITY OF YORBA LINDA - 97480000										
Security Type/Description				Next Call	Market	Market	Unreal G/L	Unreal G/L	Effective	YTM
Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Date	Price	Value	On Cost	Amort Cost	Duration	at Mkt
Security Type Sub-Total		1,358,925.51				1,334,521.58	(24,244.53)	(24,315.77)	0.77	3.72
Managed Account Sub-Total		50,616,743.79				48,162,471.94	(1,446,246.60)	(1,582,895.94)	2.56	5.05
Securities Sub-Total		\$50,616,743.79				\$48,162,471.94	(\$1,446,246.60)	(\$1,582,895.94)	2.56	5.05%
Accrued Interest						\$298,067.06				
Total Investments						\$48,460,539.00				

Bolded items are forward settling trades.

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type					Principal	Accrued		Realized G/L	Realized G/L	Sale
Trade	Settle	Security Description	CUSIP	Par	Proceeds	Interest	Total	Cost	Amort Cost	Method
BUY										
03/27/24	04/01/24	NATIONAL RURAL UTIL COOP CORP NOTES (CAL DTD 02/24/2021 1.000% 06/15/2026	63743HEW8	210,000.00	(192,777.90)	(618.33)	(193,396.23)			
04/01/24	04/04/24	ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	195,000.00	(194,709.45)	0.00	(194,709.45)			
04/01/24	04/04/24	US TREASURY NOTES DTD 05/31/2020 0.500% 05/31/2027	91282ZS2	1,200,000.00	(1,060,218.75)	(2,065.57)	(1,062,284.32)			
04/02/24	04/04/24	ADOBE INC CORP NOTES (CALLABLE) DTD 04/04/2024 4.800% 04/04/2029	00724PAF6	165,000.00	(164,511.67)	0.00	(164,511.67)			
04/15/24	04/22/24	JPMORGAN CHASE & CO CORPORATE NOTES (CAL DTD 04/22/2024 5.571% 04/22/2028	46647PEE2	215,000.00	(215,000.00)	0.00	(215,000.00)			
04/30/24	05/02/24	US TREASURY NOTES DTD 04/30/2021 1.250% 04/30/2028	91282CBZ3	750,000.00	(654,287.11)	(50.95)	(654,338.06)			
04/30/24	05/03/24	MORGAN STANLEY BANK NA BANK NOTES (CALLA DTD 01/18/2024 4.952% 01/14/2028	61690U8A1	500,000.00	(492,900.00)	(7,221.67)	(500,121.67)			

Transaction Type Sub-Total			3,235,000.00	(2,974,404.88)	(9,956.52)	(2,984,361.40)
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INTEREST										
04/01/24	04/01/24	JPMORGAN CHASE & CO CORP NOTES DTD 07/21/2016 2.950% 10/01/2026	46625HRV4	230,000.00	0.00	3,392.50	3,392.50			
04/01/24	04/01/24	MONEY MARKET FUND	MONEY0002	0.00	0.00	388.89	388.89			
04/01/24	04/25/24	FHMS K509 A2 DTD 10/01/2023 4.850% 09/01/2028	3137HAST4	340,000.00	0.00	1,374.17	1,374.17			
04/01/24	04/25/24	FHMS KJ46 A1 DTD 07/01/2023 4.777% 06/01/2028	3137HAD45	378,302.47	0.00	1,505.96	1,505.96			
04/01/24	04/25/24	FHMS KJ48 A1 DTD 12/01/2023 4.858% 05/01/2028	3137HBC69	378,402.73	0.00	1,531.90	1,531.90			
04/01/24	04/25/24	FHMS K733 A2 DTD 11/09/2018 3.750% 08/01/2025	3137FJXQ7	229,684.66	0.00	717.76	717.76			

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
Trade	Settle									
INTEREST										
04/01/24	04/25/24	FHMS K506 A2 DTD 09/01/2023 4.650% 08/01/2028	3137HAMH6	470,000.00	0.00	1,821.25	1,821.25			
04/01/24	04/25/24	FHMS K508 A2 DTD 10/01/2023 4.740% 08/01/2028	3137HAQ74	455,000.00	0.00	1,797.25	1,797.25			
04/01/24	04/25/24	FHMS K059 A2 DTD 11/29/2016 3.120% 09/01/2026	3137BSRE5	475,000.00	0.00	1,235.00	1,235.00			
04/01/24	04/25/24	FNA 2023-M6 A2 DTD 07/01/2023 4.190% 07/01/2028	3136BQDE6	470,000.00	0.00	1,641.08	1,641.08			
04/01/24	04/25/24	FHMS K507 A2 DTD 09/01/2023 4.800% 09/01/2028	3137HAMS2	455,000.00	0.00	1,820.00	1,820.00			
04/01/24	04/25/24	FHLMC MULTIFAMILY STRUCTURED P DTD 07/01/2017 3.243% 04/01/2027	3137F1G44	500,000.00	0.00	1,351.25	1,351.25			
04/01/24	04/25/24	FHMS K505 A2 DTD 07/01/2023 4.819% 06/01/2028	3137HACX2	465,000.00	0.00	1,867.36	1,867.36			
04/01/24	04/25/24	FHMS K061 A2 DTD 01/30/2017 3.347% 11/01/2026	3137BTUM1	347,419.90	0.00	969.01	969.01			
04/01/24	04/25/24	FHMS K063 A2 DTD 03/01/2017 3.430% 01/01/2027	3137BVZ82	505,000.00	0.00	1,443.46	1,443.46			
04/01/24	04/25/24	FHMS K054 A2 DTD 04/20/2016 2.745% 01/01/2026	3137BNGT5	280,000.00	0.00	640.50	640.50			
04/01/24	04/25/24	FHMS K058 A2 DTD 11/09/2016 2.653% 08/01/2026	3137BSP72	485,000.00	0.00	1,072.25	1,072.25			
04/01/24	04/25/24	FHMS K510 A2 DTD 11/01/2023 5.069% 10/01/2028	3137HB3D4	175,000.00	0.00	739.23	739.23			
04/01/24	04/25/24	FHMS K064 A2 DTD 05/15/2017 3.224% 03/01/2027	3137BXQY1	495,000.00	0.00	1,329.90	1,329.90			
04/01/24	04/25/24	FHMS K511 A2 DTD 12/01/2023 4.860% 10/01/2028	3137HB3G7	265,000.00	0.00	1,073.25	1,073.25			
04/02/24	04/02/24	BANK OF AMERICA CORP NOTES (CALLABLE) DTD 03/22/2022 3.384% 04/02/2026	06051GKM0	250,000.00	0.00	4,230.00	4,230.00			
04/14/24	04/14/24	FEDERAL HOME LOAN BANK NOTES DTD 04/16/2020 0.500% 04/14/2025	3130AJHU6	385,000.00	0.00	962.50	962.50			

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type		Security Description	CUSIP	Par	Principal	Accrued	Total	Realized G/L	Realized G/L	Sale
Trade	Settle				Proceeds	Interest		Cost	Amort Cost	
INTEREST										
04/15/24	04/15/24	HOME DEPOT INC (CALLABLE) CORPORATE NOTE DTD 03/28/2022 2.875% 04/15/2027	437076CN0	120,000.00	0.00	1,725.00		1,725.00		
04/15/24	04/15/24	KCOT 2021-1A A3 DTD 04/14/2021 0.620% 08/15/2025	50117TAC5	35,437.40	0.00	18.31		18.31		
04/15/24	04/15/24	CARMX 2021-2 A3 DTD 04/21/2021 0.520% 02/17/2026	14314QAC8	45,149.70	0.00	19.56		19.56		
04/15/24	04/15/24	CARMX 2021-3 A3 DTD 07/28/2021 0.550% 06/15/2026	14317DAC4	141,391.77	0.00	64.80		64.80		
04/15/24	04/15/24	COPAR 2022-2 A3 DTD 08/10/2022 3.660% 05/17/2027	14043GAD6	150,000.00	0.00	457.50		457.50		
04/15/24	04/15/24	CARMX 2022-3 A3 DTD 07/20/2022 3.970% 04/15/2027	14318MAD1	330,000.00	0.00	1,091.75		1,091.75		
04/15/24	04/15/24	HART 2021-A A3 DTD 04/28/2021 0.380% 09/15/2025	44933LAC7	16,556.99	0.00	5.24		5.24		
04/15/24	04/15/24	AMXCA 2022-2 A DTD 05/24/2022 3.390% 05/17/2027	02582JJT8	365,000.00	0.00	1,031.13		1,031.13		
04/15/24	04/15/24	HOME DEPOT INC CORP NOTES (CALLABLE) DTD 03/30/2020 2.500% 04/15/2027	437076CA8	120,000.00	0.00	1,500.00		1,500.00		
04/15/24	04/15/24	DCENT 2022-A2 A DTD 05/26/2022 3.320% 05/17/2027	254683CS2	170,000.00	0.00	470.33		470.33		
04/15/24	04/15/24	BANK OF NY MELLON CORP CORP NOTES (CALLA DTD 07/27/2021 1.050% 10/15/2026	06406RAV9	240,000.00	0.00	1,260.00		1,260.00		
04/15/24	04/15/24	CARMX 2020-4 A3 DTD 10/21/2020 0.500% 08/15/2025	14316HAC6	11,790.11	0.00	4.91		4.91		
04/15/24	04/15/24	CARMX 2021-1 A3 DTD 01/27/2021 0.340% 12/15/2025	14316NAC3	12,909.29	0.00	3.66		3.66		
04/15/24	04/15/24	KCOT 2021-2A A3 DTD 07/28/2021 0.560% 11/17/2025	50117XAE2	48,848.92	0.00	22.80		22.80		
04/18/24	04/18/24	HAROT 2022-2 A3 DTD 08/24/2022 3.730% 07/20/2026	43815PAC3	75,000.00	0.00	233.13		233.13		

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L	Realized G/L	Sale Method
Trade	Settle							Cost	Amort Cost	
INTEREST										
04/21/24	04/21/24	MORGAN STANLEY CORP NOTES (CALLABLE) DTD 10/19/2021 1.164% 10/21/2025	61747YEG6	120,000.00	0.00	698.40	698.40			
04/22/24	04/22/24	FANNIE MAE NOTES DTD 04/24/2020 0.625% 04/22/2025	3135G03U5	965,000.00	0.00	3,015.63	3,015.63			
04/24/24	04/24/24	BANK OF NY MELLON CORP DTD 10/24/2019 2.100% 10/24/2024	06406RAL1	135,000.00	0.00	1,417.50	1,417.50			
04/30/24	04/30/24	US TREASURY NOTES DTD 10/31/2023 5.000% 10/31/2025	91282CJE2	1,000,000.00	0.00	25,000.00	25,000.00			
04/30/24	04/30/24	US TREASURY NOTES DTD 04/30/2021 0.750% 04/30/2026	91282CBW0	370,000.00	0.00	1,387.50	1,387.50			
04/30/24	04/30/24	US TREASURY NOTES DTD 04/30/2020 0.500% 04/30/2027	912828ZN3	125,000.00	0.00	312.50	312.50			
04/30/24	04/30/24	US TREASURY NOTES DTD 10/31/2022 4.125% 10/31/2027	91282CFU0	1,000,000.00	0.00	20,625.00	20,625.00			
04/30/24	04/30/24	US TREASURY NOTES DTD 04/30/2022 2.750% 04/30/2027	91282CEN7	375,000.00	0.00	5,156.25	5,156.25			
04/30/24	04/30/24	US TREASURY NOTES DTD 04/30/2023 3.500% 04/30/2028	91282CHA2	670,000.00	0.00	11,725.00	11,725.00			
Transaction Type Sub-Total				14,675,893.94	0.00	110,150.37	110,150.37			
MATURITY										
04/26/24	04/26/24	BANK OF NY MELLON CORP NOTES (CALLABLE) DTD 04/26/2021 0.500% 04/26/2024	06406RAS6	95,000.00	95,000.00	237.50	95,237.50	101.65	0.00	
Transaction Type Sub-Total				95,000.00	95,000.00	237.50	95,237.50	101.65	0.00	
PAYDOWNS										
04/01/24	04/25/24	FHMS K061 A2 DTD 01/30/2017 3.347% 11/01/2026	3137BTUM1	662.27	662.27	0.00	662.27	20.39	0.00	
04/01/24	04/25/24	FHMS KJ46 A1 DTD 07/01/2023 4.777% 06/01/2028	3137HAD45	198.74	198.74	0.00	198.74	0.00	0.00	

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type		Security Description	CUSIP	Par	Principal	Accrued	Total	Realized G/L	Realized G/L	Sale
Trade	Settle				Proceeds	Interest		Cost	Amort Cost	
PAYDOWNS										
04/01/24	04/25/24	FHMS K733 A2 DTD 11/09/2018 3.750% 08/01/2025	3137FJX07	104.91	104.91	0.00	104.91	2.91	0.00	
04/01/24	04/25/24	FHMS KJ48 A1 DTD 12/01/2023 4.858% 05/01/2028	3137HBC69	445.81	445.81	0.00	445.81	0.00	0.00	
04/15/24	04/15/24	CARMX 2021-3 A3 DTD 07/28/2021 0.550% 06/15/2026	14317DAC4	12,097.55	12,097.55	0.00	12,097.55	1.99	0.00	
04/15/24	04/15/24	CARMX 2021-2 A3 DTD 04/21/2021 0.520% 02/17/2026	14314QAC8	6,321.96	6,321.96	0.00	6,321.96	1.36	0.00	
04/15/24	04/15/24	KCOT 2021-1A A3 DTD 04/14/2021 0.620% 08/15/2025	50117TAC5	6,096.75	6,096.75	0.00	6,096.75	1.25	0.00	
04/15/24	04/15/24	HART 2021-A A3 DTD 04/28/2021 0.380% 09/15/2025	44933LAC7	4,567.12	4,567.12	0.00	4,567.12	0.48	0.00	
04/15/24	04/15/24	CARMX 2021-1 A3 DTD 01/27/2021 0.340% 12/15/2025	14316NAC3	2,445.56	2,445.56	0.00	2,445.56	0.48	0.00	
04/15/24	04/15/24	CARMX 2020-4 A3 DTD 10/21/2020 0.500% 08/15/2025	14316HAC6	6,300.35	6,300.35	0.00	6,300.35	1.38	0.00	
04/15/24	04/15/24	KCOT 2021-2A A3 DTD 07/28/2021 0.560% 11/17/2025	50117XAE2	5,329.38	5,329.38	0.00	5,329.38	0.20	0.00	
Transaction Type Sub-Total				44,570.40	44,570.40	0.00	44,570.40	30.44	0.00	
SELL										
03/27/24	04/01/24	NATIONAL RURAL UTIL COOP CORP NOTES (CAL DTD 02/05/2024 4.800% 02/05/2027	63743HFM9	190,000.00	190,224.20	1,418.67	191,642.87	281.20	278.47	FIFO
04/01/24	04/04/24	US TREASURY NOTES DTD 02/29/2020 1.125% 02/28/2025	912828ZC7	1,000,000.00	965,429.69	1,069.97	966,499.66	(48,906.25)	(37,166.83)	FIFO
04/01/24	04/04/24	US TREASURY NOTES DTD 01/31/2020 1.375% 01/31/2025	912828Z52	150,000.00	145,458.98	362.64	145,821.62	(4,552.74)	(4,542.96)	FIFO
04/02/24	04/04/24	US TREASURY NOTES DTD 01/31/2020 1.375% 01/31/2025	912828Z52	150,000.00	145,500.00	362.64	145,862.64	(4,511.72)	(4,501.94)	FIFO
04/04/24	04/08/24	WALMART INC CORP NOTES (CALABLE) DTD 04/23/2019 3.050% 07/08/2026	931142EM1	110,000.00	106,162.10	838.75	107,000.85	(7,957.40)	(5,880.18)	FIFO
04/09/24	04/09/24	WI DEPT OF TRANS TXBL REV BONDS DTD 07/30/2020 0.774% 07/01/2025	977123X78	250,000.00	238,305.00	526.75	238,831.75	(11,695.00)	(11,695.00)	FIFO

Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2024**

CITY OF YORBA LINDA - 97480000

Transaction Type					Principal	Accrued		Realized G/L	Realized G/L	Sale
Trade	Settle	Security Description	CUSIP	Par	Proceeds	Interest	Total	Cost	Amort Cost	Method
SELL										
04/24/24	04/29/24	FHMS K733 A2 DTD 11/09/2018 3.750% 08/01/2025	3137FJX07	229,579.75	224,925.38	669.61	225,594.99	1,707.28	(581.85)	FIFO
04/30/24	05/03/24	CATERPILLAR FINL SERVICE CORPORATE NOTES DTD 01/08/2024 4.500% 01/08/2027	14913UAE0	95,000.00	93,470.50	1,365.63	94,836.13	(1,426.90)	(1,437.15)	FIFO
04/30/24	05/03/24	IBM CORP DTD 05/15/2019 3.300% 05/15/2026	459200JZ5	225,000.00	216,216.00	3,465.00	219,681.00	(31,981.50)	(18,580.55)	FIFO
04/30/24	05/03/24	TARGET CORP CORP NOTES (CALLABLE) DTD 01/24/2022 1.950% 01/15/2027	87612EBM7	65,000.00	59,997.60	380.25	60,377.85	(4,891.90)	(4,942.38)	FIFO
04/30/24	05/03/24	TARGET CORP CORP NOTES (CALLABLE) DTD 01/24/2022 1.950% 01/15/2027	87612EBM7	120,000.00	110,764.80	702.00	111,466.80	(9,320.40)	(9,280.81)	FIFO
Transaction Type Sub-Total				2,584,579.75	2,496,454.25	11,161.91	2,507,616.16	(123,255.33)	(98,331.18)	
Managed Account Sub-Total					(338,380.23)	111,593.26	(226,786.97)	(123,123.24)	(98,331.18)	
Total Security Transactions					(338,380.23)	\$111,593.26	(\$226,786.97)	(\$123,123.24)	(\$98,331.18)	

Bolded items are forward settling trades.



STAFF REPORT

CITY of YORBA LINDA

CITY CLERK'S OFFICE

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: MARCIA BROWN, CMC, CITY CLERK

SUBJECT: REVIEW OF CITY'S CONFLICT OF INTEREST CODE

RECOMMENDATION

It is recommended that the City Council direct staff to review the City's Conflict of Interest Code, prepare a biennial report by October 1, 2024, and report back to the City Council.

BACKGROUND

The Political Reform Act requires the City Council to direct staff to review the City's Conflict of Interest Code in even numbered years to determine if amendments are required or that no amendments are necessary. Once the determination has been made, a notice, referred to as a "biennial report", must be submitted to the Fair Political Practices Commission by October 1, 2024. If amendments to the Conflict of Interest Code are necessary, the Code must be forwarded to the City Council for approval within 90 days.

The Conflict of Interest Code designates positions required to file Statement of Economic Interests (Form 700) and assigns disclosure categories specifying the types of interests to be reported.

FISCAL IMPACT

None.



STAFF REPORT

CITY of YORBA LINDA

COMMUNITY DEVELOPMENT DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: NATE FARNSWORTH, COMMUNITY DEVELOPMENT DIRECTOR
PREPARED BY: MARY LEWIS, SENIOR COMMUNITY PRESERVATION OFFICER

SUBJECT: DECLARING PUBLIC NUISANCE, INTENT TO PROVIDE ABATMENT, AND SETTING THE DATE FOR THE PUBLIC HEARING

RECOMMENDATION

It is recommended that the City Council adopt Resolution No. 2024-5900, declaring its intent to set a public hearing on August 20, 2024, for this year's Weed Abatement Program.

BACKGROUND

Every year the City Council implements a Weed Abatement Program to minimize hazardous fire conditions within the City. This involves a multi-step process of informing property owners that have large areas of undeveloped property that are prone to wildfire hazard, due to natural vegetation overgrowth, to perform weed abatement/vegetation reduction within certain specified time frames (i.e., over approximately 4 months between April and July) prior to the heightened portion of the fire season. Although the City does obtain a high degree of compliance response from property owners as a result of the initial outreach efforts and subsequent inspections and follow up notifications, there are some number of properties that for various reasons fail to comply in a timely manner.

Presently, there are thirty-two (32) properties (out of approximately 1,195) that have not performed weed abatement on their properties in accordance with the timeframes requested (see attached Exhibit A to Resolution No. 2024-5900 for list of properties). Article 2, Section 39560 et seq. of the California State Government Code authorizes cities to perform weed abatement on private properties that fail to comply through declaring such properties as a public nuisance. The adoption of Resolution No. 2024-5900 is required to declare the City's intention to set a Public Nuisance Hearing on August 20, 2024, to provide for the Weed Abatement Program and receive any protest relating to the potential abatement of any remaining, non-compliant, private properties.

As Council is aware, Community Preservation staff will continue to do outreach to subject properties in an effort to gain compliance prior to the August 20th public hearing. In the past, several of the identified properties ultimately resolved their non-compliance prior to the

DECLARING PUBLIC NUISANCE, INTENT TO PROVIDE ABATEMENT, AND SETTING THE DATE FOR THE PUBLIC HEARING

Page | 2

public hearing. Thus, it is anticipated that by the date of the public hearing, the list of non-complying properties will be reduced.

Per the provisions of Article 2, Title 4, Division 3, Part 2, Chapter 13, comprised of Sections 39560-39588, inclusive, of the Government Code of the State of California, provided that upon the second and any subsequent occurrence of such nuisance on the same parcel or parcels within the same calendar year, no further Hearings need to be held, and it shall be sufficient to mail a postcard notice to the owners of the property as they and their addresses appear upon the current assessment roll, in accordance with the provisions for such notice contained in Section 39562.1 of the Government Code of the State of California. This Government Code provision allows the City, if necessary, to further abate any property declared a public nuisance currently that experiences hazardous regrowth within the remainder of this year, without need for another public hearing or other administrative process (other than mailed postcard notification).

DISCUSSION

The Weed Abatement Program is a budgeted item under the Weed Abatement section of the Community Preservation budget. Over the last couple of years, due to a high degree of resident compliance, the City's cost to abate non-complying properties has averaged less than \$10,000. The cost of abatement shall be assessed upon the private parcels requiring abatement, resulting in eventual reimbursement of City funds expended. Staff will return to the City Council at a future date for public hearing to consider attachment of special assessment liens to any affected properties.

FISCAL IMPACT

Should the City need to perform weed abatement on any private properties, costs would be anticipated to not exceed \$10,000. However, these costs would be recovered through the placement of special assessment liens on affected properties resulting in eventual reimbursement of City expended funds.

ALTERNATIVES

Continue to provide annual notices to properties that meet the Weed Abatement criteria, with no formal procedure or proactive follow-up, other than through standard code enforcement protocol, which is reactive in nature.

ATTACHMENTS

1. Resolution No. 2024-5900, with Exhibit "A" – 2024 Annual Weed Abatement List

RESOLUTION NO. 2024-5900

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA DECLARING THAT WEEDS GROWING UPON OR IN FRONT OF CERTAIN PROPERTY IN THE CITY OF YORBA LINDA CONSTITUTE A PUBLIC NUISANCE; DECLARING ITS INTENTION TO PROVIDE FOR THE ABATEMENT THEREOF, AND SETTING A DATE FOR A PUBLIC HEARING

THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES FIND, DECLARE AND RESOLVE AS FOLLOWS:

1. That weeds growing upon or in front of, and that rubbish, refuse and dirt upon or in front of certain parcels of land described in Exhibit "A", on file in the office of the City Clerk, and incorporated herein by this reference, constitute a public nuisance.
2. That the weeds on those certain parcels of land described in Exhibit "A" are seasonal and recurrent nuisances within the meaning of Government Code Section 39562.1.
3. That if said nuisance is not abated by the owners of said parcels of land, it is the intention of the City Council of the City of Yorba Linda to have said nuisance abated in accordance with the provisions of Article II, Title 4, Division 3, Part 2, Chapter 13, Article 3, comprised of Sections 39560 through 39588, inclusive, of the Government Code of the State of California.
4. The Senior Community Preservation Officer of the City of Yorba Linda is hereby designated as the Public Officer to perform the duties imposed by such Article II upon the Officer therein.
5. The Senior Community Preservation Officer is directed to mail notices to the owners of said property as provided in Section 39567.1 of such Code.
6. The time and place for such Hearing and consideration of objections of all property owners having any objections to the proposed abatement of said nuisance by destruction and/or removal of such weeds and removal of rubbish, refuse and dirt, is hereby set at 7:00 p.m. on TUESDAY, AUGUST 20, 2024, in the City Council Chambers located in City Hall, 4845 Casa Loma Avenue, Yorba Linda, California.
7. That as such, upon the second and any subsequent occurrence of said nuisance on the same parcel or parcels within the same calendar year, no further Hearing need be held.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July 2024.

Tara Campbell, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER, LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at a regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”
2024 WEED ABATEMENT
NON-COMPLIANT PROPERTIES

323-251-41	4639 Vallecito Dr
326-081-01	Situs Na
329-141-01	27835 Elk Mountain Dr
343-471-08	5414 Berryhill Dr
348-191-28	5156 Los Altos Dr
348-191-29	5170 Los Altos Dr
348-191-30	5182 Los Altos Dr
348-191-37	Situs Na
348-241-06	6181 Bridle Ln
348-271-20	Situs Na
348-311-19	Situs Na
348-311-21	Situs Na
349-301-01	4691 Orlando Dr
349-301-04	19771 La Tierra Ln
349-351-10	6022 Amberdale Dr
352-181-12	Situs Na

JULY 16, 2024 CITY COUNCIL MEETING

CONSENT CALENDAR ITEM NO. 7 – DECLARING PUBLIC NUISANCE,
INTENT TO PROVIDE ABATEMENT, AND SETTING THE DATE FOR THE
PUBLIC HEARING

**REVISIONS TO EXHIBIT A TO RESOLUTION RECEIVED AFTER POSTING OF THE
AGENDA**

EXHIBIT "A"
2024 WEED ABATEMENT
NON-COMPLIANT PROPERTIES

323-251-41	4639 Vallecito Dr
326-081-01	Situs Na
329-141-01	27835 Elk Mountain Dr
348-191-37	Situs Na
348-271-20	Situs Na
348-311-19	Situs Na
348-311-21	Situs Na
349-301-01	4691 Orlando Dr
349-301-04	19771 La Tierra Ln
349-351-10	6022 Amberdale Dr

ORDINANCE NO. 2024-1108

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE TEXT OF THE LAND USE ELEMENT OF THE CITY OF YORBA LINDA GENERAL PLAN (GENERAL PLAN AMENDMENT 2024-01) PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, AND FINDING THAT GENERAL PLAN AMENDMENT 2024-01 IS NOT SUBJECT TO A VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA UNDER THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code Amendments, it was determined that they were contingent upon a successful approval by

the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2024; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as "Measure B"), and are intended to preserve HCD's certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the City Council has determined that the proposed amendment to specified provisions in the Land Use Element of the General Plan, as identified in Exhibit "A" attached to this Ordinance and incorporated herein by this reference ("General Plan Amendment 2024-01"), does not constitute a "Major Amendment" as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and is therefore not subject to the

approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, General Plan Amendment 2024-01 would amend the Land Use Element to include the following new land use designations: “Residential Overlays” and “Residential – Very High”; and

WHEREAS, General Plan Amendment 2024-01 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the Land Use Element and Housing Element will be internally consistent within the City’s General Plan, as required by State law; and

WHEREAS, the proposed revisions in General Plan Amendment 2024-01 are internally consistent with the other elements of the General Plan; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Land Use Element of the General Plan (referred to herein as “General Plan Amendment 2024-01”) as part of the consideration of the proposed Housing Element and implementation programs included therein; and

WHEREAS, General Plan Amendment 2024-01 as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the General Plan that do not constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore not subject to the approval of a majority vote of the electorate of the City to become effective. General Plan Amendment 2024-02 includes all of the amendments to the General Plan and General Plan Land Use Diagram that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of General Plan Amendment 2024-01, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of General Plan Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on June 18, 2024, the City Council conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-01 as part of the consideration of the Housing Element implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on June 18, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. ~~Pursuant to Government Code Section 15164, the City has prepared an addendum to the previously certified PEIR by determining that the proposed changes do not meet the conditions in Government Code Section 15162 calling for the preparation of a subsequent EIR. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.~~

~~The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:~~

- ~~a. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously-certified 2022 Certified PEIR because implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.~~
- ~~b. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.~~
- ~~c. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.~~

General Plan (referred to herein as “General Plan Amendment 2024-01”) as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that General Plan Amendment 2024-01 is necessary to ensure that the General Plan is consistent within the City’s other General Plan policies, goals and objectives, specifically as outlined in the Housing Element, and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that General Plan Amendment 2024-01 is necessary to implement the Housing Element programs established in the 2021-2029 Housing Element, and as approved by the State of California, and would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission to adopt General Plan Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts General Plan Amendment 2024-01.

Section 7. The City Council hereby finds that General Plan Amendment 2024-01 is not a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B), and is therefore not subject to the approval of a majority vote of the electorate of the City to become effective, because General Plan Amendment 2024-01 does not result in any of the changes identified in Section 18.01.030(A) of the Yorba Linda Municipal Code to a Planning Policy document for any parcel of land affected by General Plan Amendment 2024-01 that would do any of the following: (1) increase the number of residential units which may be constructed on a parcel designated for residential uses; (2) increase the number of separate parcels which may be created from an existing parcel; (3) change any residential land use to allow any other land use; (4) change any non-residential land use to allow any residential land use greater than ten (10) net dwelling units per acre or allow a mix of commercial and residential uses; (5) increase the allowed maximum height of development; (6) provide for the private development of land owned by a government entity within five years of the date of the approval to develop the land; or (7) repeal any “Planning Policy Document” as defined in Section 18.01.02 of the Yorba Linda Municipal Code; rather, General Plan Amendment 2024-01 is comprised of the establishment of land use classifications for overlay zones that do not, in and of themselves, effect a particular parcel of land.

Section 8. The City Manager or his designee is hereby authorized and directed to incorporate into the General Plan the amendments thereto as set forth in General Plan Amendment 2024-01, upon the effective date of this Ordinance.

Section 9. If any section, subsection, sentence, clause, phrase, or portion of this

Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 10. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2024-02 and Zoning Code Amendment 2024-02 and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 11. The City Clerk shall certify to the passage and adoption of this Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)

COUNTY OF ORANGE)

CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”**GENERAL PLAN AMENDMENT 2024-01****(Comprised of Item #1 – Item #4)****MODIFICATIONS TO THE TEXT OF THE LAND USE ELEMENT
OF THE CITY OF YORBA LINDA GENERAL PLAN**

Item No.	Page/Location	Amendment/Change
2	LU-24 – Last Paragraph	<p><i>Add the following sentence to the end of the description for Residential – High:</i></p> <p>While the R-H land use designation covers a wide range of densities as a general land use description, the actual permitted densities are established under the Zoning Code standards in Title 18 of the Municipal Code. This density range is not to be construed as allowing this density range to be permitted as the development standards on properties containing this General Plan land use designation.</p>
1	LU-25 – First Paragraph	<p><i>Add the following paragraph describing overlay zones:</i></p> <p>Residential Overlays (20 – 35 du/ac) – The Affordable Housing Overlay, Congregational Lands Overlay, and Mixed-Use Overlay zones permit a variety of multi-family dwelling types at a density of 20.0 to 35.0 dwelling units per acre. The appropriate housing types are predicated based on the site, location, adjacent land uses, and the purpose of the individual overlay zone as described in Section 18.17 of the Yorba Linda Zoning Code. Clustering of buildings allows for the provision of appropriate private recreational and open space amenities. The overlay zones encourage the inclusion of at least 20% affordable housing units in an effort to affirmatively further fair housing opportunities.</p>
3	LU-25 – Second Paragraph	<p><i>Add the following paragraphs describing the Residential – Very High (60 du/ac) land use designation:</i></p> <p>Residential – Very High (60 du/ac) – Very High Density Residential areas permit a variety of types of attached products and apartments. The Very High Density Residential designation permits a density range of greater than 40.0 dwelling units per acre up to 60.0 dwelling units per acre. The appropriate housing type is predicated on the site, location, and adjacent land uses. Clustering of buildings allows for the provision of appropriate private recreational and open space amenities. Very high density designations have been advantageously located for proximity to retail, commercial, and employment opportunities.</p>

Item No.	Page/Location	Amendment/Change
4	Tables LU-1 and LU-3	<ul style="list-style-type: none">• <i>Add the Residential Very High (R-VH) as a land use designation with 20-60 du/ac for density/intensity over 14.6 acres</i>• <i>Reduce the acreage for Industrial Manufacturing (I-M) to 260.32</i>• <i>Increase the acreage for Residential High (R-H) to 591.83</i>• <i>Reduce the acreage for Residential Low (R-L) to 406.2</i>• <i>Reduce the acreage for Residential Medium-Low (R-ML) to 2,346.21</i>• <i>Reduce the acreage for Residential Medium (R-M) to 1,954.28</i>• <i>Reduce the acreage for Residential Medium-High (R-MH) to 1,160.18</i>

ORDINANCE NO. 2024-1109

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE TEXT OF THE LAND USE ELEMENT AND AMENDING THE LAND USE DIAGRAM OF THE YORBA LINDA GENERAL PLAN (GENERAL PLAN AMENDMENT 2024-02) PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, WITH THE ADOPTION OF EACH INDIVIDUAL ITEM IDENTIFIED IN GENERAL PLAN AMENDMENT 2024-02 CONTINGENT UPON APPROVAL BY A MAJORITY VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA IN COMPLIANCE WITH THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code Amendments, it was determined that they were contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2022; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as "Measure B"), and are intended to preserve HCD's certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the City Council has determined that the proposed amendments to specified provisions in the City of Yorba Linda Land Use Diagram, as identified in Exhibit "A" attached to this Ordinance and incorporated herein by this reference ("General

Plan Amendment 2024-02”), each constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Element of the General Plan to increase the total residential capacity in the Community Core/Downtown Historical District Area Plan by 166 dwelling units to account for Sites S3-082, S3-204, and S4-075; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Element of the General Plan to increase the total residential capacity in the West Bastanchury Area Plan by 194 dwelling units to account for Sites S3-203 and S3-210; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Diagram by changing the land use designations for the following sites to “Residential - High”: APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #323-311-03 (Site S4-075), APN #334-101-39, -40 (Site S3-082), APN #323-081-35, -36 (Site S4-204B), APN #323-051-26, -27 (Site S3-211), APN #323-231-18, -19 (Site S4-200), APN #343-591-05, -06, -07, -25 (Site S3-207); and

WHEREAS, General Plan Amendment 2024-02 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the Land Use Element and Housing Element will be internally consistent within the City’s General Plan, as required by State law; and

WHEREAS, the proposed revisions in General Plan Amendment 2024-02 are internally consistent with the other elements of the General Plan; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Land Use Element of the General Plan and General Plan Land Use Diagram (referred to herein as “General Plan Amendment 2024-02”) as part of the consideration of the proposed Housing Element and implementation programs included therein; and

WHEREAS, General Plan Amendment 2024-02 as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the General Plan and General Plan Land Use Diagram that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective. General Plan Amendment 2024-01 includes all of the amendments to the General Plan that do not constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore not subject to the approval of a majority vote of the electorate of the City to become effective.; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-02 as part of the consideration of the adopted Housing

Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of General Plan Amendment 2024-02, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of General Plan Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on August 2, 2024, the City Council conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-02 as part of the consideration of the Housing Element implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on August 2, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. ~~Pursuant to Government Code Section 15164, the City has prepared an addendum to the previously certified PEIR by determining that the proposed changes do not meet the conditions in Government Code Section 15162 calling for the preparation of a subsequent EIR. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.~~

The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:

- a. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously-certified 2022 Certified PEIR because

implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.

b. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.

c. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.

Section 2. The City Council has read and considered the amendments to the General Plan (referred to herein as “General Plan Amendment 2024-02”) as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that General Plan Amendment 2024-02 is necessary to ensure that the General Plan is consistent within the City’s other General Plan policies, goals and objectives, specifically the Housing Element, and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that General Plan Amendment 2024-02 is necessary to implement the Housing Element programs established in the 2021-2029 Housing Element, and as approved by the State of California, and would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission as modified herein to adopt General Plan Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts General Plan Amendment 2024-02, subject to each item identified therein to become effective only upon the approval by a majority vote of the electorate of the City of Yorba Linda voting “YES” on a ballot measure for the adoption of that item of General Plan Amendment 2024-02 at a duly noticed and held regular or special election of the electorate of the City of Yorba Linda.

Section 7. Pursuant to Elections Code section 9222, the City Council by subsequent ordinance or resolution shall identify the date of the election during which

items identified in General Plan Amendment 2024-02 will be submitted for consideration by the electorate of the City of Yorba Linda, which election date shall be held not less than eighty-eight (88) days after the date of the subsequent ordinance or Ordinance ordering the election. Upon the ordering of the election by the City Council, the City Clerk shall be authorized and directed to take any and all necessary and proper actions to submit any identified items in General Plan Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in accordance with applicable State, County, and City laws, including the Yorba Linda Right-to-Vote Amendment (Measure B). The City Council hereby reserves the authority to submit the items identified in General Plan Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in separate elections. None of the items identified in General Plan Amendment 2024-02 shall take effect until approved by a majority vote of the electorate of the City of Yorba Linda.

Section 8. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 9. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 10. The City Clerk shall certify to the passage and adoption of this Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK

CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)

COUNTY OF ORANGE)

CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at a regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”

GENERAL PLAN AMENDMENT 2024-02 (Comprised of Item #1 – Item #8)

MODIFICATIONS TO THE TEXT OF THE LAND USE ELEMENT OF THE CITY OF YORBA LINDA GENERAL PLAN

Item No.	Page/Location	Amendment/Change
1	LU-25	Allowing multi-family housing between 20 to 60 DU/AC may be considered for specified sites within SAVI Ranch as described in the Housing Element.
2	LU-26	Increase the total residential capacity in the Community Core/Downtown Historical District Area Plan by 166 dwelling units to account for Sites S3-082, S3-204 and S4-075
3	LU-28	Increase the total residential capacity in the West Bastanchury Area Plan by 194 dwelling units to account for Sites S3-203 and S3-210

MODIFICATIONS TO THE LAND USE DIAGRAM OF THE CITY OF YORBA LINDA GENERAL PLAN

Item No.	Page/Location	Site No.	Site Description	Amendment/Change
4	Map	Site S1-200	APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium Low” to “Residential - High”.</i>
5	Map	Site S4-200	APN #323-231-18, -19	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>
6	Map	Site S4-204B	APN 323-081-35, -36	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium Low” to “Residential - High”</i>
7	Map	Site S3-211	APN #323-051-26, -27	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>
8	Map	Site S3-207	APN #343-591-05, -06, -07, -25,	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>

ORDINANCE NO. 2024-1110

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE CITY OF YORBA LINDA ZONING CODE PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, AND FINDING THAT ZONING CODE AMENDMENT ZCA 2024-01 IS NOT SUBJECT TO A VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA UNDER THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code Amendments, it was determined that they were contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning

Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2022; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as "Measure B"), and are intended to preserve HCD's certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the proposed amendment to specified provisions in the Zoning Code, as identified in Exhibit "A" attached to this Ordinance and incorporated herein by this reference ("Zoning Code Amendment 2024-01") are part of the implementation programs and implementing actions of the adopted Housing Element, and are necessary to ensure that the Zoning Code is consistent within the City's General Plan, as required by State law; and

WHEREAS, Zoning Code Amendment 2024-01 would amend the definition for “affordable housing definitions” as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-01 would incorporate the City’s Multi-Family Design Guidelines as written, objective development standards for multi-family development as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-01 would add Chapter 18.17 (Overlay Zones) to the Zoning Code as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-01 would amend Chapter 18.36 (Administration) Article II (Design Review) to the Zoning Code as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-01 would amend the text of the Yorba Linda Hills Planned Development (PD) to split Area E into two separate area designations, the upper approximately 18 acres would become Area D (Open Space) and the lower approximately 9 acres would become Area E for APN 326-081-01; moreover Area E would be amended from Church use to RM standards at 3 dwelling units per acre; and

WHEREAS, the City Council has determined that Zoning Code 2022-01 does not constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and is therefore not subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, Zoning Code Amendment 2024-01 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the City’s Zoning Code is consistent with the City’s General Plan, as required by State law; and

WHEREAS, the Yorba Linda Hills Planned Development (PD) is not a “Planning Policy Document” under the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.020 (Measure B) and moreover, the proposed zoning changes consist of modifying Area E in Yorba Linda Hills Planned Development from “Church”, which is a non-residential land use to “Open Space”, which is a non-residential land-use and “RM Standards (3 du/ac)”, which is a residential land use but less than 10 dwelling units per acre; and

WHEREAS, the Zoning Code and the Zoning Map are “Planning Policy Documents” under the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.020 (Measure B), which has additional public notice and public hearing requirements that require the Planning Commission to hold a public hearing pursuant to Section 18.01.040 that otherwise may not be required under state law; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Zoning Code (referred to herein as Zoning Code Amendment 2024-01) as part of the consideration of the adopted Housing Element and implementation programs included therein; and

WHEREAS, Zoning Code Amendment 2024-01, as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the Zoning Code that do not constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore not subject to the approval of a majority vote of the electorate of the City to become effective. Zoning Code Amendment 2024-02 includes all of the amendments to the Zoning Code and Zoning Map that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of Zoning Code Amendment 2024-01, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of Zoning Code Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on June 18, 2024, the City Council conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-01 as part of the consideration of the Housing Element implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on June 18, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. ~~Pursuant to Government Code Section 15164, the City has prepared an addendum to the previously certified PEIR by determining that the proposed changes do not meet the conditions in Government Code Section 15162 calling for the preparation of a subsequent EIR. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing~~

Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.

The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:

- a. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously-certified 2022 Certified PEIR because implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.
- b. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- c. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.

Section 2. The City Council has read and considered the amendments to the Zoning Code (referred to herein as "Zoning Code Amendment 2024-01") as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that Zoning Code Amendment 2024-01 is necessary to ensure that the Zoning Code is consistent within the City's General Plan policies, goals and objectives and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that Zoning Code Amendment 2024-01 is necessary to establish development standards that, when applied to specific sites identified in Zoning Code Amendment 2024-02, would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission as modified herein to adopt Zoning Code Amendment 2024-01 as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts Zoning Code Amendment 2024-01.

Section 7. The City Council hereby finds that Zoning Code Amendment 2024-01 is not a "Major Amendment" as defined in the Yorba Linda Right-to-Vote Amendment (Measure B), and is therefore not subject to the approval of a majority vote of the electorate of the City to become effective, because Zoning Code Amendment 2022-01 does not result in any of the changes identified in Section 18.01.030(A) of the Yorba Linda Municipal Code to the development standards for any parcel of land affected by Zoning Code Amendment 2022-01. Specifically, Zoning Code Amendment 2022-01 does not: (1) increase the number of residential units which may be constructed on a parcel designated for residential uses; (2) increase the number of separate parcels which may be created from an existing parcel; (3) change any residential land use to allow any other land use; (4) change any non-residential land use to allow any residential land use greater than ten (10) net dwelling units per acre or allow a mix of commercial and residential uses; (5) increase the allowed maximum height of development; (6) provide for the private development of land owned by a government entity within five years of the date of the approval to develop the land; or (7) repeal any "Planning Policy Document" as defined in Section 18.01.02 of the Yorba Linda Municipal Code; rather, Zoning Code Amendment 2024-01 is comprised of the establishment of land use overlay development standards that do not, in and of themselves, effect a particular parcel of land.

Section 8. The City Manager or his designee is hereby authorized and directed to incorporate into the Zoning Code the amendments thereto as set forth in Zoning Code Amendment 2024-01, upon the effective date of this Ordinance.

Section 9. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 10. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2024-02 and Zoning Code Amendment 2024-02 and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 11. The City Clerk shall certify to the passage and adoption of this Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)
COUNTY OF ORANGE)
CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”

**ZONING CODE AMENDMENT 2024-01
(Comprised of Item #1 - Item #6)**

**MODIFICATIONS TO THE TEXT OF THE CITY OF YORBA LINDA ZONING CODE
(TITLE 18 OF THE YORBA LINDA MUNICIPAL CODE)**

ITEM #1. The first line of the definition for “Affordable housing definitions” in Section 18.04.020 is amended to the following:

“Affordable housing definitions” mean the following terms and that are defined for the purposes of Chapter 18.17 (Overlay Zones) and Chapter 18.19 (Density Bonus, Waivers, and Incentives).

ITEM #2. Section 18.10.100 is amended to the following Subsection 18.10.100.E:

E. In any RM zone, PD zone allowing multi-family uses, or any overlay zone, the City of Yorba Linda Multi-Family Residential Design Guidelines shall be utilized as additional objective development standards for multi-family development in producing high-quality development.

ITEM #3. Chapter 18.17 of the Yorba Linda Municipal Code is amended to add the following:

Chapter 18.17 Overlay Zones

Sections:

Article I: Affordable Housing Overlay (AHO) Zone

Article II: Congregational Lands Overlay (CLO) Zone

Article III: Mixed-Use Overlay (MUO) Zone

18.17.010 Established

Because of their special or unique characteristics, the following overlay zones are established:

- A. AHO Affordable Housing Overlay Zone;
- B. CLO Congregational Lands Overlay Zone;
- C. MUO Mixed-Use Overlay Zone

18.17.020 Purpose.

The purposes of the housing overlay zones are to facilitate the construction of lower-priced and affordable housing on sites which are suitable, and to address the State-

mandated regional housing needs.

18.17.030 Applicability.

Each overlay district may be applied to a property or group of properties by ordinance of the City Council. The Zoning Map will identify the overlay zone district with the appropriate suffix, given in Section 18.17.010, after the underlying zone district. Applicants may submit an entitlement application under the standards of either the underlying zone or the overlay zone and shall clearly state on their application which standards are being used. Projects applying under the standards of the overlay zone shall comply with all overlay zone requirements; where no requirement is given, the standards of the underlying zone shall apply.

18.17.040 Definitions.

The terms in this chapter are defined in Chapter 18.04 (Definitions) under the term “Affordable Housing Definitions.”

18.17.050 Affordability Requirement.

A. All housing projects processed under the standards of these overlay zones shall include deed-restricted affordable housing units. These housing units shall be subject to the standards given in Section 18.19.110 (A) and execute an affordable housing agreement with the City as described in Section 18.19.110 (B).

B. A minimum of twenty percent of rental housing units, exclusive of any density bonus units, shall be developed, offered to, and rented to very low- or low-income households at an affordable rental cost as defined in Chapter 18.04. The restriction shall apply for a minimum of 55 years.

C. A minimum of twenty percent of ownership housing units, exclusive of any density bonus units, shall be developed, offered to, and sold to low or moderate-income households at an affordable housing cost as defined in Chapter 18.04. The restriction shall apply for a minimum of 45 years.

18.17.060 General Development Standards.

A. Projects shall be subject to the development standards of the underlying zone, except as described in this Chapter.

B. Setbacks. For all housing overlay zones, the setback regulations of the underlying zone as given in Section 18.10.090 shall apply, except that:

1. The minimum setback shall be no greater than 20 feet. Section 18.10.100 (A)(1), which requires a 50-foot setback from single-family zones for buildings exceeding 15 feet in height, shall continue to apply; however, any portion of the building exceeding two stories shall maintain a minimum one hundred (100) feet from any single-family zone.
2. Uncovered parking spaces, common open space areas, and private patios and stoops shall be permitted within setback areas provided that a masonry wall six feet in height and screen landscaping at least 5 feet in width is erected and maintained between such uses and the property line. In addition, uncovered parking spaces within front and streetside setback areas, however, shall be located a minimum of 10 feet from the property line as required in Section 18.22.040 (C)(2)(f).

C. Landscaping. For all housing overlay zones, the following landscaping standards shall apply. These standards shall override Section 18.10.110 (C)(2) and 18.10.110

(C)(3), if applicable:

1. A minimum 50 percent of the building site area, exclusive of building footprints, shall be landscaped and provided with an adequate underground irrigation system.
2. A minimum of 25 percent of the building site area, exclusive of building footprints, shall accommodate private, active patio areas or active areas for common use of residents such as BBQs, playgrounds, hardscape features, and outdoor seating areas. The active areas for common use of residents shall comprise no less than one-fifth of this 25 percent of building site area.

D. Minimum Unit Size. For all housing overlay zones, the minimum unit size shall be:

1. Studio units: 400 square feet
2. 1-bedroom units: 600 square feet
3. 2-bedroom units: 700 square feet
4. 3-bedroom units: 900 square feet

Article I: Affordable Housing Overlay (AHO) Zone

18.17.100 Purpose

The purposes of the affordable housing overlay zone are to facilitate the construction of lower-cost, smaller-lot housing; to assist in providing affordable housing to all segments of the community; and to make available additional land for multifamily and condominium housing development.

18.17.110 Permitted Uses.

Any project utilizing the Affordable Housing Overlay Zone shall comply with the use regulations of the underlying zone.

18.17.120 Density.

The minimum dwelling unit density of any development utilizing the standards of the Affordable Housing Overlay Zone shall be 20 units per acre. The maximum dwelling unit density of any development utilizing the standards of the Affordable Housing Overlay Zone shall be 35 units per acre.

18.17.130 Height.

The maximum height of any structure in the Affordable Housing Overlay zone shall be three stories and 40 feet.

18.17.140 Off-Street Parking.

Off-street parking standards shall be governed by the minimum parking requirements of the underlying zone (Section 18.22.030 (B)) and all other requirements and incentives of this Title.

Article II: Congregational Lands Overlay (CLO) Zone

18.17.200 Purpose

The purpose of the Congregational Land Overlay zone is to encourage the construction of affordable housing in conjunction with religious institutions which provide important social and community services to the Yorba Linda community, to enable these institutions to further their mission to serve disadvantaged populations, and to improve

utilization of land resources which may go unused for large portions of the week, in keeping with State law AB 1851 (2020).

18.17.210 Permitted Uses.

Multiple family dwellings and condominiums shall be permitted in the Congregational Land Overlay zone in addition to any uses permitted in the underlying zone, provided that these uses occur in conjunction with a church/temple/religious institution use with a valid conditional use permit. To operate in conjunction with a church/temple/religious institution includes, but is not limited to, ground leases to housing development either for rental or ownership, reciprocal parking, access, or use agreements, or other situations, which clearly demonstrate an integral connection or relationship between the two uses. Church/temple/religious institutional uses must continue to operate in conjunction with the previously approved conditional use permit, except as described in Section 18.17.230.

18.17.220 Site Area Definition and Density.

A. With the entitlement application, the applicant shall define the portion of the site which is for residential use, including open spaces and parking which are reserved for exclusive residential use. This portion of the site shall be no larger than the land area of half of the congregation's existing parking area plus all existing undeveloped open space with a slope of less than 5%.

B. Within the portion of the site thus defined for residential use, the minimum dwelling unit density of any development utilizing the standards of the Congregational Land Overlay Zone shall be 20 units per acre. The maximum dwelling unit density of any development utilizing the standards of the Congregational Land Overlay Zone shall be 35 units per acre.

18.17.230 Exemption from Amendments to Existing Conditional Use Permit.

A. Housing development subject to the standards of this overlay zone may be approved without amendment to the original Conditional Use Permit, provided that the proposed development complies with all use and development regulations of this CLO zone. In addition, development of church/temple/religious institution and other non-residential structures may be approved without amendment to the original Conditional Use Permit provided that the development plan meets the following conditions:

1. The total square footage of non-residential space on the site does not exceed the amount authorized by the original Conditional Use Permit.
2. The total parking requirement for non-residential space on the site does not exceed the amount authorized by the original Conditional Use Permit.
3. The site contains no identified historic resource.
4. The original Conditional Use Permit's operational conditions remain in effect.

18.17.240 Height.

The maximum height of any structure in the Congregational Land Overlay zone shall be three stories and 40 feet, according to the methodology established in Section 18.26.030.

18.17.250 Off-Street Parking.

Pursuant to the maximum established in Government Code Section 65913.6, the development shall provide one uncovered or covered off-street parking space per dwelling unit for all qualifying affordable housing units, except for senior housing developments which shall provide a minimum of one-half uncovered or covered parking space per dwelling unit. Any market rate housing units shall provide parking in conformance with the RM-20 standards outlined in Chapter 18.22 of the Zoning Code. These spaces may be shared with the church/temple/religious institution or any previously permitted use on-site.

18.17.260 Adaptive Reuse.

The conversion of existing nonresidential structures into dwelling units shall be permitted, provided that they meet the stipulations of Section 18.17.220 and all building code requirements. Existing structures which are converted in this manner shall not trigger requirements to provide additional open space or setbacks, or to decrease the height of the structure.

18.17.270 Transfer of Development Rights

A property owner within the Congregational Land Overlay zone may solicit a transfer of development rights to an abutting residential property contained within the Housing Element's housing sites inventory with a lower maximum density than the Congregational Land Overlay zone. The transfer of development rights will reduce the number of permitted units on the Congregational Land Overlay zone property and increase the number of permitted units by the same amount on the abutting property, provided that the resultant permitted density on the abutting property is no higher than 10 percent greater than the maximum density permitted on the abutting property. The property owner transferring its development rights may not transfer more than 10 percent of the total number of units described in the Housing Element's housing site's inventory. All units transferred must be transferred in compliance with the affordability requirements contained in Section 18.17.050. The transfer of development rights shall be subject to conditional use permit approval as described in Section 18.36.200, and once approved, shall be recorded against both properties. This transfer of development rights is only permitted during the 6th housing cycle and will expire after June 30, 2029.

Article III: Mixed-Use Overlay (MUO) Zone

18.17.300 Purpose

The purposes of the mixed-use overlay zone are to increase the housing stock of the City which is affordable to households at different income levels, to spur revitalization and investment, to improve the utilization of land, and to decrease vehicular use by permitting the construction of housing on sites which contain community-serving retail and service uses.

18.17.310 Permitted Uses and Configuration.

Multiple family dwellings and condominiums shall be permitted in the Mixed-Use Overlay Zone, provided that these uses are located on the same site as retail uses containing at least 10,000 square feet of commercial space which meet the standards of the underlying zone. At least half of the building square footage within the MUO-zoned

property shall be residential. Residential uses may be located on top of commercial uses (vertical mixed-use) or in separate structures on the same lot (horizontal mixed-use).

18.17.320 Site Area Definition and Density.

The minimum dwelling unit density of any development utilizing the standards of the Mixed-Use Overlay Zone shall be 20 units per acre. The maximum dwelling unit density of any development utilizing the standards of the Mixed-Use Overlay Zone shall be 35 units per acre. The site area shall be defined as the entirety of the legally defined parcels containing the residential development.

18.17.330 Height.

A. The maximum height of any structure in the Mixed-Use Overlay zone shall be four stories and 50 feet. Any project which is four stories in height shall also comply with the following standards:

1. All fourth story elements shall be located at least 70 feet from any public street and at least 100 feet from any single-family residential zone.
2. Fourth story elements shall not have a linear dimension greater than 200 feet.

18.17.340 Off-Street Parking.

- A.** The number of residential parking spaces required shall conform to the standards of the R-M-30 zone, as expressed in Section 18.22.030 (B), and all other requirements and incentives of this Title.
- B.** The minimum number of off-street parking spaces to be provided for nonresidential uses may be reduced by up to 35 percent from the standards otherwise required by Section 18.22.030 (B) by the Planning Commission through Design Review. Any request to reduce nonresidential parking shall be supported with a parking study prepared by a qualified traffic engineer and subject to review and approval by the Community Development Director and City Engineer.
- C.** Residential and nonresidential parking areas shall be separate and have clear signage distinguishing the two parking areas. Nonresidential parking areas may be used for residential guest parking at the owner's discretion.

18.17.350 Standards.

A. Projects in the Mixed-Use Overlay Zone shall be subject to the following site planning and design standards. Any of these standards may be waived by the Planning Commission through Design Review:

1. Retail uses shall be visible from adjacent public streets and shall not be located behind solely residential buildings.
2. Ground-floor retail space for any new construction buildings shall be at least 18 feet floor-to-floor height, and retail spaces shall be at least 40 feet deep.
3. Vertical mixed-use buildings shall incorporate different entries for residential and commercial uses. The main entrance to a space which is open to the public shall be clearly identifiable by providing a change in plane (e.g. recessed entry), differentiation in material and color, and/or enhanced lighting. Clear identification signage shall also be used to differentiate the primary entry into the space.

4. Gates may be used to control vehicular and pedestrian access to the residential portion of a horizontal mixed-use site.

ITEM #4. Section 18.19.110.A is amended in its entirety to the following:

A. Terms of Affordability. Affordable housing units developed under this chapter shall remain available to persons and families of very low, low, and moderate income, at an affordable housing cost or affordable rental cost, as those income and affordability levels are defined in Chapter 18.04, for a minimum of 55 years for rental housing and 45 years for ownership housing. The period of affordability required hereunder shall run concurrently with any period of affordability required by any other agency; provided, however, that the affordability period shall not be less than as set forth in this section. The project developer shall be required to enter into an affordable housing agreement with the City to ensure affordability is maintained for the required period.

ITEM #5. Article II of Chapter 18.36 of the Yorba Linda Municipal Code is amended to add the following:

18.36.140 Courtesy Noticing

A. For any property located within the Housing Element's housing sites inventory, a courtesy notice shall be mailed or delivered to all owners of real property as shown on the latest equalized assessment roll within 300 feet of the real property that is the subject of the design review.

B. The project applicant shall provide all information and documentation necessary to satisfy the notice requirements of this section. The project applicant shall pay all costs associated with the notice requirements of this section.

ITEM #6. Section 18.14.050.B of Chapter 18.14 of the Yorba Linda Municipal Code is revised as follows:

18.14.050 Special requirements.

A. When any M zone abuts or is situated across a street from a property in any residential zone, a minimum building setback of one hundred (100) feet shall be required from such residential zone. The twenty-five (25) feet of said setback nearest the street or zone boundary line shall be landscaped and the remainder may be used for off-street parking purposes as provided in Chapter 18.22. A three-foot tall wall or berm shall be constructed in back of the landscaped area along street setbacks. Along all other lot lines adjacent to residential zones, a six-foot tall wall shall be constructed.

B. Emergency Shelters. When establishing an emergency shelter, the following standards shall apply:

1. The maximum number of beds/persons permitted to be served nightly shall be based on the individual capacity of the building and overall facility and shall not be

less than fifty (50) square feet per person served;

2. On-site client waiting and intake areas shall be located internally to the building where feasible. If not feasible, an exterior waiting area shall be provided which contains a minimum of 10 square feet per bed provided at the facility. Said waiting area shall be in a location not adjacent to the public right-of-way and shall be visibly separated from public view by a minimum 6-foot tall visual screening mature landscaping or a minimum 6-foot tall decorative masonry wall;

3. Stays at the facility shall be on a first-come, first-served basis and facility clients must vacate the facility each morning and have no guaranteed bed for the next night;

4. Maximum stay at the facility shall not exceed 180 days in a 365-day period for clients with Yorba Linda residency and shall not exceed 90 days in a 365-day period for all others;

5. A minimum of one employee per 15 beds shall be on duty when the facility is open and shall be maintained during operational hours;

6. Clients shall only be on-site and admitted to the facility between 6:00 p.m. and 8:00 a.m. during Pacific Daylight Time and 5:00 p.m. and 8:00 a.m. during Pacific Standard Time;

7. A minimum of 1 parking stall for each employee, staff, or volunteer shall be maintained. The number of parking spaces may be reduced by 25% if the shelter is located within 1,000 feet of a public transit stop. Bicycle rack parking shall also be provided at the facility;

8. Facility improvements shall provide:

- i) A minimum of 1 toilet for every 10 beds per gender.
- ii) A minimum of 1 shower for every 8 beds per gender.
- iii) Private shower and toilet facility for each area designated for use by individual families.

9. Adequate exterior lighting shall be provided for safety and security purposes;

10. Client possession and/or use of the following are prohibited anywhere on the premises of an emergency shelter: alcohol, tobacco and illegal narcotics.

11. An Operations Plan shall be provided for the review and approval of the Community Development Director, and shall remain active throughout the life of the facility. At a minimum, the Operations Plan shall address the following:

- i) Security and safety – addressing both on and off-site needs.
- ii) Loitering control – including specific measures regarding off-site controls to minimize congregation of clients in the vicinity of the facility during hours that clients are not allowed on-site.
- iii) Management of outdoor areas – including a system for daily admittance and discharge procedures and monitoring of waiting areas.
- iv) Staff training – including knowledge and skills to assist clients in obtaining permanent shelter and income.
- v) Communications and outreach – with objectives to maintain good communication and response to operational issues which may arise from the public or City staff.
- vi) Counseling programs -- to be provided with referrals to outside assistance agencies.
- vii) Litter control – to provide for the timely removal of litter attributable to clients within the vicinity of the facility.

12. The facility may provide the following services and facilities in a designated

area separate from the sleeping areas:

- i) A recreation area either inside or outside the shelter.
- ii) A counseling center for job placement, educational, health care, legal, or mental health services.
- iii) Laundry facilities to serve the number of clients at the shelter.
- iv) Kitchen for the preparation of meals.
- v) Dining hall.
- vi) Client storage areas (i.e., for the overnight storage of bicycles and personal items).
- vii) Or similar services supporting the needs of homeless clients.

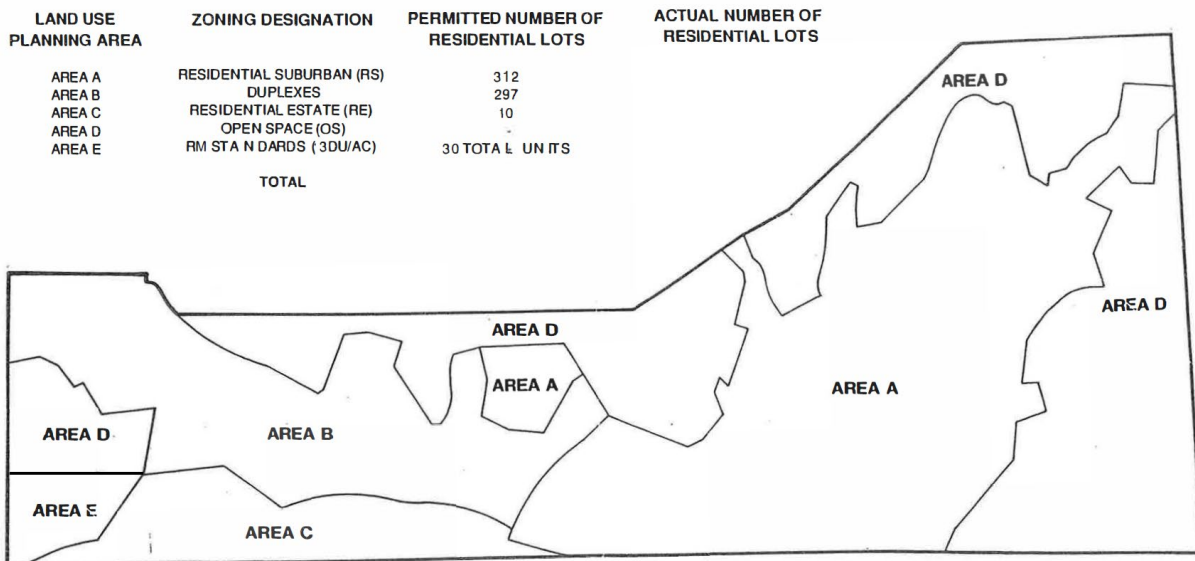
ITEM #7. Table 18.10-1 (Residential Land Use Matrix) of Chapter 18.10 of the Yorba Linda Municipal Code is revised to add the following land use:

**TABLE 18.10-1
RESIDENTIAL LAND USE MATRIX**

Use	R-A	RL-D	R-E	R-S	R-U	R-M	R-M-20	R-M-30	Comments
Small employee housing (6 or fewer)	P	P	P	P	P	•	•	•	See Health and Safety Code Section 17008

ITEM #8. The Yorba Linda Hills Planned Development (PD) text for District II is amended as follows; however, this Zone Change shall not become effective until General Plan Amendment 2024-02 is approved by a majority vote of the electorate of the City.

YORBA LINDA HILLS
PLANNED RESIDENTIAL DEVELOPMENT



SCALE: 1"=600'
DATE: 2-13-91
W.O.: 819-1

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ORDINANCE NO. 2024-1111

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE CITY OF YORBA LINDA ZONING CODE AND ZONING MAP (ZONING CODE AMENDMENT 2024-02) PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, WITH THE ADOPTION OF EACH INDIVIDUAL ITEM IDENTIFIED IN ZONING CODE AMENDMENT 2024-02 CONTINGENT UPON APPROVAL BY A MAJORITY VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA IN COMPLIANCE WITH THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code

Amendments, it was determined that they were contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2022; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as "Measure B"), and are intended to preserve HCD's certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the City Council has determined that the proposed amendments to specified provisions in the City of Yorba Linda Zoning Code (Title 18 of the Yorba Linda Municipal Code) and the Zoning Map, as identified in Exhibit "A" attached to this

Ordinance and incorporated herein by this reference (“Zoning Code Amendment 2024-02”), each constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, Zoning Code Amendment 2024-02 would amend Table 18.10-2 (Residential Development Standards) to modify the maximum building height in the RM-20 zoning designation to “40 feet or 3 stories, whichever is less”; and

WHEREAS, Zoning Code Amendment 2024-02 would amend the text of the West Bastanchury Planned Development (PD) for District II to create Area A, which would adhere to the existing District II development standards, for the following sites: APN #323-181-03, #323-191-10 through 44, #323-191-06, -07, -46, and #323-201-08 through 39; and to create Area B, which would adhere to the RM (Residential Multi-family) zone development standards for the following sites: APN# 323-181-04, -05, 06, -07, and Area B would be limited to no more than 98 total units as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-02 would amend the text of the Savi Ranch Planned Development (PD) to allow multi-family residential uses consistent with the Housing Element for the following sites: APN #352-231-01, -02, -03, -04, -05, -06, -07, -08, -09, -012, and 352-116-14 as described in Exhibit A; and

WHEREAS, Zone Change 2024-02, which consists of proposed amendments to the Zoning Map, as identified in Exhibit A, is considered to be a part of Zoning Code Amendment 2024-02; and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by changing the zoning designations for the following sites to “Residential Multiple Family” (R-M) to allow a maximum residential density of ten (10) dwelling units per acre: APN #343-591-05, -06, -07, -25 (Site S3-207), APN #323-051-26, -27 (Site S3-211); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by changing the zoning designations for the following sites to “Residential Multiple Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three stories, whichever is less: APN #322-061-01, -08, -10, -12, -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #334-101-39, -40 (Site S3-082), APN #323-311-03 (Site S4-075), APN #334-101-39, -40 (Site S3-082), APN #323-231-18, -19 (Site S4-200), APN #323-081-35, -36 (Site S4-204B); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Affordable Housing Overlay” zoning designation to the following sites to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less: APN #322-061-01, -08, -10, -12, -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #323-311-03 (Site S4-075); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Congregational Lands Overlay” zoning designation to the following sites to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum

building height of forty (40) feet or three (3) stories, whichever is less: APN #322-173-04, -07 (Site S2-008), APN # 343-591-01, -02, -03 (Site S3-012), APN #334-292-18 (Site S2-013), APN #343-581-09, 343-582-12, APN #323-171-07, -08, -09 (Site S3-210),; and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Mixed Use Overlay” zoning designation to the following site to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less: APN #322-121-07, -08 (Site S1-021); and

WHEREAS, the City Council has determined that Zoning Code Amendment 2024-02 constitutes a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and is therefore to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, Zoning Code Amendment 2024-02 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the City’s Zoning Code is consistent with the City’s General Plan, as required by State law; and

WHEREAS, the Zoning Code and the Zoning Map are “Planning Policy Documents” under the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.020 (Measure B), which has additional public notice and public hearing requirements that require the Planning Commission to hold a public hearing pursuant to Section 18.01.040 that otherwise may not be required under state law; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Zoning Code (referred to herein as Zoning Code Amendment 2022-01) as part of the consideration of the adopted Housing Element and implementation programs included therein; and

WHEREAS, Zoning Code Amendment 2024-02, as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the Zoning Code that constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective. Zoning Code Amendment 2024-02 includes all of the amendments to the Zoning Code and Zoning Map that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public

hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of Zoning Code Amendment 2024-02, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of Zoning Code Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on June 18, 2024, the City Council conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-02 as part of the consideration of the Housing Element and implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on June 18, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. ~~Pursuant to Government Code Section 15164, the City has prepared an addendum to the previously certified PEIR by determining that the proposed changes do not meet the conditions in Government Code Section 15162 calling for the preparation of a subsequent EIR. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.~~

The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:

- a. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously-certified 2022 Certified PEIR because implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.

- b. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- c. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.

Section 2. The City Council has read and considered the amendments to the Zoning Code (referred to herein as “Zoning Code Amendment 2024-02”) as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that Zoning Code Amendment 2024-02 is necessary to ensure that the Zoning Code is consistent within the City’s General Plan policies, goals and objectives and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that Zoning Code Amendment 2024-02 is necessary apply the development standards contained in Zoning Code Amendment 2022-01 and Zoning Code Amendment 2024-02 to specific sites identified in Zoning Code Amendment 2024-02, would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission as modified herein to adopt Zoning Code Amendment 2024-02, which includes Zone Change 2024-02, as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts Zoning Code Amendment 2024-02, which includes Zone Change 2024-02, subject to each item identified therein to become effective only upon the approval by a majority vote of the electorate of the City of Yorba Linda voting “YES” on a ballot measure for the adoption of that item of Zoning Code Amendment 2024-02 at a duly noticed and held regular or special election of the electorate of the City of Yorba Linda.

Section 7. Pursuant to Elections Code section 9222, the City Council by subsequent ordinance or resolution shall identify the date of the election during which items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02,

will be submitted for consideration by the electorate of the City of Yorba Linda, which election date shall be held not less than eighty-eight (88) days after the date of the subsequent ordinance or resolution ordering the election. Upon the ordering of the election by the City Council, the City Clerk shall be authorized and directed to take any and all necessary and proper actions to submit any identified items in Zoning Code Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in accordance with applicable State, County, and City laws, including the Yorba Linda Right-to-Vote Amendment (Measure B). The City Council hereby reserves the authority to submit the items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02, to a vote of the electorate of the City of Yorba Linda in separate elections. None of the items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02, shall take effect until approved by a majority vote of the electorate of the City of Yorba Linda.

Section 8. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 9. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 10. The City Clerk shall certify to the passage and adoption of this Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)
COUNTY OF ORANGE)
CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at a regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”

**Zoning Code Amendment 2024-02
(Comprised of Item #1 – Item #18)**

**MODIFICATIONS TO THE CITY OF YORBA LINDA ZONING CODE
(TITLE 18 OF THE YORBA LINDA MUNICIPAL CODE) AND ZONING MAP**

ITEM #1. Table 18.10-2 (Residential Development Standards) of the Yorba Linda Zoning Code is amended as follows:

**TABLE 18.10-2
RESIDENTIAL DEVELOPMENT STANDARDS⁷**

	Zones							
Standard	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30
Maximum density (units per acre)	1.0	1.0	1.8	3.0	4.0	10.0	20.0	30.0
Minimum lot size ¹	1 acre	39,000 sq. ft.	15,000 sq. ft.	10,000 sq. ft.	7,500 sq. ft.	15,000 sq ft	1 acre	1 acre
Minimum lot width	130 ft.	110 ft.	100 ft.	80 ft.	75 ft.	100 ft.(corner) 125 ft.(interior)	135 ft. (corner) 165 ft. (interior)	135 ft. (corner) 165 ft. (interior)
Minimum lot depth	150 ft.	170 ft.	150 ft.	100 ft.	100 ft.	100 ft.(corner) 125 ft.(interior)	135 ft. (corner) 165 ft. (interior)	135 ft. (corner) 165 ft. (interior)
Maximum lot coverage	35%	35%	35%	35%	40%	45%	65%	70%
Maximum building height	35 feet, or 2 stories, whichever is less ²						40 feet or 3 stories, whichever is less	50 feet or 4 stories, whichever is less
Minimum front yard setback	40 ft.	35 ft.	30 ft.	25 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Minimum side yard setback (interior)	-- ³	-- ³	-- ³	10 ft.	-- ⁴	-- ⁴	-- ⁴	-- ⁴
Minimum side yard setback (street)	-- ³	-- ³	-- ³	10 ft.	10 ft.	10 ft. ⁵	10 ft. ⁵	10 ft. ⁵
Minimum rear yard setback	45 ft.	40 ft.	25 ft.	25 ft.	25 ft.	20 ft.	20 ft.	20 ft.
Minimum building separation ⁶	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	20 ft.	20 ft.
Minimum dwelling size	1,500 sq. ft.	1,500 sq. ft.	1,500 sq. ft.	1,500 sq. ft.	1,300 sq. ft.	Studio = 750 sq. ft., 1 BR = 900 sq ft., 2 BR = 1,000 sq. ft., 3 BR = 1,200 sq. ft.	Studio = 550 sq. ft., 1 BR = 675 sq ft., 2 BR = 700 sq. ft., 3 BR = 900 sq. ft.	Studio = 550 sq. ft., 1 BR = 675 sq ft., 2 BR = 700 sq. ft., 3 BR = 900 sq. ft.

Minimum parking per dwelling unit	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	Studio – 2 bdrm = 2 covered plus 1 covered or uncovered 3+ bdrm = 2 covered plus 1.5 covered or uncovered	Studio = 1 covered; 1 bdrm = 1 covered + 0.8 uncovered; 2 bdrm = 1 covered + 1 uncovered; 3+ bdrm = 1 covered + 1 uncovered Guest: Studio = 0.75 per unit; 1 bdrm = 0.5 per unit; 2 bdrms = 0.5 per unit; 3 or more bdrms = 1.5 per unit	Studio = 1 covered; 1bd = 1 covered + 0.8 uncovered; 2bd = 1 covered + 1 uncovered, 3+ bdrm = 1 covered + 1 uncovered, Guest: Studio = 0.75 per unit; 1 bdrm = 0.5 per unit; 2 bdrms = 0.5 per unit; 3 or more bdrms = 1.5 per unit
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- ¹ Any legally established lot that is at least 4,000 sq. ft. and has a minimum twenty foot (20') wide vehicular access to a street may be used as a building site.
- ² Steeples, crosses and other religious symbols on churches and religious institutions may exceed the height limit in accordance with Section 18.24.110. See also Section 18.10.110.H and Section 18.26.030 of the Zoning Code for additional design standards related to height determinations for structures.
- ³ Side yard setbacks in R-A, RLD and R-E zones shall be ten percent (10%) of the lot width, but not less than ten (10) feet, and need be no more than twenty (20) feet.
- ⁴ Interior side yard setbacks in R-U and R-M, R-M-20, and R-M-30 zones shall have a cumulative total of both side yards of twenty (20) feet; however, in no case shall a side yard be less than five (5) feet.
- ⁵ Front yard setback requirements shall be applied to all property frontages facing public streets for the R-M, R-M-20, and R-M-30 zones.
- ⁶ The required 10-foot building separation standard shall not apply to small accessory structures as defined in Section 18.10.120.B. However, if the combined area of multiple small accessory structures located within three (3) feet of each other exceeds a combined one hundred twenty (120) square feet, each structure shall be considered a large accessory structure.
- ⁷ Residential properties having a slope gradient of 15 percent (15%) or greater shall comply with the regulations contained in Chapter 18.30 of this title.

ITEM #2. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at the southeast corner of Rose Drive/Blake Rd – APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200) will change from “Residential Estate” (RE) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #3. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4791 and 4811 Eureka Avenue – APN #334-101-39, -40 (Site S3-082) will change from “Commercial – General” (CG) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #4. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5300-5393 Richfield Road – APN #343-591-05, -06, -07, -25 (Site S3-207) will change from “Residential Urban” (RU) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #5. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4742 Plumosa – APN #323-311-03 (Site S4-075) will change from “Commercial – General” (CG) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #6. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5005 and 5079 Mountain View Ave – APN #343-582-12, 343-281-07 (Site S3-024) will remain as “Residential Estate” (RE) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a

maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #7. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 17151 Bastanchury Rd – APN #322-173-04, -07 (Site S2-008) will remain as “Residential Estate” (RE) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #8. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5320 Richfield Rd – APN #343-591-01, -02, -03 (Site S3-012) will remain as “Residential Urban” (RU) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #9. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4861 Liverpool St – APN #334-292-18 (Site S2-013) will remain as “Residential Urban” (RU) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #10. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 18021-18111 Bastanchury Rd – APN #323-171-07, -08, -09 (Site S3-210) will remain as “West Bastanchury Planned Development” (PD) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #11. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 16951 Imperial Highway – APN #322-121-07, -08 (Site S1-021) will remain as “Commercial General” (CG) in the “Imperial Highway Combining Zone” (I) and will also be subject to the “Mixed-Use Overlay” (MUO)

which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less.

ITEM #12. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 18597-18602 Altrudy Ln – APN #323-231-18, -19 (Site S4-200) will change from “Residential Suburban” (RS) to “Residential Multi-family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #13. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 19081-19111 Yorba Linda Blvd – APN #323-081-35, -36 (Site S4-204B) will change from “Residential Estate” (RE) to “Residential Multi-family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #14. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4341 Eureka Ave – APN #323-071-03 (Site S3-034) will change from “Residential Suburban” (RS) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #15. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5225-5227 Highland Ave – APN #343-561-08, -09 (Site S3-205A) will change from “Residential Estate” (RE) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

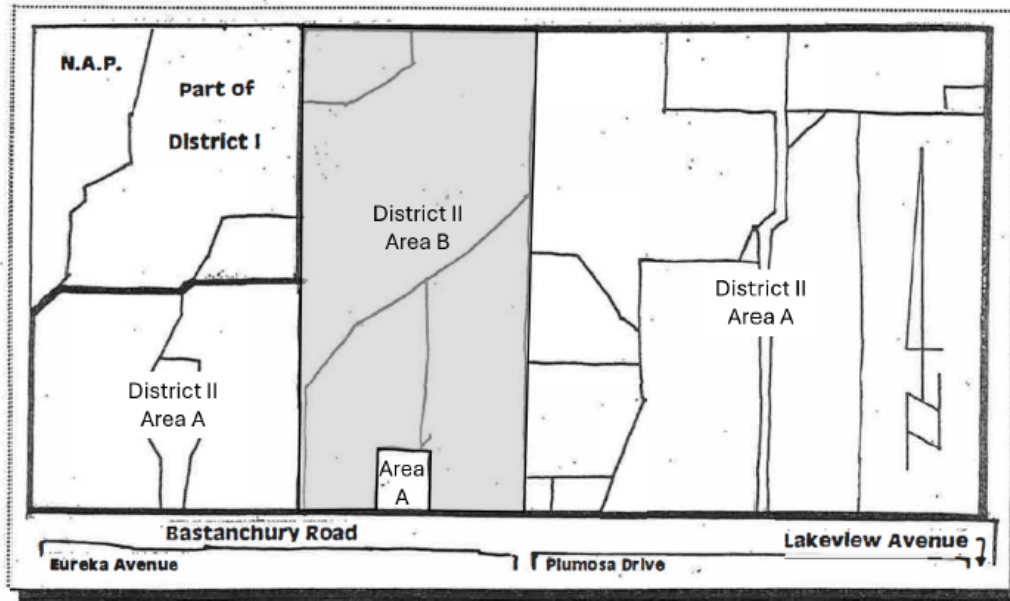
ITEM #16. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 17651 Imperial Highway – APN #323-051-26, -027 (Site S3-211) will change from “Residential Suburban” (RS) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #17. The West Bastanchury Planned Development (PD) text for District II is amended as follows:

WEST BASTANCHURY PRD DISTRICT II

District II Map



- Size:** 66.5 acres
- Density:** 1.0 dwelling units per acre (Area A) & no more than 98 total units (Area B)
- Location:** the northwest quadrant of Bastanchury Road and Lakeview Avenue, except for the westerly 17 acres (District I)
- APNs:**
 Area A
 323-171-05,06,07, 323-181-02,03, 323-121-01,02,03,04,05
 323-191-01,02,03,04,05,06,07,08
 Area B
 323-181-04 (max 18 units) & 323-181-05,06,07 (max 80 units)
- Uses**
- Permitted:** Same as for RA (Residential Agricultural) zone for Area A and RM for Area B
- Development**
- Standards:** Same as for RA for Area A and same as RM for Area B
- Street**
- Standards:** Rustic - rolled curb with no sidewalks, unless sidewalks determined necessary for public safety; trail(s) may be used to provide access to arterials
- Trails:** Provide for equestrian trail connection with the Vista Del Verde Master Planned Community along the northern perimeter of District II
- Arterial**
- Access and**
- Setbacks:** With new subdivisions, no lots to front on or take access from the arterial (Bastanchury and/or Lakeview); there shall be a twenty-five foot landscape setback (measured from curb) to perimeter wall (sidewalk and/or trail included within this setback)

ITEM #18. The Savi Ranch Planned Development (PD) text is amended as follows:ZONING CODE AMENDMENT 2024-02 AMENDING SAVI RANCH PD

Conditions or circumstances not specifically provided for in these regulations, shall be regulated by provisions of the Yorba Linda Zoning Code. In cases of conflict between provisions of the Yorba Linda Zoning Code and provisions in the Commercial Retail designation of the Savi Ranch PC zone, the following regulations shall prevail:

1. DEFINITION

Commercial Retail - this area is intended for commercial retail users, primarily "big box development, major retailers of considerable size, and support commercial uses within the designated retail center.

2. PROPERTY DEVELOPMENT STANDARDS

Lot area	10,000 sq.ft.
Lot width	60 ft.
Lot depth	100 ft.
Front Yard Setback	5 ft.
Side Yard Setback	-
Side Yard (Street Side)	5 ft.
Rear Yard Setback	-
Max. Bldg. Height	45 ft.

3. PERMITTED USES

The following uses are permitted or conditionally permitted in the Commercial Retail designation of the PC Zone for Savi Ranch:

<u>POTENTIAL USES</u>	<u>PERMITTED/CUP</u>
Alcoholic Beverage Sales	C
Ancillary Food & Beverage Sales	P
Apparel Store	P
Appliance Store	P
Books, Gifts & Stationary Store	P
Cellular Antenna Sites	C
Commercial Recreation Facilities	C
Computer Store	P
Convenience Store	C
Department Store	P
Drive Through Restaurants	C
Drug Store\Pharmacy	P
Furniture Store	P
General Retail	C
Grocery Store	P
Hardware\Home Improvement	C
Health Club	C
Hotel\Motel	C
Movie Theater	P
Music\ Video Store	P
Office Supplies	P
Pet Store	C
Restaurant	P
Retail Warehouse Store	P
Sporting Good Store	P
Toy Store	P
Vehicle Sales and Leasing	C
Video Arcade	

Uses of a similar nature and intensity as the above mentioned uses, as well as temporary uses, may be permitted with the approval of the Community Development Director.

Uses which do not pertain to a retail commercial center would not be permitted. Such uses include, but are not limited to the following: service\gas stations, car washes, churches, educational facilities, office uses, catering, medical facilities, etc.

Certain parcels identified in the 2021-2029 Housing Element and in Zone Change 2024-002 are permitted to allow for residential use at a minimum density of forty (40) dwelling units per acre and a maximum of sixty (60) dwelling units per acre.

4. PARKING

Off street parking standards shall be the same as those described in the Yorba Linda Zoning Code, Chapter 18.22, with the exception of Section 18.22.040.D.5 which requires a minimum of six foot wide landscape planters between facing rows of parking. Instead, a combination of six foot wide planters and/or diamond shaped tree wells between the facing rows of parking will be permitted in the **Commercial Retail** designation of the Savi Ranch PC Zone.

5. SIGNAGE

- a. For the shopping center, there shall be allowed two illuminated, freestanding-base mounted identification signs at the entrance to the center, not to exceed 100 square feet in area per side and eight feet in height. A minimum of 15 percent or more of said sign shall be allocated for the shopping center's name, with not more than 85% of the sign being allocated for up to eight individual tenant i.d. panels.

- b. For each use\tenant, one primary sign over the front entrance is allowable with the following maximum sign area:

<u>Building Square Footage</u>	<u>Max. Sign Area</u>	<u>Letter Height</u>
Tenants 45,000 s.f. to 130,000 s.f.	300 square feet	7 feet*
Tenants 20,000 s.f. to 44,999 s.f.	200 square feet	6 feet*
Tenants 12,000 s.f. to 19,999 s.f.	150 square feet	4 feet*
Tenants under 12,000 s.f.	100 square feet	3 feet*

* Initial capital letter may exceed letter height by 1 foot.

- c. For each use\tenant, a secondary sign is permitted, which shall be placed on a side of the building fronting on a street, parking lot, or major drive aisle, and may not exceed 60% of the sign area of the primary sign allowed for such tenant. If a building has more than two sides fronting onto a street, parking lot, or major drive aisle, the tenant may request approval for a third sign from the Community Development Director.
- d. Individual monument signs, internal directional signs, menu boards shall follow the specification of the Zoning Code, or as otherwise approved by the Community Development Director.
- e. A movie theater marquee must be mounted on the theater building and may not exceed the maximum sign area established above. The theater marquee shall be in addition to the allowable building signage for the theater.

General sign specifications shall be the same as those described in the Yorba Linda Zoning Code, Chapter 18.24.

SAVI RANCH (PD)

PROPERTY DEVELOPMENT STANDARDS

	OFFICE & COMMERCIAL	SUPPORT COMMERCIAL	INDUSTRIAL R&D	COMMERCIAL RETAIL
LOT AREA*	½ acre	½ acre	½ acre	10,000 sq. ft.
LOT WIDTH	150 ft.	100 ft.	100 ft.	60 ft.
LOT DEPTH	150 ft.	100 ft.	100 ft.	100 ft.
FRONT YARD	20 ft.	20 ft.	15 ft.	5 ft.
SIDE YARD, STREET SIDE	20 ft.	20 ft.	15 ft.	5 ft.
SIDE YARD	10 ft.	10 ft.	10 ft.	—
REAR YARD	10 ft.	10 ft.	0 ft.	—
BUILDING HEIGHT	55 ft.**	35 ft.	55 ft.***	45 ft.***
MAXIMUM DWELLING SIZE	—	—	—	—
DISTANCE BETWEEN BUILDINGS	—	—	—	—
LOT COVERAGE (MAXIMUM)	60%	35%	50%	—

* Condominium sites for office, commercial, and industrial uses shall not have minimum building parcel size.

** No building shall exceed a height of 55 feet, except that subject to a Conditional Use Permit buildings (in Office and Commercial area) may be constructed to a height of 12 stories.

*** On Housing Element sites, the maximum building height shall be 85 feet and no more than five residential stories. For mixed use development on Housing Element sites, the maximum height of 85 feet may be exceeded through the approval of a Conditional Use Permit and Design Review. In no case shall the building height exceed one hundred (100) feet.

P.C. OFFICE AND INDUSTRIAL PARK ZONE

FILE

SECTION 1 - PURPOSES

For Savi Ranch

The purpose of the P.C., Office and Industrial Park Zone is to accommodate the introduction of various office, commercial, and industrial and open space uses into a single comprehensive development. The Office and Industrial Park Zone will facilitate the integration of these uses in a manner which creates a functional and aesthetically pleasing employment complex. Four land use categories constitute this zone in accordance with the following purposes (refer to attached map for location of land use areas):

- A. Office and Commercial - this area is intended as a location for uses of an office or primarily retail commercial function. The area will accommodate multi-story office buildings as well as retail commercial uses serving a clientele located outside as well as within the Office and Industrial Park Zone.
- B. Support Commercial - this area is intended as a location for low intensity commercial, office, or recreational uses. Topographic considerations such as significant slopes and land area preclude high intensity development yet offer opportunities for low intensity uses having good visibility from the Riverside Freeway.
- C. Industrial/Research and Development - this area is intended as a location for high technology industries primarily in fields of electronics, instruments, and machinery which are labor-intensive, growth oriented, and environmentally clean, as well as related and complimentary light industrial and service commercial uses.
- D. Open Space Preserve - this area is intended for passive and active open space uses. It is intended that this area will serve as an open space link between Yorba and Featherly Regional Park, as well as an area for the recreational uses ancillary to the employment complex. This area is coterminous with the City of Yorba Linda zoning.

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SECTION 2 - PERMITTED USES

A. Office and Commercial

Offices

- . General retail
- . Food service
- . Hotels and motels
- . Medical, dental and related health care services for humans
- . Nurseries
- . Public service utility offices
- . Recreational facilities
- . Service stations
- . Parking facilities
- . Theaters and entertainment complexes
- . Veterinary offices
- . Public utility installations
- . Roads
- . Temporary uses as permitted by the Planning Director
- . Uses of a similar nature and intensity as the above.

- . Certain parcels identified in the 2008-2014 Housing Element and in Zone Change 2011-01B are permitted to allow for residential use at a maximum density of thirty (30) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less, in accordance with the property development standards set forth in the "Residential Multiple-Family 30" (R-M-30) zone.

- . Certain parcels identified in the 2021-2029 Housing Element and in Zone Change 2024-002 are permitted to allow for residential use at a minimum density of forty (40) dwelling units per acre and a maximum of sixty (60) dwelling units per acre.

B. Support Commercial.

Convenience packaged-good retail stores

Hotels, motels, inns

Food service

Offices

Public utility installation

Roads

- Temporary uses as permitted by the Planning Director
- Vehicle sales facilities (conditional use permit required)
 - Includes ancillary support services that operate in conjunction with a vehicle sales facility (e.g. vehicle repair and vehicle rental) - conditional use permit required
- Uses of a similar nature and intensity as the above.
 - However, uses such as commercial recreation (e.g. dance and martial arts studios), tutoring facilities, and churches / temples / religious institutions are expressly prohibited within the zone.
- Certain parcels identified in the 2008-2014 Housing Element and in Zone Change 2011-01B are permitted to allow for residential use at a maximum density of thirty (30) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less, in accordance with the property development standards set forth in the "Residential Multiple-Family 30" (R-M-30) zone.

C. Industrial/Research and Development

Blueprinting, printing, xerox and related service uses

Distribution, storage, wholesaling and warehousing uses Food service

General manu. turing and assembly uses Industrial and office condominiums Offices

Repair shops

- Testing facilities
- Uses engaged in research, laboratories and compatible light manufacturing
- Parking facilities
- Public utility installations
- Roads
- Temporary uses as permitted by the Planning Director
- Uses of a similar nature and intensity as the above.
- Certain parcels identified in the 2021-2029 Housing Element and in Zone Change 2024-002 are permitted to allow for residential use at a minimum density of forty (40) dwelling units per acre and a maximum of sixty dwelling units per acre.

D. Open Space Preserve

- Flood and Road Projects flood control channels, levees, spreading grounds and basins, roads, bridges and storm drains constructed in accordance with plans meeting the approval of the City Engineer
- Agriculture - all permitted agricultural use types except agricultural processing and tree crops
- Park Projects - parks, campgrounds, picnic grounds, trails, wildlife and natural preserves, and similar open space uses.

The following uses are permitted subject to the issuance of a Conditional Use Permit:

Public utility facilities

Temporary structures which can be readily removed within the time available for flood warning

Recreation areas, parks, campgrounds, playgrounds, fishing lakes, hunting clubs, riding and hiking trails, golf courses, athletic fields, parking lots, wildlife and natural preserves, and similar open space uses without permanent structures or improvements, except restrooms

Excavation and removal of rock, sand, gravel and other materials.

The following uses are specifically prohibited:

Landfills

Excavations that will tend to broaden the floodplain or direct flood flows out of the natural floodplain

Human habitations

Storage of flutable substances or materials which will add to the debris load of a stream or watercourse

* Storage of Dangerous Material - storage of chemicals, explosives,
** flammable liquids or other toxic materials.

B. Off-Street Parking

Off-street parking standards shall be the same as expressed in Section 14 of the Yorba Linda Zoning Ordinance, except that a maximum of twenty-five (25) percent of required off-street parking spaces may be designed to accommodate compact automobiles. Compact vehicle parking spaces shall have a minimum dimension of 8 feet by 16 feet.

SECTION 4 - PERFORMANCE STANDARDS

Performance standards, governing noise standards; landscaping maintenance, screening of mechanical equipment, odor, radioactivity, heat and glare, vibration, fire and explosion hazard and outdoor storage area shall be governed the City of Yorba Linda Zoning Ordinance.

SECTION 5 - SIGNS

Signs shall be governed according to Chapter 18.24 of the Yorba Linda Zoning Ordinance with the following exceptions:

- A. In the Office and Commercial sub area, buildings in excess of two (2) stories shall be permitted to exceed 30 square feet per building sign subject to the approval of the Community Development Director.
- B. In the Support Commercial sub area, each use shall be permitted one lighted freestanding sign not exceeding 75 square feet in area.
- C. In the Industrial/Research and Development sub area, freestanding signs shall be ground-mounted or monument type signs (as opposed to pole or pylon) and shall not exceed a height of six (6) feet.

SECTION 6 - SPECIAL REQUIREMENTS FOR HOUSING DEVELOPMENT

- A. Uncovered parking spaces, common open space areas, and private patios and stoops shall be permitted within setback areas provided that a masonry wall six feet in height and screen landscaping at least 5 feet in width is erected and maintained between such uses and the property line. In addition, uncovered parking spaces within front and street-side setback areas, however, shall be located a minimum of 10 feet from the property line as required in Section 18.22.040 (C)(2)(f).
- B. Landscaping. The following landscaping standards shall apply. These standards shall override Section 18.10.110 (C)(2) and 18.10.110 (C)(3), if applicable:
 1. A minimum 50 percent of the building site area, exclusive of building footprints, shall be landscaped and provided with an adequate underground irrigation system.
 2. A minimum of 25 percent of the building site area, exclusive of building footprints, shall accommodate private, active patio areas or active areas for common use of residents such as BBQs, playgrounds, hardscape features, and outdoor seating areas. The active areas for common use of residents shall comprise no less than one-fifth of this 25 percent of building site area.
- C. The minimum unit size shall be:
 1. Studio units: 400 square feet
 2. 1-bedroom units: 600 square feet
 3. 2-bedroom units: 700 square feet
 4. 3-bedroom units: 900 square feet



STAFF REPORT

CITY of YORBA LINDA

PUBLIC WORKS DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: JAMIE LAI, P.E., DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
PREPARED BY: JOSE ROMANI, ASSISTANT ENGINEER

SUBJECT: ENCROACHMENT ON THE PUBLIC RIGHT-OF-WAY REQUEST – 17812 CABALLO DRIVE

RECOMMENDATION

It is recommended that the City Council:

- 1) Authorize the construction of a secondary driveway approach on 17812 Caballo Drive, and
- 2) Determine such encroachments will not adversely impact the Public Right-of-Way (ROW), or the general public safety, and
- 3) Require the property owner(s) at 17812 Caballo Drive to execute a Declaration of Restrictive Covenants Agreement pursuant to City Council Policy E-5.

BACKGROUND

The property owner (Mr. Steve Leathers) residing at 17812 Caballo Drive (subject property, see Exhibit A) is requesting a secondary driveway approach (improvement) for RV parking and storage on his side yard. The existing, primary driveway is too steep for ingress/ egress. This request generally does not conform with the City of Yorba Linda's Municipal Code §18.10.10 (C5). The proposed improvement is not classified as a circular driveway and the proposed location of the improvement conflicts with the vision triangle for street corners (see Exhibit B). Currently, there is existing vegetation on the northeast corner of the subject property, which limits the adequate sight distance that is required per the Vision Triangle – Street Corner (see Exhibit C).

However, certain driveway curb cuts may be granted on a case-by-case basis, subject to approval by the Community Development Director and the City Engineer. The property owner obtained the signatures of all twenty-three (23) residents on Caballo Drive in support of the improvements.

DISCUSSION

The City's current Policy E-5, adopted in 2023, addresses the use of City-held easements and improvement(s) in the public right-of-way (ROW). In the Encroachment Permit section of the E-5 Policy, "no significant impact" is defined as less than one foot of encroachment onto City-owned property / easement / public right-of-way (See Exhibit D). The policy continues to state that over one foot of encroachment constitutes a property / easement vacation process or a Declaration of Restrictive Covenant agreement (See Exhibit E).

The proposed improvement(s) within the ROW were evaluated by the property owner, Public Works and Planning staff, and determined to have no physical adverse effects on the ROW and do not adversely impact existing buildings, adjacent properties, or the safety of the general public. The side yard setback and driveway dimensions are met with the proposed design. Staff recommends that the proposed improvement(s) within the ROW be permitted and requests authorization for the City Manager to grant the subject property owner(s) an Encroachment Permit for the proposed improvement(s) on the ROW, and to enter into a Declaration of Restrictive Covenants Agreement (Agreement). This Agreement requires the Subject Property owner(s) to bear any costs for damage to the ROW and includes an indemnity clause to protect the City from any future liability or lawsuits relating to the improvement(s). In addition, the property owner would be responsible for the removal or replacement costs of said improvement(s) in any event and shall maintain the vision triangle area from any obstructions, including but not limited to vegetation, etc., to meet the Vision Triangle requirements. The Agreement will be recorded with the County and will bind all future owners of the property. The Encroachment Permit shall not take effect until all terms of the Agreement are satisfied.

FISCAL IMPACT

None. The subject property owner(s) will be required to pay for the recording of the Agreement and staff time associated with processing any permits, as allowed in the City's Fee Schedule. The subject property owner(s) would be responsible for the removal/replacement costs of said improvement(s) in the ROW and to maintain the vision triangle area at all times at their expense.

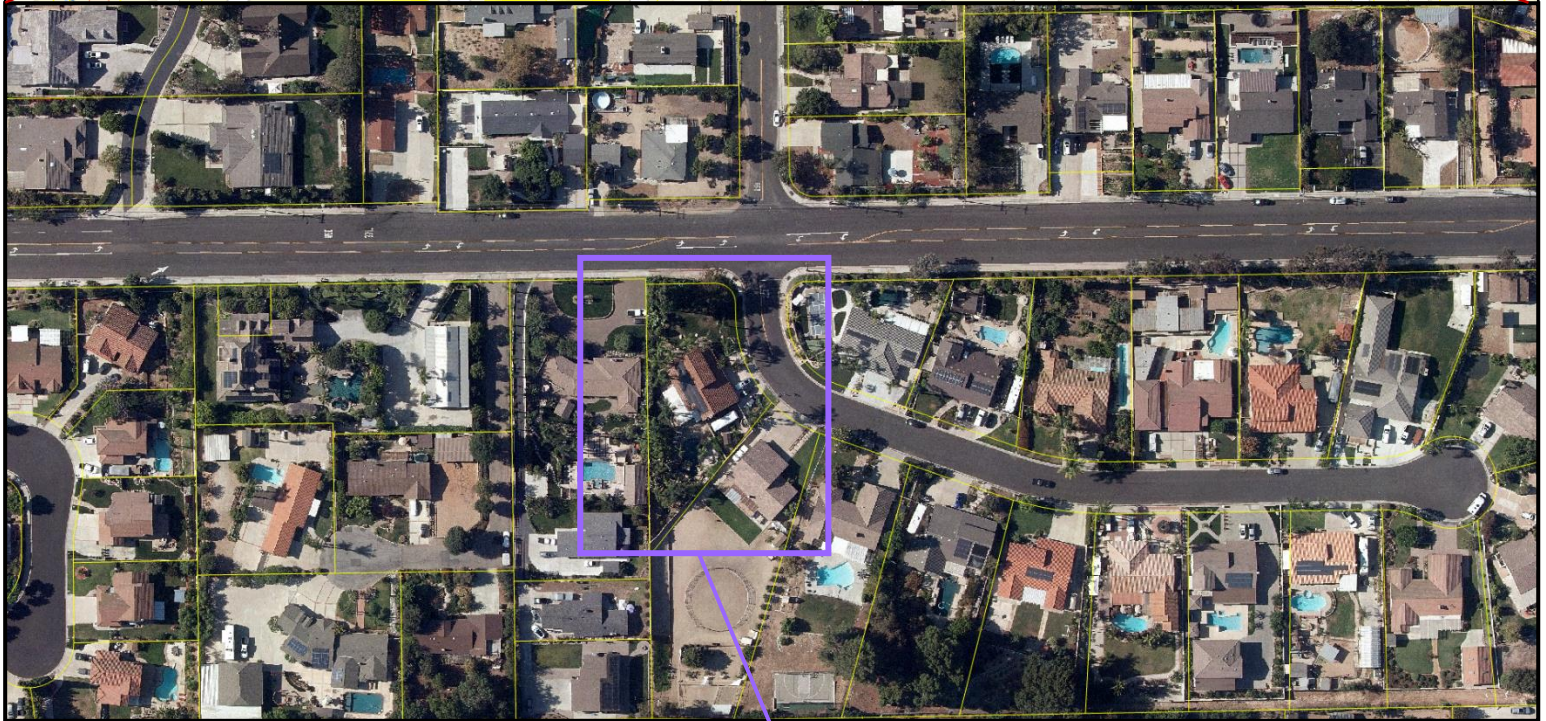
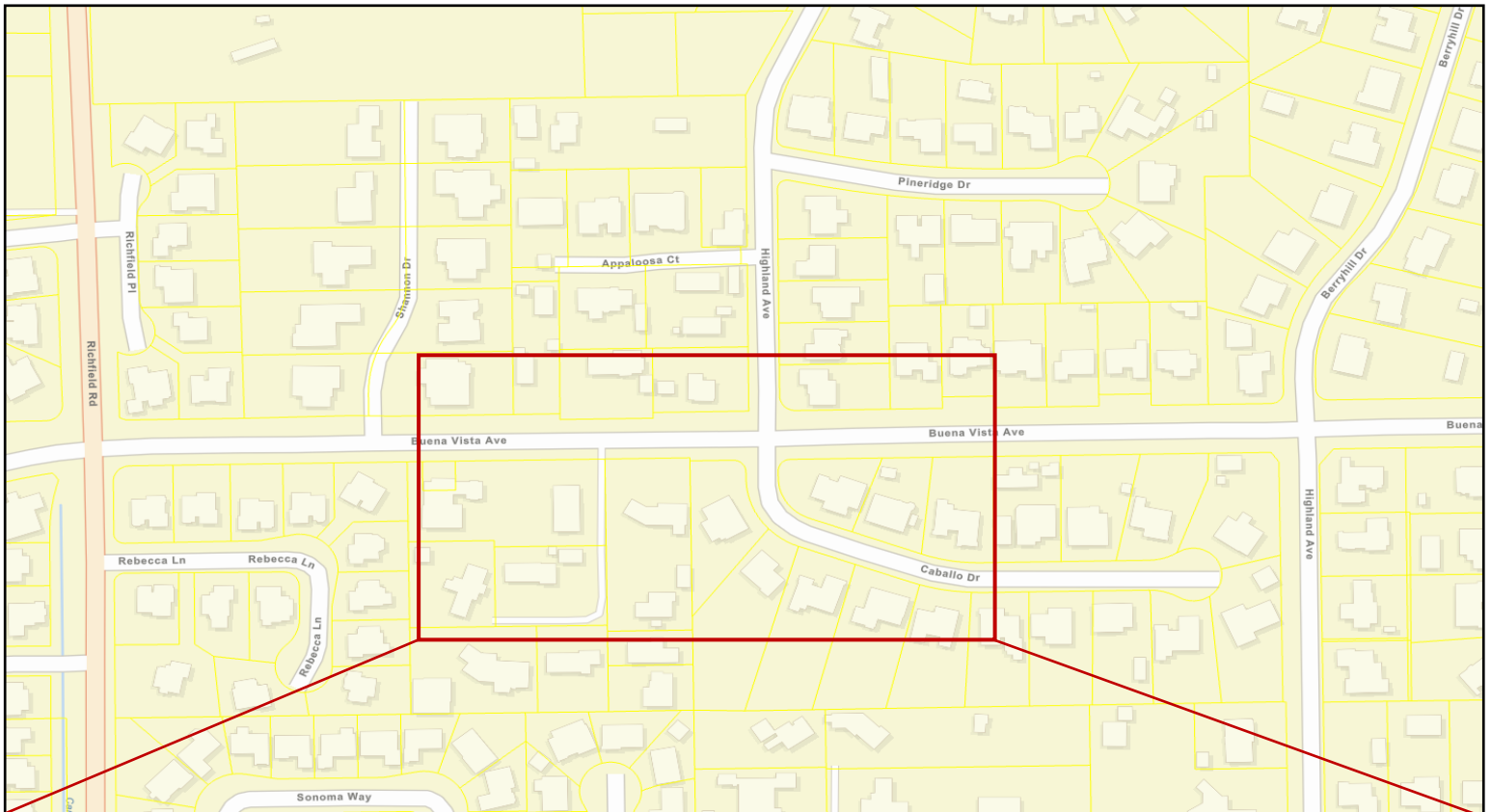
ALTERNATIVES

Deny the subject property owner(s) improvement within the ROW. The property will need to restore any damage to the ROW back to its original condition.

ATTACHMENTS

- Exhibit A: Vicinity Map
- Exhibit B: Site Plan with Improvements
- Exhibit C: Vision Triangle – Street Corner
- Exhibit D: E-5 Encroachment Policy
- Exhibit E: Declaration of Restrictive Covenant agreement

EXHIBIT A: VICINITY MAP



City of Yorba Linda
Public Works
Vicinity Map

17812 Caballo Drive

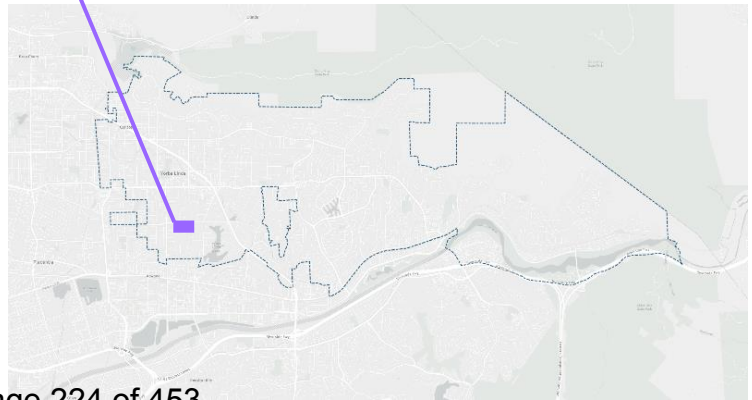


EXHIBIT B: SITE PLAN WITH IMPROVEMENTS

BUENA VISTA AVE.



PUBLIC R.O.W

VISION TRIANGLE

PROPERTY LINE

PROPOSED
CONCRETE DRIVEWAY
APPROACH PER
OCPW STD. 1209
W=25 FT.
X=2 FT.

10 FEET 11 INCHES

PROPOSED
CONCRETE SLAB
640 SQ. FT

29 FEET

PROPOSED
DRIVEWAY

23 FEET

EXISTING DRIVEWAY
APPROACH

PUBLIC R.O.W

17812 CABALLO DRIVE

PROPERTY LINE

EXHIBIT C: VISION TRIANGLE

§ 18.26.090. Fences, walls, and hedges.

Fencing or walls are permitted between individual single-family units. Walls and/or fences shall be required between single-family lots and lots developed with higher density residential uses. Fences or walls shall be provided between institutional, commercial, and/or industrial uses and the residential use.

The use of barbed wire, electrified fence, or razor wire in conjunction with any fence, wall, hedge, or by itself, within any residential zone is prohibited unless required by law or regulation of the City, the State of California, Federal government, or agency thereof.

Six-foot high chain link fencing is permitted at all property lines for any vacant lots or buildings. The chain link fence shall be removed from the front yard and any other location adjacent to a public street by the owner/applicant at the time of occupancy. For developed property, chain link fencing shall not be permitted within any front yard area or along any property line adjacent to a public right-of-way.

Except as provided herein, the maximum height of all fences and walls for all locations except the required front yard is six feet from top to finished grade for the face of the wall facing an adjacent property, and nine feet from top to finished grade for the face of the wall facing the subject property as shown in Figure 18.26-4. The maximum height of individual retaining walls shall not exceed nine feet, and shall also be subject to the provisions of Chapter 18.30 (Hillside Development) of this code.

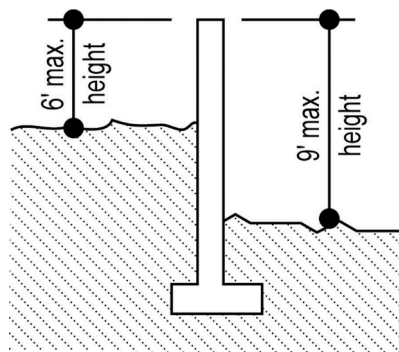


Figure 18.26-4 Fence Height

Fences and walls within the front yard setback shall not exceed 36 inches in height.

The foregoing wall/fence height limitations shall not apply to estate fences as defined in Section 18.04.060, in which case estate fences may exceed the height limits of this section subject to approval of a conditional use permit.

A corner cut-off area shall be provided at the intersection of all streets. The corner cut-off area along the right-of-way line shall be reserved for the purpose of maintaining adequate sight distance. The triangle formed shall have a minimum dimension of 20 feet as depicted in Figure 18.26-5 unless determined by the City Engineer that additional

distance is necessary to maintain adequate sight distance. No vegetation shall be planted or allowed to grow, nor shall any structure be placed in the sight vision area in a manner that obstructs visibility or threatens vehicular or pedestrian safety as determined by the City Engineer or the Community Development Director. Only traffic control devices, traffic signs, utility poles, transformers, pedestals, or other similar traffic control devices may be located within the sight visibility area.

A corner cut-off area shall be provided at the intersection of each driveway and a public street, sidewalk, or other right-of-way in the form of a triangle with a minimum dimension of 10 feet as depicted in Figure 18.26-6 unless determined by the City Engineer that additional distance is necessary to maintain adequate sight distance. This area shall be kept free of obstructions, fences, trash containers, so that traffic visibility is maintained.

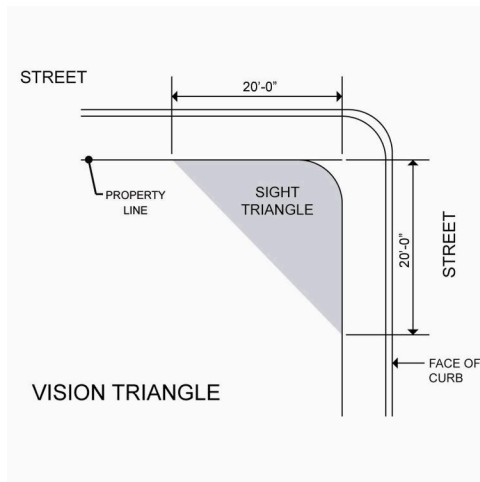


Figure 18.26-5 Vision Triangle—Street Corner

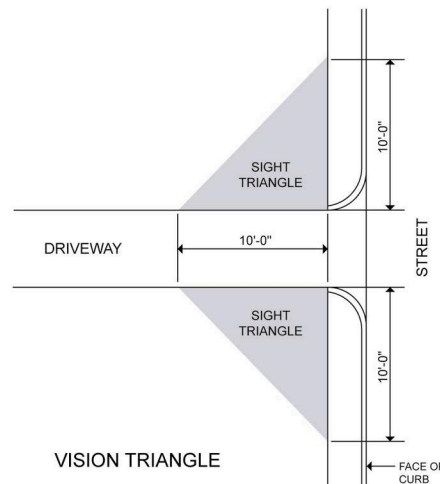


Figure 18.26-6 Vision Triangle—Driveway

(Ord. 2004-884 ; Ord. 2019-1056 § 3)

EXHIBIT D: ENCROACHMENT E-5 POLICY

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 1

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

I. PURPOSE

To establish City guidelines and procedures for issuing permits for encroachments within City easements; to establish guidelines by which permits for encroachments within City easements may or may not be considered; and to identify the difference between a request for an encroachment permit as compared to a request for a vacation of a City easement. Encroachments include development, construction on, or use of City easements and public right-of-way.

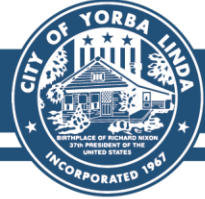
II. BACKGROUND

The City holds easement rights over properties citywide for various defined uses. Where easements have been granted to the City, the fee title to the property is owned by the underlying property owner. However, the rights of the property owner are subject to the rights that the City possesses pursuant to the City's easement.

There are five typical types of easements held by the City:

- 1) Right-of-way easements are typically for street purposes that allow for utilities and transportation purposes, such as a roadways, trails, sidewalks, and pedestrian paths.
- 2) Access easements allow the City to ingress and egress through private property to service, maintain, or monitor a City facility within or beyond the property.
- 3) Underground structure/utility easements are typically located over a City-owned buried structure or utility (*i.e.*, a storm drain or other City-owned infrastructure), and generally restrict the type of use on the land above the infrastructure to protect it from damage and to allow access should the infrastructure need to be excavated and repaired.
- 4) Drainage easements allow for the conveyance of storm-water runoff over the encumbered property and restrict the type of use and improvements on the land to ensure proper conveyance of the established drainage.
- 5) Maintenance easements restrict the use of the land within the easement area and allow the City control of the land surface. The City uses maintenance easements throughout the City to maintain landscape areas and trails for public benefit and enjoyment.

The City frequently receives requests from property owners to allow for specific uses or construction within the limits of City easements. For requests that primarily seek private use of a City easement, such requests more appropriately should be processed as a vacation of the City's easement to reflect the private nature of the proposed use. Therefore, this policy distinguishes between those requests that are appropriately

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 2

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

encroachment permits and those requests that should be processed as easement vacations. Access, underground structure/utility, and drainage or other similar related easements should not be vacated due to public safety reasons.

III. POLICY

The City, in accordance with California and federal law, has property rights as an easement holder. Property owners and easement holders shall retain all rights granted to each under the law. The intent of this policy is to clarify basic requirements to be implemented in regard to encroachments within City easements to ensure proper safety and protection of the public, public property, and public infrastructure. The City will apply the following restrictions and exceptions to the use of land within City easements.

As the owner of the City easements, the City will apply the following restrictions and exceptions to the use of land within City easements. Because there is an element of public safety to some easements, any existing unauthorized encroachments into access, drainage, or underground structure/utility easements (or similar public safety related easements) that interfere with the proper use of the easement shall be removed within 30 days of receiving written notice by the City unless specifically authorized in this Policy. Existing unauthorized encroachments within access, drainage, or underground structure/utility easements (or similar public safety related easements) may remain only by City Council approval, or as noted herein by City Manager or designee on an individual case-by-case basis.

Right of Way Easements: Obstruction of right of way easements is prohibited. Private improvements are not permitted within right of way easements that inhibit the use of utilities, trails, sidewalks, pathways, and roadways. At the discretion of the City Engineer, the City may permit an exception to allow private landscaping and minor hardscapes within parkways. Private landscaping and improvements are not permitted in landscaped areas that are maintained by the City.

Access Easements: Obstruction of access easements is prohibited. Stored vehicles or materials shall not be placed within an access easement area. Trees or other objects are not permitted to interfere with the free and clear access within the easement limits. At the discretion of the City Engineer, the City may permit an exception to allow a gate across the access easement. However, any permitted gate must remain unlocked by the permittee at all times or locked with a City-owned padlock. No electronic operated gates will be allowed.

Drainage Easements: Obstruction of drainage easements is prohibited. Trees, walls, structures, and intrusive hardscape are prohibited within the easement area. The easement area may not be used for storage. At the discretion of the City Engineer, the City may permit an exception to allow a gate or fence perpendicularly across the drainage

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 3

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

easement. However, any permitted gate must remain unlocked by the permittee at all times or locked with a City-owned padlock and allow for the proper conveyance of storm-water runoff.

Underground Structure/Utility Easements: Trees, walls, structures, and intrusive hardscape are prohibited within the easement area. At the discretion of the City Engineer, the City may permit gates to be constructed perpendicularly across to the easement. Any accessory items or uses within the easement must be easily moveable, as determined by the City Engineer. The easement area may be used for storage, but items must be removed immediately upon City request to allow access to the underground infrastructure. The City will not be responsible for reconstruction or repair of private improvements constructed within the easement area.

Maintenance Easements: Encroachments, including privately owned, fixed or permanent structures, into the easement area are prohibited unless specifically allowed as outlined in the sections below.

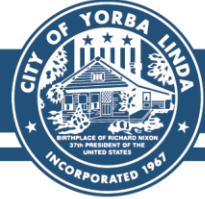
IV. PROCEDURES

Requests for authorization to encroach within the limits of City easements may be issued under the following guidelines:

A. Temporary Encroachment

The City Manager or his designee may issue an encroachment permit with conditions for the construction of temporary improvements that encroach onto City easements. The term of the encroachment permit issued under this policy may not exceed one (1) year. Such improvements shall be able to be removed quickly and easily within ten (10) calendar days of notice to remove such items from the City. Encroachment permits for temporary improvements may be renewed for up to five one-year periods at the discretion of the City Manager or his designee. The following conditions apply to Encroachment Permits for temporary improvements:

- Proposed temporary improvements shall not alter the nature or design of a City maintained easement area, which is visible to passersby and which will change the intent and/or design of the community as it was originally approved by the Planning Commission and/or the City Council.
- Proposed temporary improvements must meet the requirements of the current Yorba Linda Municipal Code and Building and Safety Codes and may require the issuance of a building permit. Proposed temporary improvements shall not violate any land use regulations or be detrimental to the City's property interest.

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 4

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

- The design, placement, and construction of any temporary improvement is subject to the approval of the City Manager or his designee. The City may revoke a permit if, in the judgment of the City Manager or his designee, such revocation is in the public interest. Any decision to revoke an encroachment permit may be appealed to the City Council following the appeal process as outlined in the Yorba Linda Municipal Code Article IX of the Zoning Ordinance. Written notice of the appeal for an encroachment permit is required within 10 calendar days of notice of revocation.

B. Permanent Encroachment

Fixed, permanent structures or permanent improvements encroaching upon City easements are not allowed, except in those instances where there is “no significant impact” on the City easement involved, and/or where it is not practical to formally vacate such easement. The term “no significant impact” means an encroachment of one foot (1') or less onto a City easement, and which does not deprive the public from the normal use and enjoyment of the remaining easement or adversely impact the purpose of the easement. For example, if a property owner accidentally builds a wall/fence that encroaches a few inches onto the City easement, it may be considered to be within a tolerable level where no Planning Commission or City Council action is required.

Requests for permanent improvements that exceeds these standards (i.e. one foot) shall be deemed a request for a vacation of the easement and shall be subject to the vacation hearing process. However, due to their public safety connection, access, underground structure/Utility, and drainage easements or similar safety related easements should not be vacated. Requests for encroachments onto access, underground structure/Utility, and drainage easements or other similar safety related easements for privately owned, fixed or permanent structure will either require (a) a City Council determination/finding, or (b) City Manager or designee determination/finding, that the proposed permanent improvements will not adversely impact the City's easement or general public safety and the property owner may be required to execute a Declaration of Restrictive Covenants (DORC) or Encroachment Agreement.

An Encroachment Agreement applies to permanent encroachments within public right-of-way. Declaration of Restrictive Covenant applies to permanent encroachments over City easements.

A City Council determination/ finding is required for more significant encroachments into public easements (i.e. retaining walls or structures, deep foundations protruding within easement greater than one and a half (1.5') feet from existing ground). City Council approval is also required if subsequent processes of approval are required (i.e. Planning Commission's 65402 finding).

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number:	E-5	Issue Number:	4
Page:	5	Date Adopted:	October 17, 2023
		Replaces:	June 2, 2020

The City Manager or designee may approve minor permanent encroachments without City Council approval (i.e. fencing, building or roof overhangs aerially, landscaping, hardscaping, movable furniture, sheds, etc).

C. Encroachments Requiring Vacation of City Easement

Existing Fence Encroachments on City Maintenance Easements

Existing fences encroaching into City landscape easements that were authorized pursuant to a City encroachment permit and were constructed prior to July 15, 2003, will be allowed to remain subject to the following:

- The easement area encompassed by the fence will be vacated by the City, at the City's expense, including landscape and irrigation modifications. If the underlying property owner does not want the encompassed area to be vacated, the fence shall be relocated outside the City's easement area by the property owner within thirty (30) calendar days of receiving such notice.
- Any unpermitted accessory structures or improvements in the prior easement area shall require a Design Review through the Planning Commission.

Existing unauthorized encroachments without permits will be allowed to remain subject to the following:

- The easement area encompassed by the fence will be vacated by the City, with all costs of the vacation process, including landscape and irrigation modification, being borne by the property owner. If the underlying property owner does not want to vacate the encompassed easement area, the unauthorized encroachment shall be removed within thirty (30) calendar days of receiving a notice from the City.
- Any unpermitted accessory structures or improvements in the prior easement area shall require a Design Review approval through the Planning Commission.
- Compliance with the "General Fence Relocation Guidelines".

Each case will be evaluated individually, and the City Manager or his designee shall take into account unique circumstances when applying this Policy. At the discretion of the City Manager or his designee, the property owner may be required to execute a Declaration of Restrictive Covenants for the prior easement area.



POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS

Number: E-5
Page: 6

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

Proposed New Fence Encroachments on City Maintenance Easements

Proposed fence encroachments into City maintenance easements may be allowed subject to the following:

- Upon approval by the Planning Commission as part of a Design Review process including any proposed accessory structures or improvements in the easement area. Each case will be evaluated individually, and the Planning Commission shall take into account unique circumstances when applying this Policy. At the discretion of the Planning Commission, the property owner may be required to execute a Declaration of Restrictive Covenants (DORC) for the prior easement area.
- Adjacent and/or affected neighboring properties shall be notified of the request prior to the Planning Commission review. The easement area encompassed by the fence will be vacated by the City, with all costs of the vacation process, including landscape and irrigation modifications shall be borne by the property owner.
- The proposed fence shall be installed at a distance from the top of slope equal to any adjacent existing fence or as approved by the Planning Commission. However, unless there is a consistent fence line either adjacent to the property or along a majority of the slope, the City would not grant encroachments greater than 18 feet from the top of slope.
- The establishment and maintenance of the fence and landscaping within the fenced area shall be consistent with the "General Fence Relocation Guidelines" as determined by the Planning Commission.

D. Other Implementation Procedures

The City Manager or his designee may develop any other rules, regulations, or procedures that may be necessary for the effective implementation of this policy. Such regulations and procedures may incorporate (but are not limited to) provisions relating to insurance, indemnification, maintenance, notice, permit form, appeal process, etc.

E. Appeal Process

Any decision related to the land use within a City easement may be appealed in writing to the City. Public Works staff shall review the proposed appeal and forward the request for encroachment authorization to the City Manager. The final determination for encroachment authorization may ultimately be made by the City Council.

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 7

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

GENERAL FENCE RELOCATION GUIDELINES

1. Each homeowner will be responsible for their own fencing costs and any other costs associated with fence relocation, including any damage to plants or sprinklers resulting from the fence relocation, and all costs incurred in the easement vacation process.
2. The homeowner may need to obtain a permit for the fence from the City of Yorba Linda Building Department.
3. All fence irrigation and landscape plans are subject to Planning Commission review and approval.
4. The fence shall be painted Hunter Green and remain maintained in good condition with minimal fading, rust, or corrosion visible from the street below at any time.
5. The irrigation system within the easement vacation area shall be installed and maintained by the property owner with a water source connected to the property owner's water meter.
6. Trees, shrubs, and ground cover planting shall match the adjacent city-maintained trees, shrubs, and ground cover plant pallet.
7. Subject area shall remain at the existing grades prior to the easement vacation and shall not be modified in any way.
8. No new tree(s), shrub(s) or ground cover shall be planted within the subject area unless replacing existing naturally damaged or diseased tree(s) or shrub(s) or ground cover in kind and number.
9. Area shall not be used as an animal kennel or holding area.
10. Maintenance of fences, irrigation systems, trees, shrubs, and ground cover shall match, at a minimum, the standard of care provided by the City for the landscaped area adjacent to the easement vacation area.
11. Fence location shall be parallel to the top of slope at the limit of the easement vacation.

EXHIBIT E: DECLARATION OF RESTRICTIVE COVENANTS AGREEMENT

RECORDING REQUESTED BY
CITY OF YORBA LINDA

THIS AREA FOR RECORDER'S USE ONLY

When recorded, return to:

City of Yorba Linda
Engineering Division
4845 Casa Loma Avenue
Yorba Linda, CA 92885

EXEMPT (FREE) RECORDING REQUESTED
UNDER GOVERNMENT CODE 27383

DECLARATION OF RESTRICTIVE COVENANTS
(ENCROACHMENT ON PUBLIC RIGHT-OF-WAY)

THIS DECLARATION OF RESTRICTIVE COVENANTS ("Declaration") is made this _____, 2024, by and between CITY OF YORBA LINDA ("CITY"), a public agency, and LEATHER MICHELLE A TR, LEATHERS FAMILY TR ("DECLARANT"), with reference to the following:

RECITALS

- A. The DECLARANT owns real property located at 17812 CABALLO DRIVE, Yorba Linda, California 92886 (APN 343-101-02) ("Subject Property"), which is more particularly described as follows:
- LOT 1 OF TRACT 4147, IN THE CITY OF YORBA LINDA,
COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP
RECORDED IN BOOK NO.5, PAGE(S) 17 AND 18, MISCELLANEOUS
MAPS, RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA.
- B. CITY right of way, as identified on TRACT MAP NO. 4147, Official Records of Orange County, California (public right-of-way), on CABALLO DRIVE is 52 feet, with 26 feet extending each direction from the centerline of the street.
- C. The DECLARANT desires to construct a secondary 25-foot driveway approach and a curb drain (collectively herein referred to as "Improvements") within and along the public right-of-way (hereinafter referred to as an "Encroachment"), as illustrated in Exhibit "A" attached hereto and incorporated by reference herein.
- D. CITY conditionally consents to the Encroachment within and along the public right-of-way as stipulated in this Declaration. DECLARANT is aware that the Improvements will impact the line of sight and they will be responsible to maintain clearance at all times to meet the sight triangle per CITY's Municipal Code (§18.26.090), as shown in Exhibit "B". DECLARANT will be liable for any costs arising out of or related to the Encroachment.

NOW, THEREFORE, incorporating the above recitals, CITY and DECLARANT hereby declare as follows:

1. **Covenant Running with Land.** This Declaration constitutes a covenant running with the land, as provided by California Civil Code Section 1468, and shall benefit, burden, and bind the DECLARANT and the CITY. The term “DECLARANT” shall include not only the present DECLARANT, but also the DECLARANT’S heirs, successors, executors, administrators, and assigns.
2. **Damages to City Facilities.** DECLARANT assumes full responsibility and liability and shall pay for any cost(s) or damage(s) to the City Facilities and appurtenant structures, arising from or related to the construction, existence, removal, and/or use of the Improvements. CITY shall not be responsible for any cost(s) or damage(s) to the City Facilities and appurtenant structures that arise from the Encroachment.
3. **Damages to Third Parties.** DECLARANT agrees to indemnify, defend and hold harmless CITY and its officers, directors, employees, agents, consultants, and other authorized representatives from any and all liability, claims, demands, damages (whether contract or tort, including personal injury, death, or property damage), costs, and financial loss, including all costs and expenses of litigation or arbitration, which result or are claimed to have resulted directly or indirectly from the Encroachment, including but not limited to the construction, existence and/or use of the Improvements.
4. **Notice of Intent to Remove Improvements.** DECLARANT shall notify City of its intent to remove any or all Improvement(s) in the Encroachment area at least fourteen days prior to removal.
5. **Damages to Improvements.** DECLARANT acknowledges that the CITY, its officers, directors, employees, agents, consultants, and other authorized representatives shall not be responsible for any damage(s) to or because of the Improvements which result from CITY's exercise of its rights under the Improvements. DECLARANT waives all known, unknown, and future claims, liabilities, causes of action, and expenses against CITY, its officers, directors, employees, agents, consultants, and other authorized representatives for losses and damages to the Improvements and from any obligation to protect, preserve, repair, or replace the Improvements. The construction, use, protection, repair and replacement of the Improvements shall be entirely the risk and obligation of DECLARANT, even if damage is caused by CITY.
6. **Recording of Agreement.** This Declaration shall be recorded in the Office of the Recorder of the County of Orange, California, and shall constitute notice to all successors and assigns of the title to the Subject Property of the rights and obligations set forth herein.
7. **Severability.** The invalidity or unenforceability of any provision of this Declaration shall in no way affect the validity or enforceability of any provision hereof.
8. **Governing Law.** This Declaration shall be governed by, and construed in accordance with, the laws of the State of California.

9. **Attorneys' Fees.** In the event any action shall be instituted between the DECLARANT and the CITY in connection with this Declaration, the party prevailing in such action shall be entitled to recover from the other party all of its costs of action, including, without limitation, attorneys' fees and costs as fixed by the court therein.

(INTENTIONALLY BLANK)

DECLARATION OF RESTRICTIVE COVENANTS

(ENCROACHMENT ON CITY EASEMENT)

17812 CABALLO DRIVE

CITY OF YORBA LINDA

DECLARANT

By: _____
Tara Campbell
Mayor

By: _____
LEATHER MICHELLE A TR,
LEATHERS FAMILY TR

Attest:

By: _____
Marcia Brown
City Clerk

Approved as to Form:
Rutan & Tucker LLP

By: _____
Todd Litfin
City Attorney

EXHIBIT A

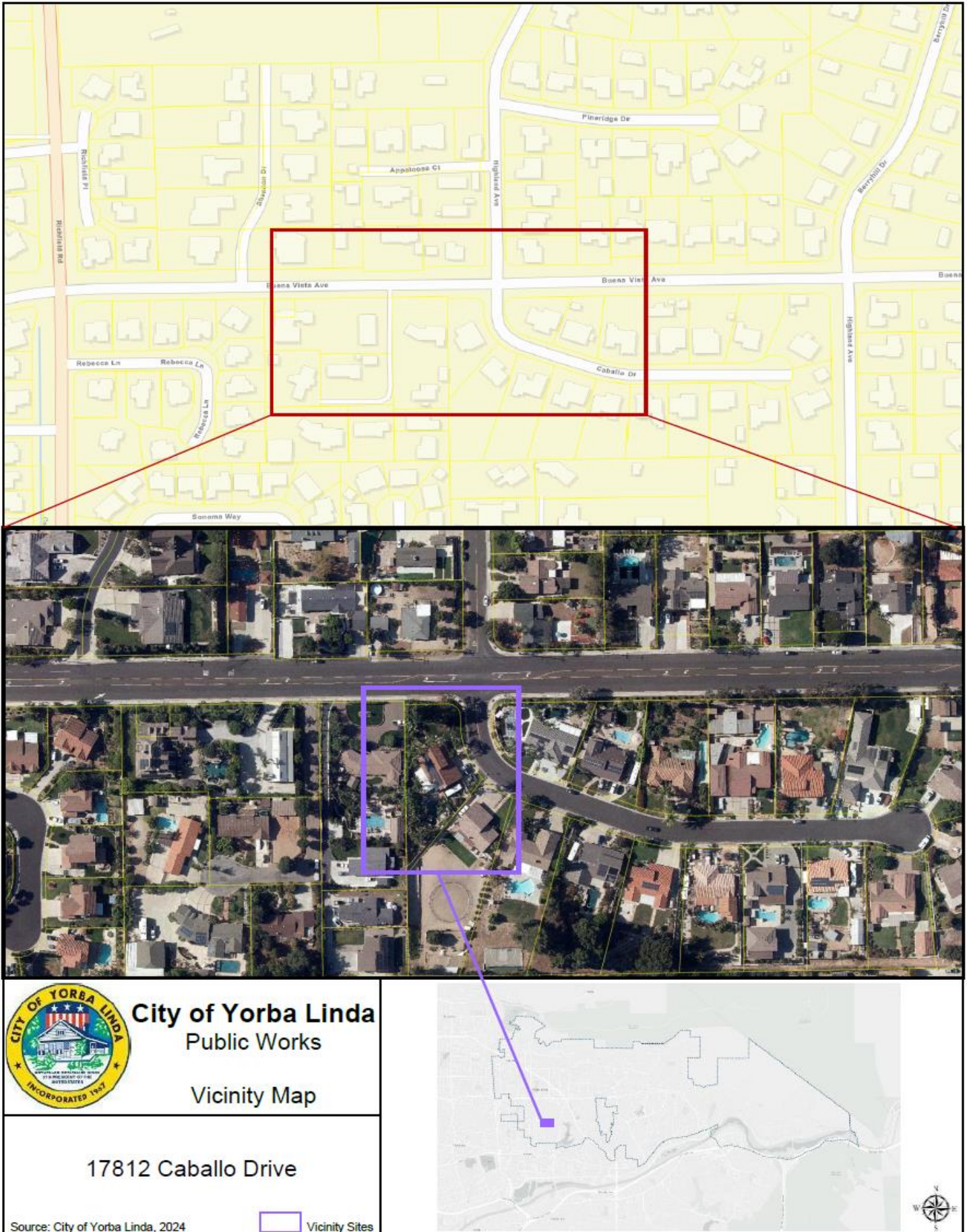


EXHIBIT B





STAFF REPORT

CITY of YORBA LINDA

PUBLIC WORKS DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: JAMIE LAI, P.E., DIRECTOR OF PUBLIC WORKS / CITY ENGINEER
PREPARED BY: JOSE ROMANI, ASSISTANT ENGINEER

SUBJECT: ENCROACHMENT ONTO CITY PROPERTY REQUEST – 4845 MAIN STREET

RECOMMENDATION

It is recommended that the City Council:

- 1) Authorize the construction of approximately 43 linear feet of 6 feet high white vinyl fence on 4852 Olinda Street, and
- 2) Determine such encroachments will not adversely impact the City's property, City's facility, or the general public safety, and
- 3) Require the property owner(s) at 4845 Main Street to execute a Declaration of Restrictive Covenants Agreement pursuant to City Council Policy E-5.

BACKGROUND

The following easements exist on 4845 Main Street (subject property, owned by Masonic Lodge, see Exhibit A):

- 1) A Yorba Linda Water District 7-ft wide sewer easement is located on the westerly side of the Subject Property (see Exhibit B).

The City granted the Yorba Linda Water District (YLWD) easement rights to access their sewer facilities through a Grant of Easement agreement (See Exhibit C). The following easements exist on 4852 Olinda Street (City property, see Exhibit A):

- 1) A YLWD 3-ft wide sewer easement is located on the easterly side of the City Property (see Exhibit B).
- 2) A YLWD 15-ft sewer easement is located on the southerly side of the City Property (see Exhibit B).

The subject property is east of the City property. The subject property is requesting the City

to permit the construction of a 6 feet high white vinyl fence, that will span approximately 43 linear feet on City property (see Exhibit B).

DISCUSSION

The current Policy E-5, adopted in 2023, addresses the use of City-held easements. The City owns easement rights over properties citywide for various defined uses. In the Encroachment Permit section of the E-5 Policy, “no significant impact” is defined as less than one foot of encroachment onto City-owned property / easement (See Exhibit D). The policy continues to state that over one foot of encroachment constitutes a property / easement vacation process or a Declaration of Restrictive Covenant agreement (See Exhibit E).

The proposed improvement(s) within the City Property area were evaluated by the property owner and Public Works and determined to have no physical adverse effects on the City’s daily use of the property and does not adversely impact existing buildings, adjacent properties, or the safety of the general public. The area enclosed by the new vinyl fence will be used for additional gathering space and facilitate swinging of the back doors.

Staff recommends that the proposed improvement(s) within City property be permitted and requests authorization for the City Manager to grant the subject property owner(s) an Encroachment Permit for the proposed improvement(s) on City property, and to enter into a Declaration of Restrictive Covenants Agreement (Agreement). This Agreement requires the subject property owner(s) to bear any costs for damage to City property and includes an indemnity clause to protect the City from any future liability or lawsuits relating to the improvement(s). In addition, the property owner would be responsible for the removal / replacement costs of said improvement(s) in any event. The Agreement will be recorded with the County and will bind all future owners of the property. The Encroachment Permit shall not take effect until all terms of the Agreement are satisfied.

FISCAL IMPACT

There is no direct fiscal impact. The subject property owner(s) will be required to pay for the recording of the Agreement and staff time associated with processing any permits, as allowed in the City’s Fee Schedule. The subject property owner(s) would be responsible for the removal/ replacement costs of said improvement(s) on City property.

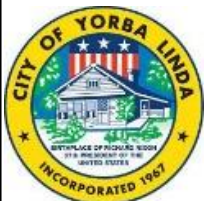
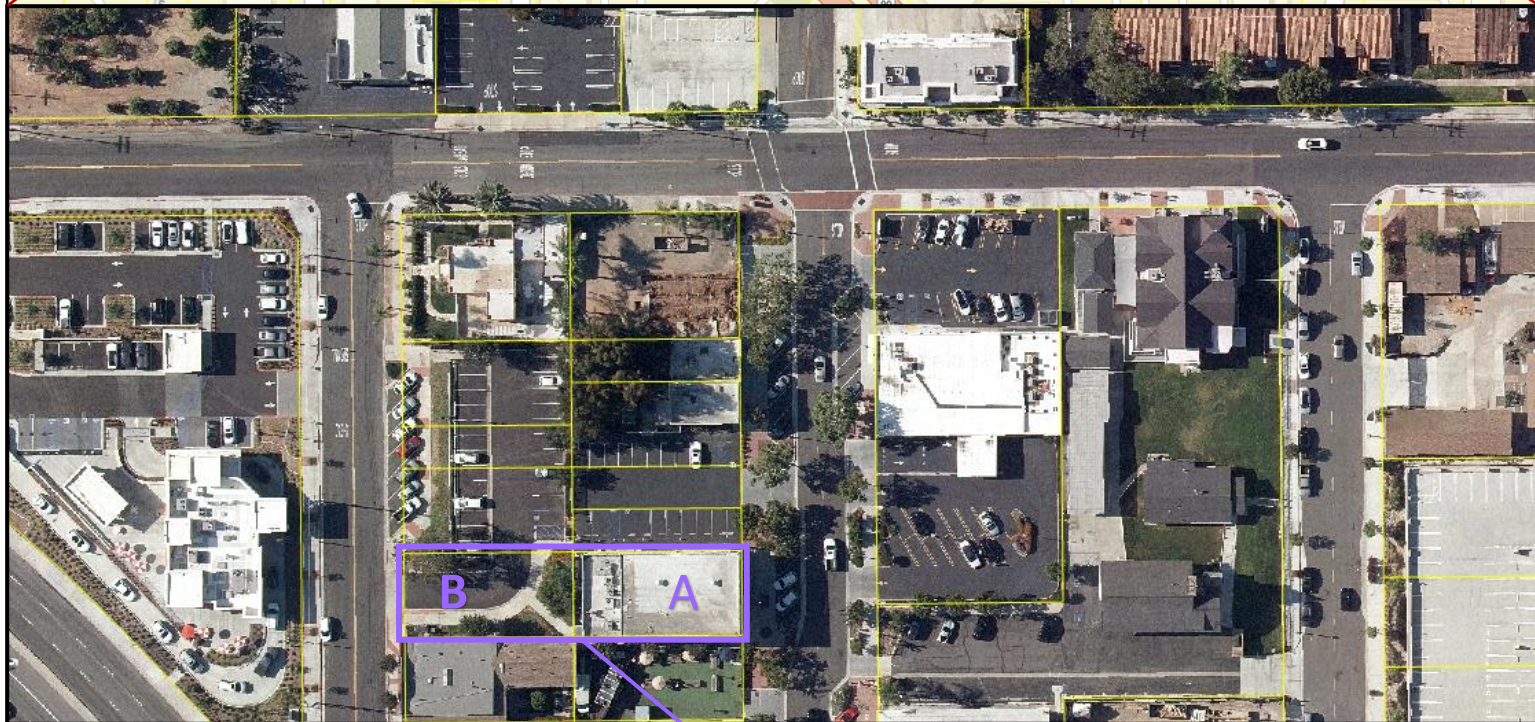
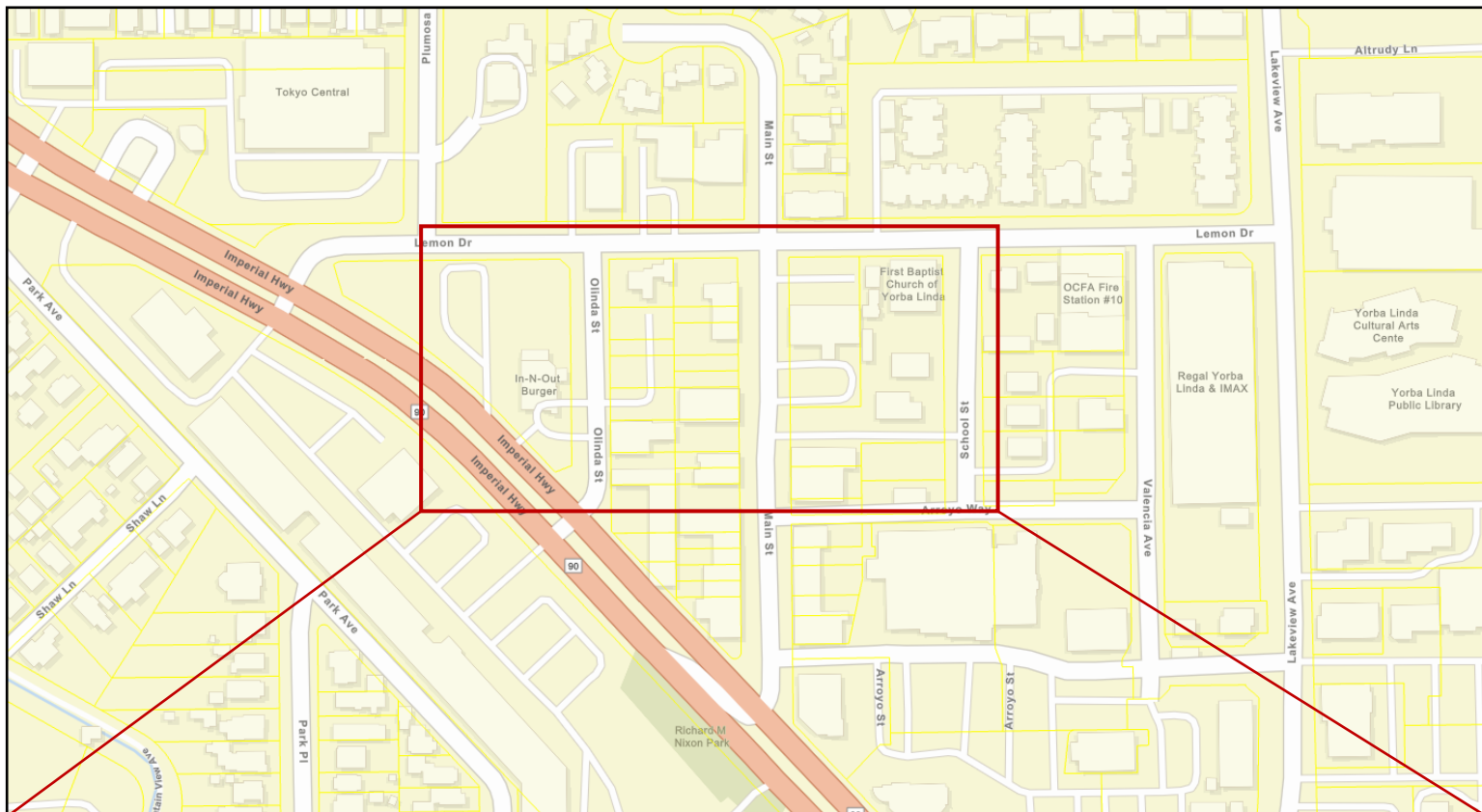
ALTERNATIVES

Deny the subject property owner(s) improvement within the City property. This alternative is not preferred as the previous fencing was removed as part of YLWD’s sewer improvement project. Denying this request would leave the Masonic Lodge without a back enclosure and subject to potential trespassing.

ATTACHMENTS

- Exhibit A: Vicinity Map
 - Exhibit B: Site Plan with Improvements
 - Exhibit C: Yorba Linda Water District Agreement – Grant of Easement
 - Exhibit D: E-5 Encroachment Policy
 - Exhibit E: Declaration of Restrictive Covenants Agreement
-

EXHIBIT A: VICINITY MAP



City of Yorba Linda Public Works

Vicinity Map

A. 4845 Main Street (Subject Property)

B. 4852 Olinda Street (City Property)

Source: City of Yorba Linda, 2024

 Vicinity Sites

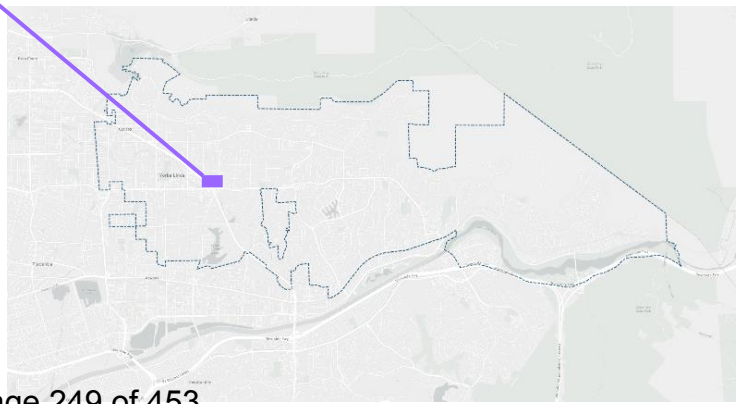
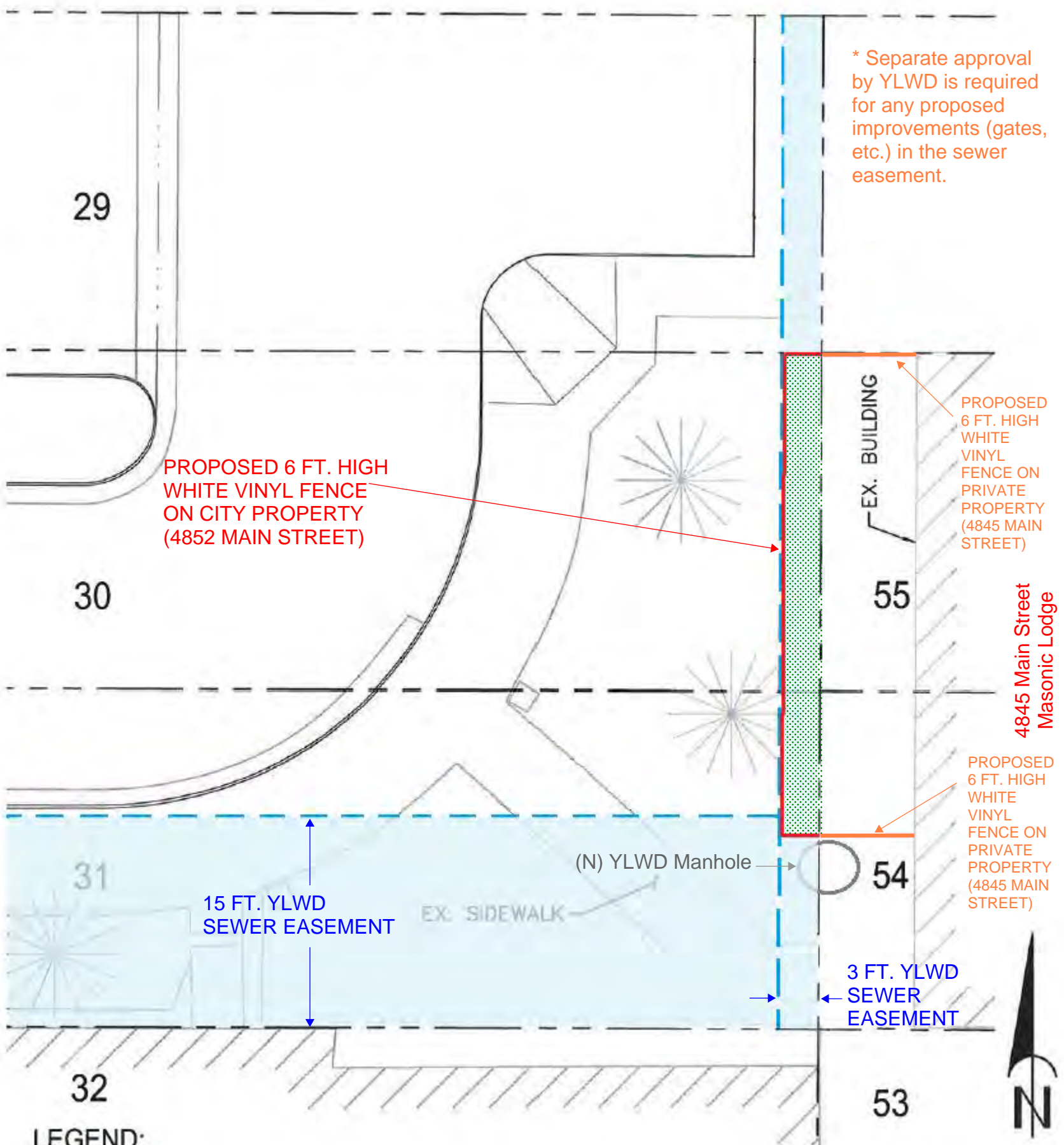


EXHIBIT B: SITE PLAN WITH IMPROVEMENTS



* Separate approval by YLWD is required for any proposed improvements (gates, etc.) in the sewer easement.

PROPOSED 6 FT. HIGH WHITE VINYL FENCE ON CITY PROPERTY (4852 MAIN STREET)

PROPOSED 6 FT. HIGH WHITE VINYL FENCE ON PRIVATE PROPERTY (4845 MAIN STREET)

4845 Main Street
Masonic Lodge

PROPOSED 6 FT. HIGH WHITE VINYL FENCE ON PRIVATE PROPERTY (4845 MAIN STREET)

15 FT. YLWD SEWER EASEMENT

(N) YLWD Manhole

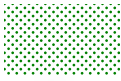
EX. SIDEWALK

3 FT. YLWD SEWER EASEMENT

LEGEND:



SEWER EASEMENT



ENCROACHMENT AREA INTO CITY R/W

EXHIBIT C: YLWD GRANT OF EASEMENT

B

Grant of Easement For Sewer Easement No. 1

RECORDING REQUESTED BY:
Yorba Linda Water District

WHEN RECORDED, MAIL TO:

Yorba Linda Water District
Attn: General Manager
PO Box 309
Yorba Linda, CA 92885-0309

Recorded in Official Records, Orange County
Hugh Nguyen, Clerk-Recorder



NO FEE

* \$ R 0 0 1 4 6 4 6 0 2 4 \$ *

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THIS SPACE FOR RECORDER'S USE ONLY

FREE GOVERNMENT RECORDING PURSUANT
TO GOVERNMENT CODE SEC. 6103 AND
27383 AND EXEMPT FROM TAX PURSUANT TO
REVENUE AND TAX CODE SEC. 11922

GRANT OF EASEMENT
Access to Sewer Facilities

1. For valuable consideration, receipt of which is hereby acknowledged, CITY OF YORBA LINDA and its successors and assigns ("Grantor") hereby grant to the YORBA LINDA WATER DISTRICT, a local public agency organized and operating pursuant to Division 12 of the California Water Code (section 30000 et seq.) and its successors and assigns ("Grantee"), a non-exclusive and perpetual easement (a) in, over, upon, under and across a strip of real property described and depicted below, (b) to access, inspect, operate, repair, maintain, replace, remove, alter, and use a pipeline or pipelines together with braces, connections, fastenings, communication cables, and other appliances and fixtures in connection therewith or appurtenant thereto ("Grantee Facilities"), (c) for sewer service purposes and for ingress and egress in connection with the exercise of the foregoing rights.

2. The strip of real property subject to this Grant of Easement is located in the County of Orange, State of California, and is legally described in **Exhibit "A"** and depicted in **Exhibit "B"** ("Easement Area").

3. This Grant of Easement shall carry with it the right to mark the location of the Easement Area by suitable markers set and maintained in the ground at locations which shall not interfere with Grantor's reasonable use of the Easement Area.

4. Grantor shall not increase or decrease, or permit to be increased or decreased, the now existing ground elevations of the Easement Area without the prior written consent of the Grantee. Grantor reserves the right to full use and enjoyment of the burdened land, except for the purposes herein granted, provided that Grantor's use and enjoyment shall not hinder, conflict, or interfere with the exercise of the Grantee's rights hereunder, and that no excavation, building, structure, or obstructions shall be constructed on the Easement Area.

5. The Grantee Facilities shall at all times remain the property of the Grantee notwithstanding the same may be annexed or affixed to the freehold and shall at any time and from time to time be removable, in whole or in part, by the Grantee. If the Grantee permanently abandons the Grantee Facilities, the Grantee, in its sole discretion, may leave the Grantee Facilities in place and shall execute and record a reconveyance and release of this Grant of Easement.

6. Grantee shall have the further right to retain the Grantee Facilities in and at their existing location(s) and depth(s). Grantor shall not relocate or lower the Grantee Facilities without the Grantee's written consent provided by Grantee's General Manager.

7. To have and to hold the above-described rights and easement granted unto the Grantee for as long as the Grantee desires to exercise the same. Grantee may assign the rights and easement herein granted, either in whole or in part, subject to the terms of this Grant of Easement.

8. Counterpart signature pages may be attached hereto for purposes of recording.



EXHIBIT "A"
LEGAL DESCRIPTION

THE EASTERLY 3 FEET OF LOTS 29, 30, AND 31 OF THE NEWMARK TRACT,
IN THE CITY OF YORBA LINDA, COUNTY OF ORANGE, STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGES 45 AND 46, OF
MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF
SAID COUNTY.

CONTAINING 225 SQUARE FEET, MORE OR LESS.

ALL AS MORE PARTICULARLY SHOWN ON EXHIBIT B ATTACHED HERETO
AND MADE A PART HEREOF.

PREPARED BY ME OR UNDER MY DIRECTION.

DATED THIS 7TH DAY OF JUNE, 2023.

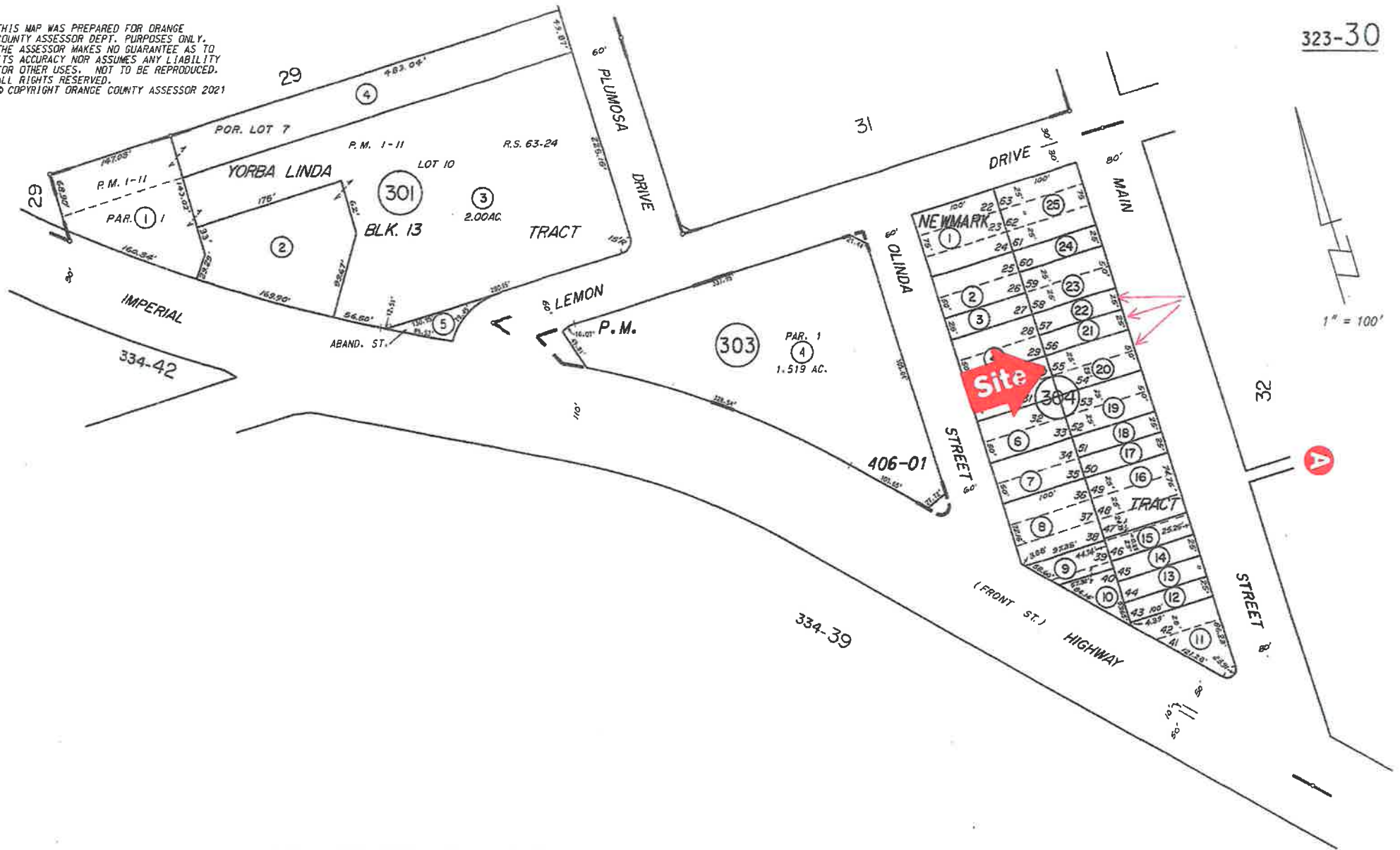


GWEN-VERA DEL CASTILLO, PLS 5108



THIS MAP WAS PREPARED FOR ORANGE COUNTY ASSESSOR DEPT. PURPOSES ONLY. THE ASSESSOR MAKES NO GUARANTEE AS TO ITS ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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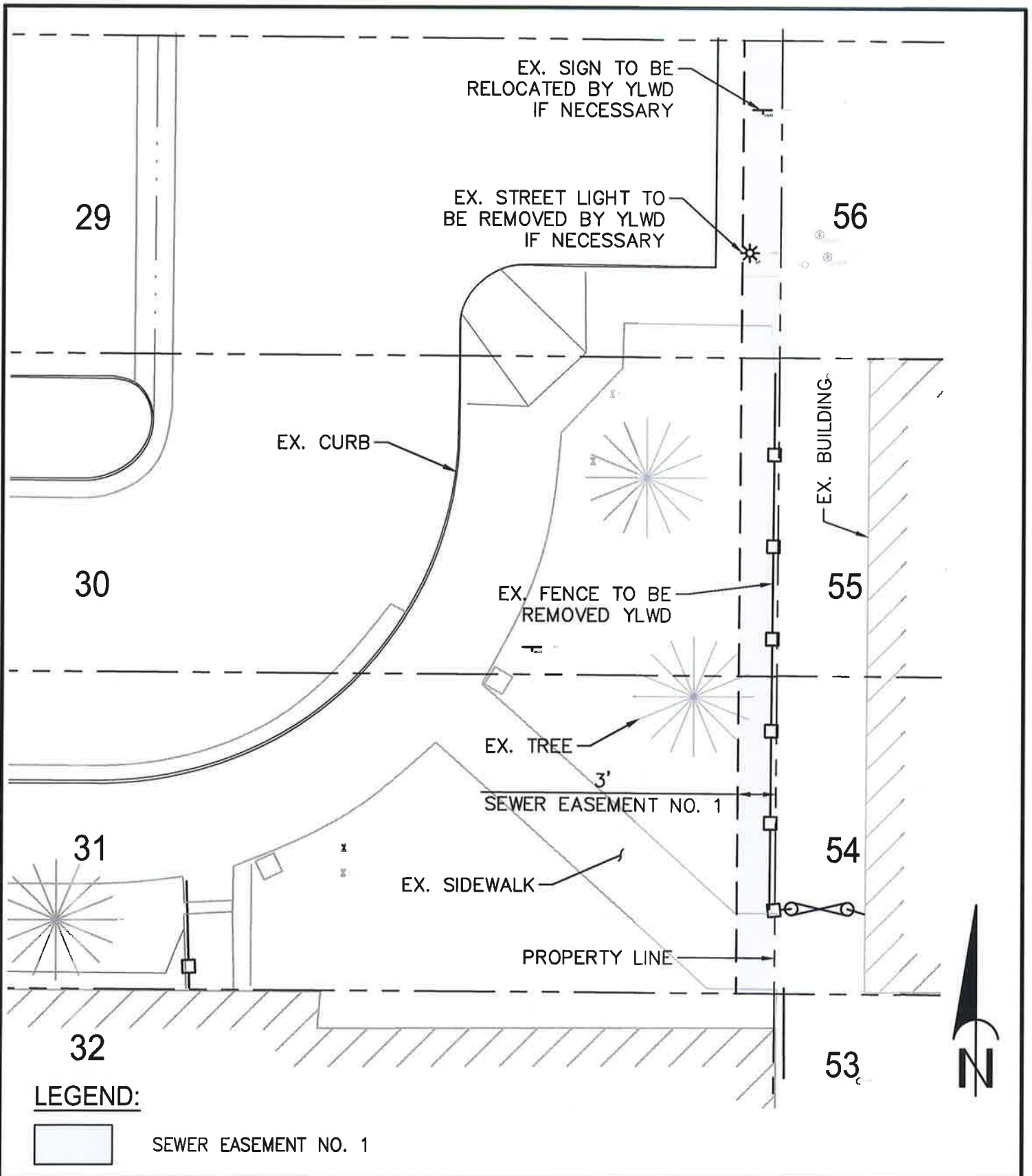
MARCH 1978

YORBA LINDA TRACT
NEWMARK TRACT
PARCEL MAP

M.M. 5-17.18
M.M. 7-45.46
P.M. 1-11, 406-01

NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP BOOK 323 PAGE 30 COUNTY OF ORANGE



PREPARED BY:



YORBA LINDA WATER DISTRICT
1717 E. MIRALOMA AVENUE
PLACENTIA, CALIFORNIA 92870
(714) 701-3000

EXHIBIT "E"

SEWER EASEMENT NO. 1
ENCROACHMENTS
MAIN STREET SEWER REPLACEMENT

SCALE: 1"=10'

DATE: 8/8/23

FILENAME:

B

WITNESS (my) (our) hand(s) on the date following our signatures below: (If a corporation, the corporate seal shall be affixed near the signatures of the duly authorized officers)

(ALL SIGNATURES SHALL BE NOTARIZED)

City of Yorba Linda
Grantor

By 

10/26/23
Date

Name: Mark A. Pulone

Title: City Manager

By _____
Name:

Date

Title:

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

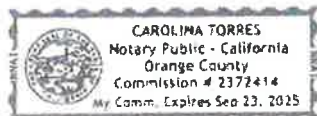
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of OrangeOn Oct 26, 2023 before me,Carolina Torres, Notary Public
Here Insert Name and Title of the Officerpersonally appeared Mark Ponce

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Grant of EasementAccess to Sewer Facilities No. 1

Document Date: _____

Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer – Title(s): _____☐ Partner – ☐ Limited ☐ General☐ Individual ☐ Attorney in Fact☐ Trustee ☐ Guardian or Conservator☐ Other: _____

Signer is Representing: _____

Signer's Name: _____

☐ Corporate Officer – Title(s): _____☐ Partner – ☐ Limited ☐ General☐ Individual ☐ Attorney in Fact☐ Trustee ☐ Guardian or Conservator☐ Other: _____

Signer is Representing: _____

B

CERTIFICATE OF ACCEPTANCE


A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

This is to certify that the interest in the strip of real property conveyed by the GRANT OF EASEMENT dated November 8, 2023, from City of Yorba Linda to Yorba Linda Water District, a public corporation and/or governmental agency ("Grantee"), is hereby accepted as authorized by Section 31040 of the California Water Code and Grantee consents to recordation thereof by its duly authorized officer.

Approved as to Form:
KIDMAN GAGEN LAW, LLP

YORBA LINDA WATER DISTRICT
("Grantee")


Andrew B. Gagen
General Counsel for Grantee


Richard Mark Toy
General Manager

10/30/23
Date

11/8/2023
Date

B

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)

COUNTY OF Orange)

On November 8, 2023, before me, Vivian Lim, a Notary Public, personally appeared Richard Mark Toy who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her authorized capacity, and that by his/her signature(s) on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____



STATE OF CALIFORNIA)

COUNTY OF _____)

On _____, 20____, before me, _____, a Notary Public, personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her authorized capacity, and that by his/her signature(s) on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____

EXHIBIT D: E-5 ENCROACHMENT POLICY

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 1

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

I. PURPOSE

To establish City guidelines and procedures for issuing permits for encroachments within City easements; to establish guidelines by which permits for encroachments within City easements may or may not be considered; and to identify the difference between a request for an encroachment permit as compared to a request for a vacation of a City easement. Encroachments include development, construction on, or use of City easements and public right-of-way.

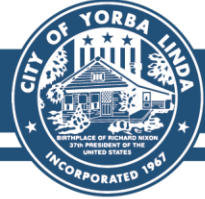
II. BACKGROUND

The City holds easement rights over properties citywide for various defined uses. Where easements have been granted to the City, the fee title to the property is owned by the underlying property owner. However, the rights of the property owner are subject to the rights that the City possesses pursuant to the City's easement.

There are five typical types of easements held by the City:

- 1) Right-of-way easements are typically for street purposes that allow for utilities and transportation purposes, such as a roadways, trails, sidewalks, and pedestrian paths.
- 2) Access easements allow the City to ingress and egress through private property to service, maintain, or monitor a City facility within or beyond the property.
- 3) Underground structure/utility easements are typically located over a City-owned buried structure or utility (*i.e.*, a storm drain or other City-owned infrastructure), and generally restrict the type of use on the land above the infrastructure to protect it from damage and to allow access should the infrastructure need to be excavated and repaired.
- 4) Drainage easements allow for the conveyance of storm-water runoff over the encumbered property and restrict the type of use and improvements on the land to ensure proper conveyance of the established drainage.
- 5) Maintenance easements restrict the use of the land within the easement area and allow the City control of the land surface. The City uses maintenance easements throughout the City to maintain landscape areas and trails for public benefit and enjoyment.

The City frequently receives requests from property owners to allow for specific uses or construction within the limits of City easements. For requests that primarily seek private use of a City easement, such requests more appropriately should be processed as a vacation of the City's easement to reflect the private nature of the proposed use. Therefore, this policy distinguishes between those requests that are appropriately

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 2

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

encroachment permits and those requests that should be processed as easement vacations. Access, underground structure/utility, and drainage or other similar related easements should not be vacated due to public safety reasons.

III. POLICY

The City, in accordance with California and federal law, has property rights as an easement holder. Property owners and easement holders shall retain all rights granted to each under the law. The intent of this policy is to clarify basic requirements to be implemented in regard to encroachments within City easements to ensure proper safety and protection of the public, public property, and public infrastructure. The City will apply the following restrictions and exceptions to the use of land within City easements.

As the owner of the City easements, the City will apply the following restrictions and exceptions to the use of land within City easements. Because there is an element of public safety to some easements, any existing unauthorized encroachments into access, drainage, or underground structure/utility easements (or similar public safety related easements) that interfere with the proper use of the easement shall be removed within 30 days of receiving written notice by the City unless specifically authorized in this Policy. Existing unauthorized encroachments within access, drainage, or underground structure/utility easements (or similar public safety related easements) may remain only by City Council approval, or as noted herein by City Manager or designee on an individual case-by-case basis.

Right of Way Easements: Obstruction of right of way easements is prohibited. Private improvements are not permitted within right of way easements that inhibit the use of utilities, trails, sidewalks, pathways, and roadways. At the discretion of the City Engineer, the City may permit an exception to allow private landscaping and minor hardscapes within parkways. Private landscaping and improvements are not permitted in landscaped areas that are maintained by the City.

Access Easements: Obstruction of access easements is prohibited. Stored vehicles or materials shall not be placed within an access easement area. Trees or other objects are not permitted to interfere with the free and clear access within the easement limits. At the discretion of the City Engineer, the City may permit an exception to allow a gate across the access easement. However, any permitted gate must remain unlocked by the permittee at all times or locked with a City-owned padlock. No electronic operated gates will be allowed.

Drainage Easements: Obstruction of drainage easements is prohibited. Trees, walls, structures, and intrusive hardscape are prohibited within the easement area. The easement area may not be used for storage. At the discretion of the City Engineer, the City may permit an exception to allow a gate or fence perpendicularly across the drainage

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 3

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

easement. However, any permitted gate must remain unlocked by the permittee at all times or locked with a City-owned padlock and allow for the proper conveyance of storm-water runoff.

Underground Structure/Utility Easements: Trees, walls, structures, and intrusive hardscape are prohibited within the easement area. At the discretion of the City Engineer, the City may permit gates to be constructed perpendicularly across to the easement. Any accessory items or uses within the easement must be easily moveable, as determined by the City Engineer. The easement area may be used for storage, but items must be removed immediately upon City request to allow access to the underground infrastructure. The City will not be responsible for reconstruction or repair of private improvements constructed within the easement area.

Maintenance Easements: Encroachments, including privately owned, fixed or permanent structures, into the easement area are prohibited unless specifically allowed as outlined in the sections below.

IV. PROCEDURES

Requests for authorization to encroach within the limits of City easements may be issued under the following guidelines:

A. Temporary Encroachment

The City Manager or his designee may issue an encroachment permit with conditions for the construction of temporary improvements that encroach onto City easements. The term of the encroachment permit issued under this policy may not exceed one (1) year. Such improvements shall be able to be removed quickly and easily within ten (10) calendar days of notice to remove such items from the City. Encroachment permits for temporary improvements may be renewed for up to five one-year periods at the discretion of the City Manager or his designee. The following conditions apply to Encroachment Permits for temporary improvements:

- Proposed temporary improvements shall not alter the nature or design of a City maintained easement area, which is visible to passersby and which will change the intent and/or design of the community as it was originally approved by the Planning Commission and/or the City Council.
- Proposed temporary improvements must meet the requirements of the current Yorba Linda Municipal Code and Building and Safety Codes and may require the issuance of a building permit. Proposed temporary improvements shall not violate any land use regulations or be detrimental to the City's property interest.

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 4

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

- The design, placement, and construction of any temporary improvement is subject to the approval of the City Manager or his designee. The City may revoke a permit if, in the judgment of the City Manager or his designee, such revocation is in the public interest. Any decision to revoke an encroachment permit may be appealed to the City Council following the appeal process as outlined in the Yorba Linda Municipal Code Article IX of the Zoning Ordinance. Written notice of the appeal for an encroachment permit is required within 10 calendar days of notice of revocation.

B. Permanent Encroachment

Fixed, permanent structures or permanent improvements encroaching upon City easements are not allowed, except in those instances where there is “no significant impact” on the City easement involved, and/or where it is not practical to formally vacate such easement. The term “no significant impact” means an encroachment of one foot (1') or less onto a City easement, and which does not deprive the public from the normal use and enjoyment of the remaining easement or adversely impact the purpose of the easement. For example, if a property owner accidentally builds a wall/fence that encroaches a few inches onto the City easement, it may be considered to be within a tolerable level where no Planning Commission or City Council action is required.

Requests for permanent improvements that exceeds these standards (i.e. one foot) shall be deemed a request for a vacation of the easement and shall be subject to the vacation hearing process. However, due to their public safety connection, access, underground structure/Utility, and drainage easements or similar safety related easements should not be vacated. Requests for encroachments onto access, underground structure/Utility, and drainage easements or other similar safety related easements for privately owned, fixed or permanent structure will either require (a) a City Council determination/finding, or (b) City Manager or designee determination/finding, that the proposed permanent improvements will not adversely impact the City's easement or general public safety and the property owner may be required to execute a Declaration of Restrictive Covenants (DORC) or Encroachment Agreement.

An Encroachment Agreement applies to permanent encroachments within public right-of-way. Declaration of Restrictive Covenant applies to permanent encroachments over City easements.

A City Council determination/ finding is required for more significant encroachments into public easements (i.e. retaining walls or structures, deep foundations protruding within easement greater than one and a half (1.5') feet from existing ground). City Council approval is also required if subsequent processes of approval are required (i.e. Planning Commission's 65402 finding).

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 5

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

The City Manager or designee may approve minor permanent encroachments without City Council approval (i.e. fencing, building or roof overhangs aerially, landscaping, hardscaping, movable furniture, sheds, etc).

C. Encroachments Requiring Vacation of City Easement

Existing Fence Encroachments on City Maintenance Easements

Existing fences encroaching into City landscape easements that were authorized pursuant to a City encroachment permit and were constructed prior to July 15, 2003, will be allowed to remain subject to the following:

- The easement area encompassed by the fence will be vacated by the City, at the City's expense, including landscape and irrigation modifications. If the underlying property owner does not want the encompassed area to be vacated, the fence shall be relocated outside the City's easement area by the property owner within thirty (30) calendar days of receiving such notice.
- Any unpermitted accessory structures or improvements in the prior easement area shall require a Design Review through the Planning Commission.

Existing unauthorized encroachments without permits will be allowed to remain subject to the following:

- The easement area encompassed by the fence will be vacated by the City, with all costs of the vacation process, including landscape and irrigation modification, being borne by the property owner. If the underlying property owner does not want to vacate the encompassed easement area, the unauthorized encroachment shall be removed within thirty (30) calendar days of receiving a notice from the City.
- Any unpermitted accessory structures or improvements in the prior easement area shall require a Design Review approval through the Planning Commission.
- Compliance with the "General Fence Relocation Guidelines".

Each case will be evaluated individually, and the City Manager or his designee shall take into account unique circumstances when applying this Policy. At the discretion of the City Manager or his designee, the property owner may be required to execute a Declaration of Restrictive Covenants for the prior easement area.



POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS

Number: E-5
Page: 6

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

Proposed New Fence Encroachments on City Maintenance Easements

Proposed fence encroachments into City maintenance easements may be allowed subject to the following:

- Upon approval by the Planning Commission as part of a Design Review process including any proposed accessory structures or improvements in the easement area. Each case will be evaluated individually, and the Planning Commission shall take into account unique circumstances when applying this Policy. At the discretion of the Planning Commission, the property owner may be required to execute a Declaration of Restrictive Covenants (DORC) for the prior easement area.
- Adjacent and/or affected neighboring properties shall be notified of the request prior to the Planning Commission review. The easement area encompassed by the fence will be vacated by the City, with all costs of the vacation process, including landscape and irrigation modifications shall be borne by the property owner.
- The proposed fence shall be installed at a distance from the top of slope equal to any adjacent existing fence or as approved by the Planning Commission. However, unless there is a consistent fence line either adjacent to the property or along a majority of the slope, the City would not grant encroachments greater than 18 feet from the top of slope.
- The establishment and maintenance of the fence and landscaping within the fenced area shall be consistent with the "General Fence Relocation Guidelines" as determined by the Planning Commission.

D. Other Implementation Procedures

The City Manager or his designee may develop any other rules, regulations, or procedures that may be necessary for the effective implementation of this policy. Such regulations and procedures may incorporate (but are not limited to) provisions relating to insurance, indemnification, maintenance, notice, permit form, appeal process, etc.

E. Appeal Process

Any decision related to the land use within a City easement may be appealed in writing to the City. Public Works staff shall review the proposed appeal and forward the request for encroachment authorization to the City Manager. The final determination for encroachment authorization may ultimately be made by the City Council.

**POLICY: ENCROACHMENTS AND USES WITHIN CITY EASEMENTS**

Number: E-5
Page: 7

Issue Number: 4
Date Adopted: October 17, 2023
Replaces: June 2, 2020

GENERAL FENCE RELOCATION GUIDELINES

1. Each homeowner will be responsible for their own fencing costs and any other costs associated with fence relocation, including any damage to plants or sprinklers resulting from the fence relocation, and all costs incurred in the easement vacation process.
2. The homeowner may need to obtain a permit for the fence from the City of Yorba Linda Building Department.
3. All fence irrigation and landscape plans are subject to Planning Commission review and approval.
4. The fence shall be painted Hunter Green and remain maintained in good condition with minimal fading, rust, or corrosion visible from the street below at any time.
5. The irrigation system within the easement vacation area shall be installed and maintained by the property owner with a water source connected to the property owner's water meter.
6. Trees, shrubs, and ground cover planting shall match the adjacent city-maintained trees, shrubs, and ground cover plant pallet.
7. Subject area shall remain at the existing grades prior to the easement vacation and shall not be modified in any way.
8. No new tree(s), shrub(s) or ground cover shall be planted within the subject area unless replacing existing naturally damaged or diseased tree(s) or shrub(s) or ground cover in kind and number.
9. Area shall not be used as an animal kennel or holding area.
10. Maintenance of fences, irrigation systems, trees, shrubs, and ground cover shall match, at a minimum, the standard of care provided by the City for the landscaped area adjacent to the easement vacation area.
11. Fence location shall be parallel to the top of slope at the limit of the easement vacation.

EXHIBIT E: DECLARATION OF RESTRICTIVE COVENANTS AGREEMENT

RECORDING REQUESTED BY
CITY OF YORBA LINDA

THIS AREA FOR RECORDER'S USE ONLY

When recorded, return to:

City of Yorba Linda
Engineering Division
4845 Casa Loma Avenue
Yorba Linda, CA 92885

EXEMPT (FREE) RECORDING REQUESTED
UNDER GOVERNMENT CODE 27383

DECLARATION OF RESTRICTIVE COVENANTS
(ENCROACHMENT ON CITY PROPERTY)

THIS DECLARATION OF RESTRICTIVE COVENANTS ("Declaration") is made this _____, 2024, by and between CITY OF YORBA LINDA ("CITY"), a public agency, and YORBA LINDA MASONIC TEMPLE ASSN ("DECLARANT"), with reference to the following:

RECITALS

- A. The DECLARANT owns real property located at 4845 MAIN STREET, Yorba Linda, California 92886 (APN 323-304-20) ("Subject Property"), as shown in Exhibit "A", which is more particularly described as follows:

LOTS 54 AND 55 OF THE NEWMARK TRACT, IN THE
CITY OF YORBA LINDA, COUNTY OF ORANGE, STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK NO. 7,
PAGE(S) 45 AND 46, MISCELLANEOUS MAPS, RECORDS OF
ORANGE COUNTY, STATE OF CALIFORNIA.

- B. The CITY owns real property located at 4852 OLINDA STREET, Yorba Linda, California 92886 (APN 323-304-05) ("CITY Property"), as shown in Exhibit "A", which is more particularly described as follows:

LOTS 30 AND 31 OF THE NEWMARK TRACT, IN THE
CITY OF YORBA LINDA, COUNTY OF ORANGE, STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK NO. 7,
PAGE(S) 45 AND 46, MISCELLANEOUS MAPS, RECORDS OF
ORANGE COUNTY, STATE OF CALIFORNIA.

- C. The DECLARANT desires to construct approximately 43 linear feet of 6 feet high white vinyl fence (collectively herein referred to as "Improvements") within and along CITY Property (hereinafter referred to as an "Encroachment"), as illustrated in Exhibit "B" attached hereto and incorporated by reference herein.

- D. CITY conditionally consents to the Encroachment within and along the CITY property as stipulated in this Declaration. DECLARANT is aware that the Improvements will be their responsibility to maintain. DECLARANT will be liable for any costs arising out of or related to the Encroachment. DECLARANT shall not install any other permanent structures within the Encroachment without prior written approval by the CITY.

NOW, THEREFORE, incorporating the above recitals, CITY and DECLARANT hereby declare as follows:

1. **Covenant Running with Land.** This Declaration constitutes a covenant running with the land, as provided by California Civil Code Section 1468, and shall benefit, burden, and bind the DECLARANT and the CITY. The term “DECLARANT” shall include not only the present DECLARANT, but also the DECLARANT’S heirs, successors, executors, administrators, and assigns.
2. **Damages to City Facilities.** DECLARANT assumes full responsibility and liability and shall pay for any cost(s) or damage(s) to the City Facilities and appurtenant structures, arising from or related to the construction, existence, removal, and/or use of the Improvements. CITY shall not be responsible for any cost(s) or damage(s) to the City Facilities and appurtenant structures that arise from the Encroachment.
3. **Damages to Third Parties.** DECLARANT agrees to indemnify, defend and hold harmless CITY and its officers, directors, employees, agents, consultants, and other authorized representatives from any and all liability, claims, demands, damages (whether contract or tort, including personal injury, death, or property damage), costs, and financial loss, including all costs and expenses of litigation or arbitration, which result or are claimed to have resulted directly or indirectly from the Encroachment, including but not limited to the construction, existence and/or use of the Improvements.
4. **Notice of Intent to Remove Improvements.** DECLARANT shall notify City of its intent to remove any or all Improvement(s) in the Encroachment area at least fourteen days prior to removal.
5. **Damages to Improvements.** DECLARANT acknowledges that the CITY, its officers, directors, employees, agents, consultants, and other authorized representatives shall not be responsible for any damage(s) to or because of the Improvements which result from CITY’s exercise of its rights under the Improvements. DECLARANT waives all known, unknown, and future claims, liabilities, causes of action, and expenses against CITY, its officers, directors, employees, agents, consultants, and other authorized representatives for losses and damages to the Improvements and from any obligation to protect, preserve, repair, or replace the Improvements. The construction, use, protection, repair and replacement of the Improvements shall be entirely the risk and obligation of DECLARANT, even if damage is caused by CITY.
6. **Recording of Agreement.** This Declaration shall be recorded in the Office of the Recorder of the County of Orange, California, and shall constitute notice to all successors and assigns of the title to the Subject Property of the rights and obligations set forth herein.

7. **Severability.** The invalidity or unenforceability of any provision of this Declaration shall in no way affect the validity or enforceability of any provision hereof.
8. **Governing Law.** This Declaration shall be governed by, and construed in accordance with, the laws of the State of California.
9. **Attorneys' Fees.** In the event any action shall be instituted between the DECLARANT and the CITY in connection with this Declaration, the party prevailing in such action shall be entitled to recover from the other party all of its costs of action, including, without limitation, attorneys' fees and costs as fixed by the court therein.

(INTENTIONALLY BLANK)

DECLARATION OF RESTRICTIVE COVENANTS

(ENCROACHMENT ON CITY PROPERTY)

4845 MAIN STREET

CITY OF YORBA LINDA

DECLARANT

By: _____
Tara Campbell
Mayor

By: _____
Yorba Linda Masonic Temple Assn.

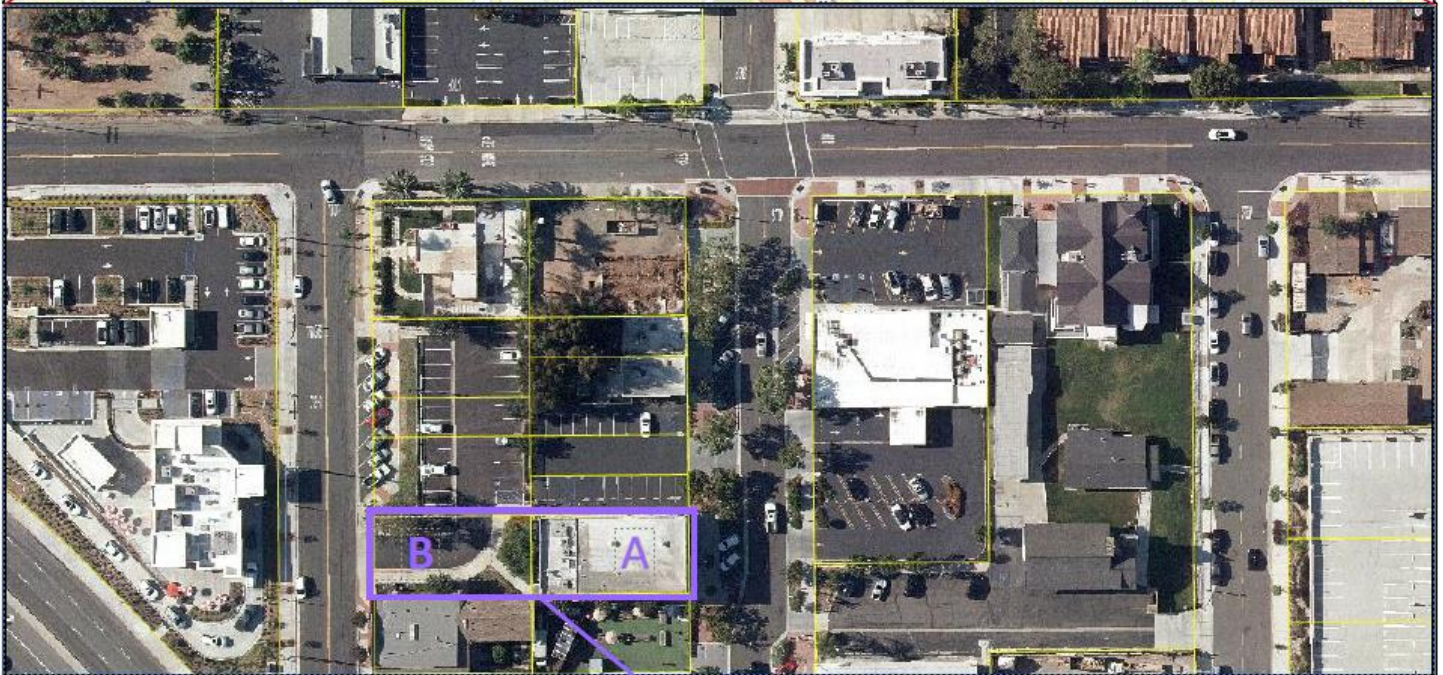
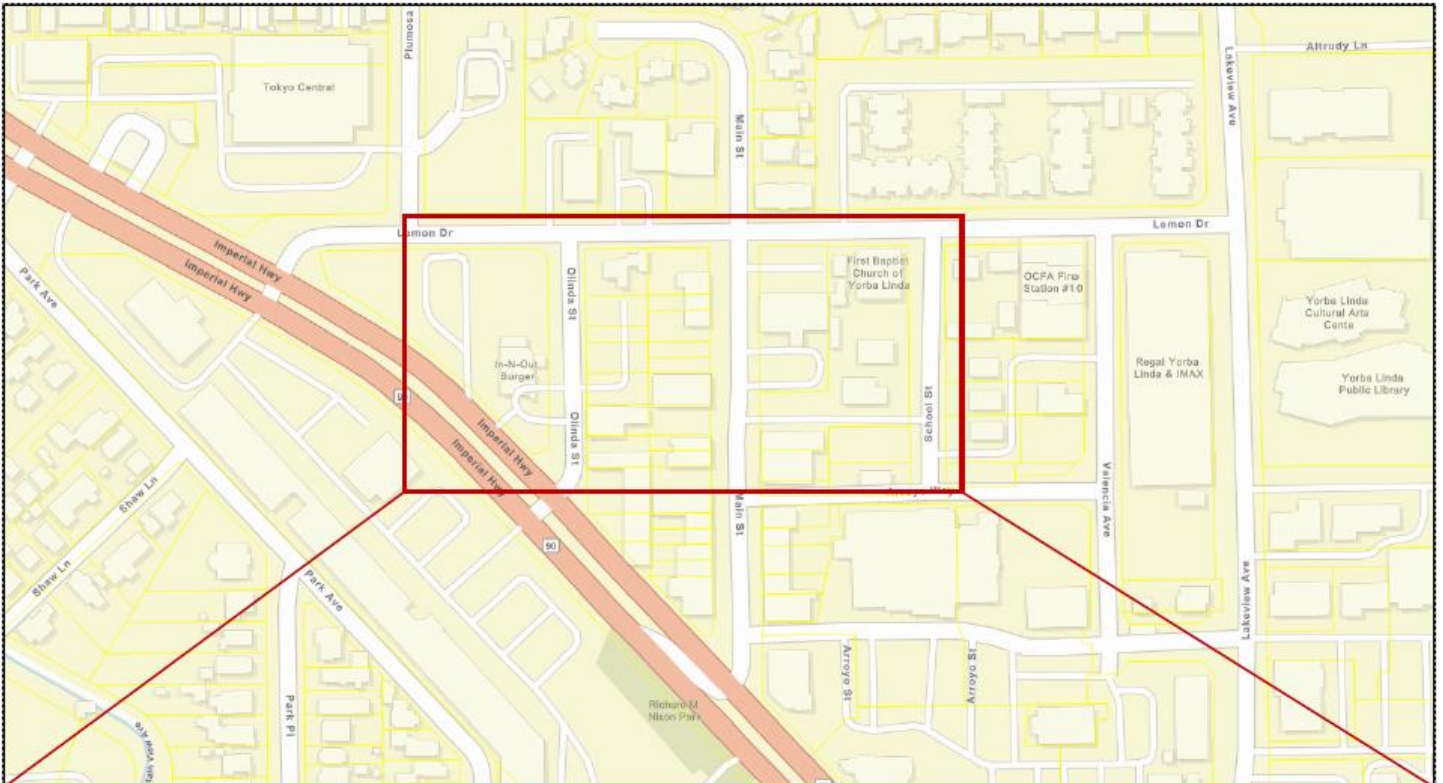
Attest:

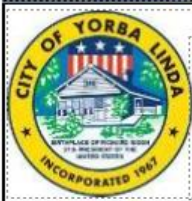
By: _____
Marcia Brown
City Clerk

Approved as to Form:
Rutan & Tucker LLP

By: _____
Todd Litfin
City Attorney

EXHIBIT A





CITY OF YORBA LINDA
Public Works
Vicinity Map

A. 4845 Main Street (Subject Property)

B. 4852 Olinda Street (City Property)

Source: City of Yorba Linda, 2024

 Vicinity Sites

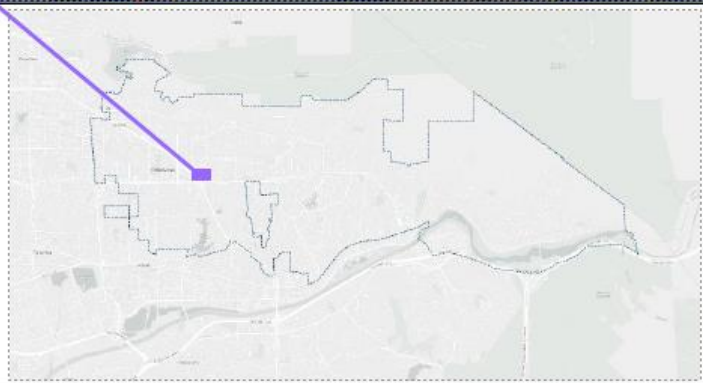
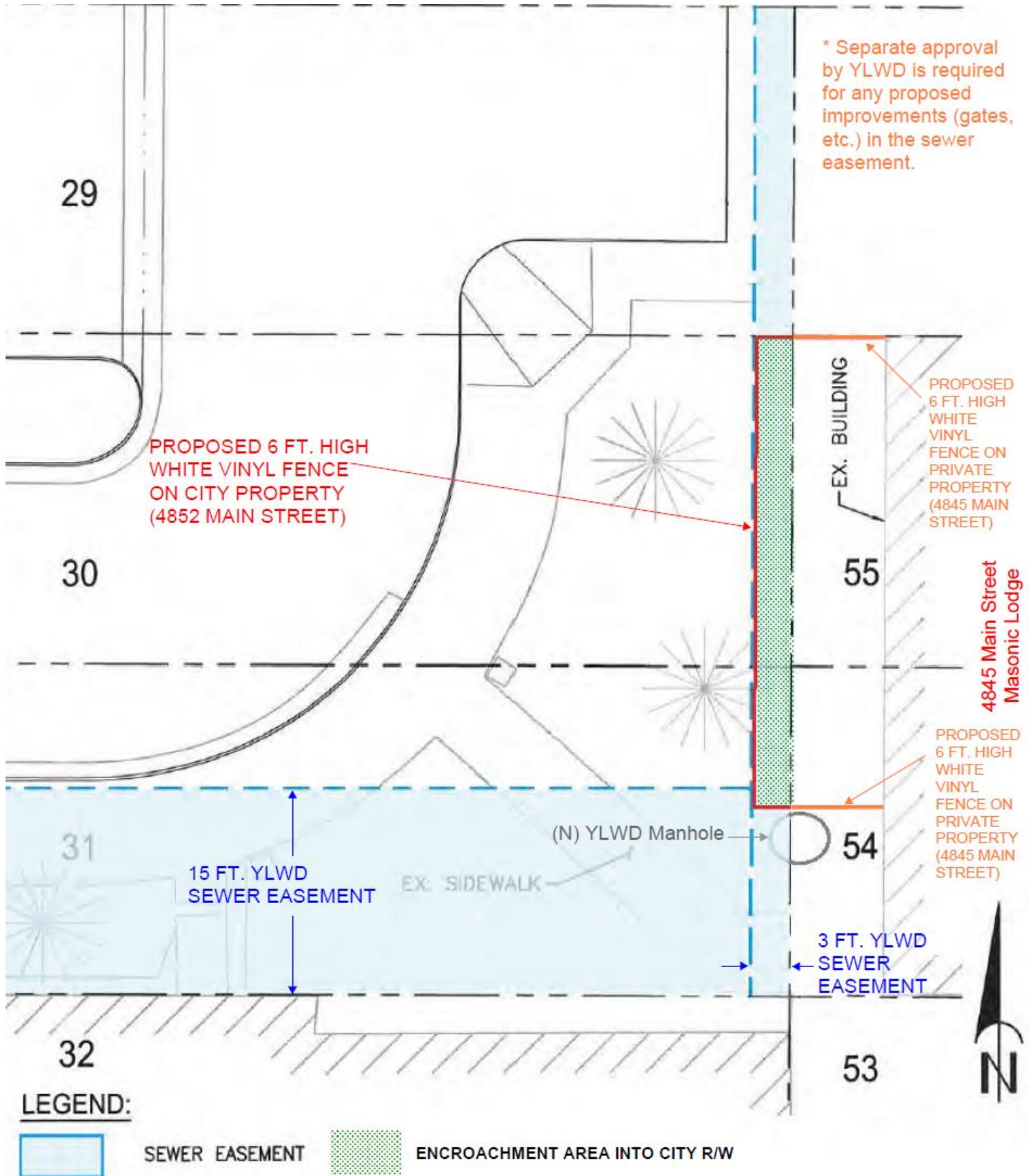


EXHIBIT B





STAFF REPORT

CITY of YORBA LINDA

ADMINISTRATION DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: MARK PULONE, CITY MANAGER
PREPARED BY: GEOFF SPENCER, PRINCIPAL MANAGEMENT ANALYST

SUBJECT: AGREEMENT EXTENSION WITH HF&H CONSULTANTS FOR PROFESSIONAL SERVICES RELATED TO SB 1383 IMPLEMENTATION AND CONTRACT MANAGEMENT

RECOMMENDATION

It is recommended that the City Council authorize the City Manager to sign Amendment No. 1 to the Agreement for Professional Services related to SB 1383 implementation services, extending the agreement with HF&H Consultants to June 30, 2026, and increasing the total contract sum to \$155,500.

BACKGROUND

On June 7, 2022, the City Council adopted Resolution No. 2022-5803 approving the Third Amendment to the Agreement for Solid Waste Handling Services between the City of Yorba Linda and Republic Waste Services of Southern California, LLC as it relates to Senate Bill 1383 (SB 1383).

An amendment to the Franchise Agreement with Republic was necessary to add additional services and requirements due to the City's state-mandated obligation to implement organic waste collection and related services pursuant to SB 1383. The Bill requires all jurisdictions in California to divert organic waste from landfill disposal by implementing organic waste collection services, an edible food recovery program, new public education and outreach programs, recordkeeping and reporting, procurement of recyclable materials, and inspecting and enforcing noncompliant locations. The program for Yorba Linda went into effect July 1, 2022.

The City utilized the services of HF&H Consultants, LLC (HF&H) to assist staff with negotiating the terms for the amendment to the Franchise Agreement with Republic Services that included the continuation of existing programs as well as the implementation of the new required organic waste collection services and related programs. Furthermore, HF&H performed a financial review of Republic Services' revenues, expenses, and cost allocations to determine that the agreed upon terms provided for reasonable rates for residents.

AGREEMENT EXTENSION WITH HF&H CONSULTANTS FOR PROFESSIONAL SERVICES RELATED TO SB 1383 COMPLIANCE ACTIVITIES

Page | 2

On August 2, 2022, the City Council authorized the City Manager to sign the Agreement for Professional Services with HF&H Consultants to help lead the implementation of the City's SB 1383 programs and provide ongoing contract monitoring support. That agreement is currently set to expire on August 1, 2024, but can be extended if the ongoing implementation activities of SB 1383 are not complete.

DISCUSSION

As part of the State's mandated organics recycling program, the City is responsible for new and enhanced programmatic activities such as food recovery, monitoring, enforcement, reporting, and education. While the City's adoption of required SB 1383 programs is substantially complete, HF&H's services are still required until all tasks are fully implemented. Additionally, HF&H has been providing contract monitoring service tracking deliverables from Republic Services as well as supporting rate increase requests, the capacity planning survey, CalRecycle site visits, and more. With HF&H's history and experience in the waste management consulting industry, along with their familiarity with Yorba Linda's waste recycling management program(s), HF&H has been integral in helping to ensure the City is in compliance with the mandates of SB 1383. In summary, HF&H will assist with the following tasks as needed:

- Reviewing Republic's performance as it relates to executing SB 1383 tasks including, attending meetings with City staff and Republic to discuss Republic's progress implementing SB 1383 programs.
- Review the reported results of commercial/multi-family and the single-family recycling programs based on hauler reports.
- Assist with review of additional outreach materials to ensure compliance with the SB 1383 outreach requirements.
- Implement reporting forms for use by the hauler to ensure the City receives the required report data in a timely manner and in a format that is adequate for compliance.
- Assist the City in reviewing and providing comments on Republic's initial draft of the City's Electronic Annual Report (EAR) for submittal to CalRecycle.
- Helping the City set up its SB 1383 Implementation Record, a record keeping mechanism required by state law.
- HF&H is also available to assist by responding to questions from CalRecycle, and preparing for, and participating in the annual conference calls and meetings with CalRecycle.
- Provide the City with contract monitoring support, such as reviewing annual rate adjustments, quarterly reports, education pieces, etc.

FISCAL IMPACT

Amendment No. 1 will update the not-to-exceed amount from \$80,500 to \$155,500.00. The \$75,000 difference has already been programmed into the SB 1383 Local Assistance Grant

AGREEMENT EXTENSION WITH HF&H CONSULTANTS FOR PROFESSIONAL SERVICES RELATED TO SB 1383 COMPLIANCE ACTIVITIES

Page | 3

project (MS241003: Cal-Recycle Grant #2) and into account no. 1010300-431950. These expenses are also reimbursed through the Administration Reimbursement obligation that Republic Services pays the City annually.

ALTERNATIVES

Do not authorize the City Manager to sign Amendment No. 1 to the Agreement for Professional Services related to SB 1383 compliance and monitoring assistance and instead provide further direction.

ATTACHMENTS

- 1.) Professional Services Agreement with HF&H dated August 2, 2022
 - 2.) HF&H Professional Services Agreement Amendment No. 1
 - 3.) Exhibit A2 – Supplemental Scope of Services
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PROFESSIONAL SERVICES AGREEMENT

THIS AGREEMENT FOR CONTRACT SERVICES ("Agreement") is made and entered into as of August 2, 2022, by and between the CITY OF YORBA LINDA, a municipal organization organized under the laws of the State of California ("City"), and HF&H Consultants, LLC (a California Limited Liability Company) ("Consultant").

NOW THEREFORE, the parties hereto agree as follows:

SECTION ONE: SERVICES OF CONSULTANT

One.1 Scope of Services. In compliance with all terms and conditions of this Agreement, Consultant shall provide those services related to the SB 1383 implementation monitoring, as specified in the "Scope of Services" attached hereto as Exhibit "A" and incorporated herein by this reference (the "services" or "work"). Consultant warrants that all services will be performed in a competent, professional and satisfactory manner in accordance with the standards prevalent in the industry for such services.

One.2 Changes and Additions to Scope of Services. City shall have the right at any time during the performance of the services, without invalidating this Agreement, to order extra work beyond that specified in the Scope of Services or make changes by altering, adding to, or deducting from said work. No such work shall be undertaken unless a written order is first given by City to Consultant, incorporating therein any adjustment in (i) the Schedule of Compensation, and/or (ii) the Schedule of Performance, which adjustments are subject to the written approval of the Consultant. It is expressly understood by Consultant that the provisions of this Section 1.2 shall not apply to services specifically set forth in the Scope of Services or reasonably contemplated therein. Consultant hereby acknowledges that it accepts the risk that the services to be provided pursuant to the Scope of Services may be more costly or time consuming than Consultant anticipates, and that Consultant shall not be entitled to additional compensation therefore.

One.3 Familiarity with Work. By executing this Agreement, Consultant warrants that (a) it has thoroughly investigated and considered the work to be performed, (b) it has investigated the nature and factual context of the work and fully acquainted itself with the conditions pertaining to it, (c) it has carefully considered how the work should be performed, and (d) it fully understands the facilities, difficulties and restrictions attending performance of the work under this Agreement. Should Consultant discover any latent or unknown conditions materially differing from those inherent in the work or as represented by City, and such latent or unknown condition affects Consultant's ability to perform the Work for the Contract Sum (as defined in Section 2.1 below) Consultant shall immediately inform City of such fact and shall not proceed except at Consultant's risk until written instructions are received from the Contract Officer (as defined in Section 4.2 hereof).

One.4 Standard of Performance. Consultant agrees that all services shall be performed in a competent, professional, and satisfactory manner in accordance with the standards prevalent in the industry, and that all goods, materials, equipment or personal property included within the services herein shall be of good quality, fit for the purpose intended.

One.5 Performance to Satisfaction of City. Consultant shall perform all work and tasks comprising the Services to the satisfaction of City within the time specified. If City reasonably determines that any portion of the services is not satisfactory, City shall have the right to take appropriate action, including but not limited to: (a) meeting with Consultant to review the quality of the work and resolve matters of concern; (b) requiring Consultant to repeat unsatisfactory work at no additional charge until they are satisfactory; (c) suspending the delivery of work to Consultant for an indefinite time; (d) withholding payment; and (e) terminating this Agreement as hereinafter set forth.

One.6 Prohibition Against Subcontracting or Assignment. Consultant shall not contract with any entity to perform in whole or in part the work and services required of Consultant herein without the prior express written approval of the City. Neither this Agreement nor any interest herein may be assigned or transferred, voluntarily or by operation of law, without the prior written approval of the City. Any such prohibited assignment or transfer shall be void.

SECTION TWO: COMPENSATION

Two.1 Contract Sum. For the services rendered pursuant to this Agreement, Consultant shall be compensated in accordance with Exhibit "A" (the "Scope of Services") in a total amount not to exceed Eighty Thousand Five Hundred Dollars (\$80,500) (the "Contract Sum"), except as provided in Section 1.2. This total Contract Sum is comprised of a base amount of Seventy Thousand Dollars (\$70,000) per the Consultant's proposal in Exhibit "A" plus a 15% contingency of Ten Thousand Five Hundred Dollars (\$10,500) to be utilized solely at the discretion of the City in accordance with Section 1.2. The method of compensation set forth in the Schedule of Compensation may include a lump sum payment upon completion, payment in accordance with the percentage of completion of the services, payment for time and materials based upon Consultant's rate schedule, but not exceeding the Contract Sum, or such other methods as may be specified in the Schedule of Compensation. Compensation may include reimbursement at Consultant's actual cost, without additional overhead or services charge, for actual and necessary expenditures for reproduction costs, transportation expense, telephone expense, and similar costs and expenses when and if specified in the Schedule of Compensation.

Two.2 Method of Payment. Unless otherwise provided in the Schedule of Compensation, Consultant shall submit to City no later than the tenth (10th) working day of each month, in the form approved by City, an invoice for services rendered prior to the date of the invoice. Such invoice shall (1) describe in detail the services provided, including time and materials, and (2) specify each staff member who has provided services and the number of hours assigned to each such staff member. Such invoice shall contain a certification by a principal member of Consultant specifying that the payment requested is for work performed in accordance with the terms of this Agreement. City will pay Consultant for all expenses stated thereon which are approved by City pursuant to this Agreement no later than forty-five (45) days after invoices are received by the City.

SECTION THREE: PERFORMANCE SCHEDULE

Three.1 Time of Essence. Time is of the essence in the performance of this Agreement.

Three.2 Schedule of Performance. All services rendered pursuant to this Agreement shall be performed diligently and within the time period established in Exhibit “A” (the “Scope of Services”). Extensions to the time period specified in the Schedule of Performance may be approved in writing by the Contract Officer.

Three.3 Force Majeure. The time period specified in the Schedule of Performance for performance of the services rendered pursuant to this Agreement shall be extended because of any delays due to unforeseeable causes beyond the control and without the fault or negligence of Consultant, including, but not restricted to, acts of God or of the public enemy, fires, earthquakes, floods, epidemic, quarantine restrictions, riots, strikes, freight embargoes, acts of any governmental agency other than City, and unusually severe weather, if Consultant shall within ten (10) days of the commencement of such delay notify the Contract Officer in writing of the causes of the delay. The Contract Officer shall ascertain the facts and the extent of delay, and extend the time for performing the services for the period of the forced delay when and if in his or her judgment such delay is justified, and the Contract Officer's determination shall be final and conclusive upon the parties to this Agreement.

Three.4 Term. The term of this agreement shall commence on August 2, 2022 and terminate on August 1, 2024 (initial term). This agreement may be extended upon mutual agreement by both parties (extended term). Unless earlier terminated in accordance with Sections 7.11 or 7.12 of this Agreement, this Agreement shall continue in full force and effect until completion of the services, except as otherwise provided in the Schedule of Performance.

SECTION FOUR: COORDINATION OF WORK

Four.1 Representative of Consultant. Laith Ezzet, Senior Vice President, is hereby designated as the principal representative of the Consultant, authorized to act in its behalf with respect to the work and services specified herein and to make all decisions in connection therewith. A substitution of the designated representative must be approved in advance by the City.

Four.2 Contract Officer. The Contract Officer shall be David Christian, Assistant City Manager or such other person as may be designated by the City Manager of City. It shall be Consultant's responsibility to assure that the Contract Officer is kept informed of the progress of the performance of the services and Consultant shall refer any decisions, which must be made by City to the Contract Officer. Unless otherwise specified herein, any approval of City required hereunder shall mean the approval of the Contract Officer.

SECTION FIVE: INSURANCE AND INDEMNIFICATION

Five.1 Without limiting Consultant's indemnification obligations, Consultant shall not undertake the services contemplated hereunder until Consultant has obtained all of the insurance required herein from a company or companies acceptable to City, and Consultant shall maintain all such insurance in full force and effect at all times during the term of this License and any extension or renewal thereof. Insurance shall be placed with insurers having a current A.M. Best rating of no less than A-:VII or equivalent or as otherwise approved by City.

Five.2 Consultant shall take out and maintain the following insurance:

Five.2.1. Workers' Compensation and Employer's Liability Insurance: Consultant shall cover or insure as required by applicable laws relating to workers' compensation insurance all of its employees performing the services contemplated hereunder, in accordance with the "Workers' Compensation and Insurance Act," Division IV of the Labor Code of the State of California and any Acts amendatory thereof. Consultant shall provide worker's compensation insurance and employer's liability insurance with limits not less than One Million Dollars (\$1,000,000) each occurrence, One Million Dollars (\$1,000,000) disease policy limit, and One Million Dollars (\$1,000,000) disease each employee. Such policy of workers compensation insurance shall contain the following separate endorsements:

(a) "Insurer waives all rights of subrogation against the City of Yorba Linda, its officers, directors, employees, representatives and volunteers."

(b) "This insurance policy shall not be suspended, voided, reduced in coverage or in limits, cancelled, limited, non-renewed or materially changed for any reason by the insurer until thirty (30) days after receipt by the City of Yorba Linda of a written notice of such cancellation, limitation or reduction of coverage."

Five.2.2. Commercial General Liability Insurance providing coverage in the following minimum limits:

(a) Combined single limit of One Million Dollars (\$1,000,000) per occurrence for Bodily Injury, Personal Injury or Death and Property.

(b) Damage Coverage shall be at least as broad as Insurance Services Office (ISO) Commercial General Liability coverage (occurrence Form CG 0001).

(c) If Commercial General Insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to the project/location (with the ISO CG 2503 or ISO CG 2504, or insurer's equivalent endorsement provided to City), or the general aggregate limit shall be twice the required occurrence limit.

Five.2.3. Comprehensive Automobile Liability Insurance, including owned, non-owned, leased, hired, and borrowed automobiles and similar vehicles, providing the following minimum limits:

(a) Combined single limit of One Million Dollars (\$1,000,000) per occurrence for Bodily Injury or Death and Property Damage.

(b) Coverage shall be at least as broad as Insurance Services Office (ISO) Business and Auto Coverage (Form CA 0001) covering any auto.

Five.2.4. Professional Liability: Consultant shall provide coverage appropriate to the Consultant's profession covering Consultant's wrongful acts, negligent actions, errors or omissions. The retroactive date (if any) is to be no later than the effective date of this Agreement. Consultant shall maintain such coverage continuously for a period of at least three years after the completion of the contract work. Consultant shall purchase a one-year extended

reporting period i) if the retroactive date is advanced past the effective date of this Agreement; ii) if the policy is canceled or not renewed; or iii) if the policy is replaced by another claims-made policy with a retroactive date subsequent to the effective date of this Agreement. The limits shall be no less than \$1,000,000 per claim and annual aggregate.

Five.3 Endorsements: The policies of liability insurance provided for in Paragraphs 5.2.2 through 5.2.4 shall specify that this specific Agreement is insured and that coverage for injury to participants resulting from Consultant's activities is not excluded, and shall be in a form satisfactory to City and contain the following separate endorsements:

(a) "The City of Yorba Linda, its officers, directors, employees, representatives and volunteers, are declared to be additional insureds on all of the above policies with respects to the operations and activities of the named insured at or from the premises of the City of Yorba Linda. The coverage shall contain no special limitations on the scope of protection afforded to the City of Yorba Linda, its officers, directors, employees, representatives and volunteers."

(b) "This insurance policy shall not be suspended, voided, reduced in coverage or in limits, canceled, limited, non-renewed, or materially changed for any reason until thirty (30) days after receipt by the City of Yorba Linda of a written notice of such cancellation, limitation or reduction of coverage."

(c) "This insurance policy is primary insurance and no insurance held or owned by the designated additional insureds shall be called upon or looked to cover a loss under said policy; the City of Yorba Linda shall not be liable for the payment of premiums or assessments on this policy."

(d) "Any failure to comply with reporting or other provisions of the policies including breaches of warranties shall not affect coverage provided to the City of Yorba Linda, its officers, directors, employees, representatives, or volunteers."

(e) "This insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability."

Five.4 Evidence of Coverage: Consultant shall at the time of the execution of the Agreement present to City the original policies of insurance required by this Section 5 or a certificate of the insurance, with separate endorsements (Insurance Services Office Form CG 2026, or equivalent), showing the issuance of such insurance and the additional insured and other provisions and endorsements required herein and copies of all endorsements signed by the insurer's representative. All policies shall contain the Consultant's name and location of the Premises on the certificate. At least thirty (30) days prior to the expiration of any such policy, a signed complete certificate of insurance, with all endorsements provided herein, showing that such insurance coverage has been renewed or extended, shall be filed with City. Consultant's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

Five.5 Review of Coverage: City shall have the right at any time to review the coverage, form, and limits of insurance required under this Agreement. If, in the sole and absolute discretion

of City, the insurance provisions in this Agreement do not provide adequate protection for City, City shall have the right to require Consultant to obtain insurance sufficient in coverage, form and limits to provide adequate protection and Consultant shall promptly comply with any such requirement. City's requirements shall not be unreasonable, but shall be adequate in the sole opinion of City to protect against the kind and extent of risks which may exist at the time a change of insurance is required, or thereafter.

Five.6 Deductibles: Any and all deductibles must be declared and approved by City prior to execution of this Agreement.

Five.7 Agreement Contingent Upon Coverage: Notwithstanding any other provision of this Agreement, this Agreement shall be null and void at all times when the above-referenced original policies of insurance or Certificate of Insurance or Renewal Certificates or Endorsements are not on file with City.

Five.8 Workers' Compensation Insurance. By his/her signature hereunder, Consultant certifies that he/she is aware of the provisions of Section 3700 of the California Labor Code which requires every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and he/she will comply with such provisions before commencing the performance of the work of this Agreement. To the extent required by law, Consultants and subcontractors will keep Workers' Compensation Insurance for their employees in effect during all work covered by this Agreement. In the event Consultant has no employees requiring Consultant to provide Workers' Compensation Insurance, Consultant shall so certify to the City in writing prior to the City's execution of this Agreement. The City shall not be responsible for any claims in law or equity occasioned by failure of the Consultant to comply with this section or with the provisions of law relating to Worker's Compensation.

Five.9 Indemnification. Consultant shall indemnify, defend, and hold City and City's agents, officers, and employees ("City Personnel") harmless from and against any and all actions, suits, claims, demands, judgments, attorney's fees, costs, damages to persons or property, losses, penalties, obligations, expenses or liabilities (herein "claims" or "liabilities") that may be asserted or claimed by any person or entity arising out of the negligence, recklessness, or willful misconduct of Consultant, its employees, agents, representatives or subcontractors in the performance of any tasks or services for or on behalf of City, whether or not there is concurrent active or passive negligence on the part of City and/or City Personnel, but excluding such claims or liabilities arising from the sole active negligence or willful misconduct of City or City Personnel. In connection therewith:

Five.9.1. Consultant shall defend any action or actions filed in connection with any such claims or liabilities, and shall pay all costs and expenses, including attorney's fees incurred in connection therewith.

Five.9.2. Consultant shall promptly pay any judgment rendered against City or any City Personnel for any such claims or liabilities.

Five.9.3. In the event City and/or any City Personnel is made a party to any action or proceeding filed or prosecuted for any such damages or other claims arising out of or in

connection with the negligence, recklessness, or willful misconduct of Consultant, Consultant shall pay to City any and all costs and expenses incurred by City or City Personnel in such action or proceeding, together with reasonable attorney's fees and expert witness fees.

SECTION SIX: RECORDS, REPORTS AND INTELLECTUAL PROPERTY.

Six.1 Reports. Consultant shall periodically prepare and submit to the Contract Officer such reports concerning Consultant's performance of the services required by this Agreement as the Contract Officer shall require.

Six.2 Records. Consultant shall keep such books and records as shall be necessary to perform the services required by this Agreement and enable the Contract Officer to evaluate the cost and the performance of such services. Books and records pertaining to costs shall be kept and prepared in accordance with generally accepted accounting principles. The Contract Officer shall have full and free access to such books and records at all reasonable times, including the right to inspect, copy, audit, and make records and transcripts from such records.

Six.3 Ownership of Documents and Data. All original drawings, specifications, reports, records, data, documents and other materials, whether in hard copy or electronic form, which are prepared by Consultant, its employees, subcontractors and agents in the performance of this Agreement, shall be the property of City and shall be delivered to City upon termination of this Agreement or upon the earlier request of the Contract Officer, and Consultant shall have no claim for further employment or additional compensation as a result of the exercise by City of its full rights of ownership of the documents and materials hereunder. Consultant shall cause all subcontractors to assign to City any documents or materials prepared by them, and in the event Consultant fails to secure such assignment, Consultant shall indemnify City for all damages suffered thereby.

Six.4 Intellectual Property and Proprietary Information.

Six.4.1. Proprietary Information. All proprietary information developed specifically for City by Consultant in connection with, or resulting from, this Agreement, including but not limited to inventions, discoveries, improvements, copyrights, patents, maps, reports, textual material, or software programs, but not including Consultant's underlying materials, software, or know-how, shall be the sole and exclusive property of City, and are confidential and shall not be made available to any person or entity without the prior written approval of City. Consultant agrees that the compensation to be paid pursuant to this Agreement includes adequate and sufficient compensation for any proprietary information developed in connection with or resulting from the performance of Consultant's services under this Agreement. Consultant further understands and agrees that full disclosure of all proprietary information developed in connection with, or resulting from, the performance of Services by Consultant under this Agreement shall be made to City, and that Consultant shall do all things necessary and proper to perfect and maintain ownership of such proprietary information by City.

Six.4.2. Reproduction Rights. Any and all patents and copyrights that arise from the services or the creation of work in carrying out this Agreement shall be vested in City, and Consultant hereby agrees to relinquish all claims to such copyrights in favor of City.

Six.4.3. Use of Patented Materials. Consultant shall assume all costs arising from the use of patented or copyrighted materials, including but not limited to equipment, devices, processes, and software programs, used or incorporated in the Services performed by Consultant under this Agreement. Consultant shall indemnify, defend, and save City harmless from any and all suits, actions or proceedings of every nature for or on account of the use of any patented or copyrighted materials.

SECTION SEVEN: RELEASE OF INFORMATION/CONFLICTS OF INTEREST.

Seven.1 Confidentiality. All information gained by Consultant in performance of this Agreement shall be considered confidential and shall not be released by Consultant without City's prior written authorization. Consultant, its officers, employees, agents, or subcontractors, shall not without written authorization from the City Manager or unless requested by the City Attorney, voluntarily provide declarations, letters of support, testimony at depositions, response to interrogatories, or other information concerning the work performed under this Agreement or relating to any project or property located within the City. Response to a subpoena or court order shall not be considered "voluntary" provided Consultant gives City notice of such court order or subpoena.

Seven.2 Release of Confidential Information. Consultant shall promptly notify City should Consultant, its officers, employees, agents, or subcontractors be served with any summons, complaint, subpoena, notice of deposition, request for documents, interrogatories, request for admissions, or other discovery request, court order, or subpoena from any person or party regarding this Agreement and the work performed hereunder or with respect to any project or property located within the City. City retains the right, but has no obligation, to represent Consultant and/or be present at any deposition, hearing, or similar proceeding. Consultant agrees to cooperate fully with City and to provide the opportunity to review any response to discovery requests provided by Consultant. However, City's right to review any such response does not imply or mean the right by City to control, direct, or rewrite said response.

Seven.3 Conflicts of Interest Prohibited. Consultant covenants that neither he/she nor any officer or principal of their firm have any interest in, or shall acquire any interest, directly or indirectly, which will conflict in any manner or degree with the performance of their services hereunder. Consultant further covenants that in the performance of this Agreement, no person having such interest shall be employed by them as an officer, employee, agent, or subcontractor. Consultant further covenants that Consultant has not contracted with nor is performing any services, directly or indirectly, with any developer(s) and/or property owner(s) and/or firm(s) and/or partnership(s) owning property in the City or the study area and further covenants and agrees that Consultant and/or its subcontractors shall provide no service or enter into any agreement or agreements with a/any developer(s) and/or property owner(s) and/or firm(s) and/or partnership(s) owning property in the City or the study area prior to the completion of the work under this Agreement.

Seven.4 Covenant Against Contingent Fee. Consultant covenants that neither it nor any of its officers, employees, agents or representatives employed or retained any company or person, other than a bona fide employee working for Consultant, to solicit or secure this Agreement. Consultant further covenants that neither it nor any of its officers, employees, agents

or representatives has paid or agreed to pay any company or person, other than a bona fide employee of Consultant, any fee, commission, percentage, brokerage fee, gift, or any other consideration contingent upon, or resulting from, the award or making of this Agreement. For breach or violation of this provision, City shall have the right to annul this agreement without liability, or, at its discretion, to deduct from the Agreement price or consideration, or otherwise recover, the full amount of such fee, commission, percentage, brokerage fees, gift, or contingent fee.

SECTION EIGHT: LEGAL RELATIONS AND RESPONSIBILITIES.

Eight.1 Compliance with Law. Consultant shall keep itself fully informed of all existing and future state and federal laws and all county and city ordinances and regulations which in any manner affect those employed by it or in any way affect the performance of services pursuant to this Agreement. Consultant shall at all times observe and comply with all such laws, ordinances, and regulations and shall be responsible for the compliance of all work and services performed by or on behalf of Consultant.

Eight.2 Licenses, Permits, Fees and Assessments. Except as otherwise specified herein, Consultant shall obtain at its sole cost and expense such licenses, permits and approvals as may be required by law for the performance of the services required by this Agreement. Consultant shall have the sole obligation to pay for any fees, assessments and taxes, plus applicable penalties and interest, which may be imposed by law and arise from or are necessary for the performance of the services required by this Agreement.

Eight.3 Covenant Against Discrimination. The Consultant covenants that, by and for itself, its heirs, executors, assigns and all persons claiming under or through them, that there shall be no discrimination against, or segregation of, any person or group of persons on account of race, color, creed, religion, sex, marital status, national origin, or ancestry in the performance of this Agreement.

Eight.4 Independent Contractor. Consultant shall perform all services required herein as an independent contractor of City and shall remain at all times as to City a wholly independent contractor. City shall not in any way or for any purpose become or be deemed to be a partner of Consultant in its business or otherwise, or a joint venturer, or a member of any joint enterprise with Consultant. Consultant shall not at any time or in any manner represent that it or any of its agents or employees are agents or employees of City. Neither Consultant nor any of Consultant's employees shall, at any time, or in any way, be entitled to any sick leave, vacation, retirement, or other fringe benefits from City; and neither Consultant nor any of its employees shall be paid by City time and one-half for working in excess of forty (40) hours in any one week. City is under no obligation to withhold State and Federal tax deductions from Consultant's compensation. Neither Consultant nor any of Consultant's employees shall have any property right to any position, or any of the rights an employee may have in the event of termination of this Agreement.

Eight.5 Non-liability of City Officers and Employees. No officer or employee of the City shall be personally liable to the Consultant, or any successor in interest, in the event of any default or breach by the City or for any amount that may become due to the Consultant or to its successor, or for breach of any obligation of the terms of this Agreement.

Eight.6 California Law. This Agreement shall be construed and interpreted both as to validity and to performance of the parties in accordance with the laws of the State of California. Legal actions concerning any dispute, claim or matter arising out of or in relation to this Agreement shall be instituted in the Superior Court of the County of Orange, State of California, or any other appropriate court in such county, and Consultant covenants and agrees to submit to the personal jurisdiction of such court in the event of such action.

Eight.7 Disputes. In the event of any dispute arising under this Agreement, the injured party shall notify the injuring party in writing of its contentions by submitting a claim therefor. The injured party shall continue performing its obligations hereunder so long as the injuring party commences to cure such default within ten (10) days of service of such notice and completes the cure of such default within forty-five (45) days after service of the notice, or such longer period as may be permitted by the Contract Officer; provided that if the default is an immediate danger to the health, safety and general welfare, City may take such immediate action as City deems warranted. Compliance with the provisions of this section shall be a condition precedent to termination of this Agreement for cause and to any legal action, and such compliance shall not be a waiver of any party's right to take legal action in the event that the dispute is not cured, provided that nothing herein shall limit City's right to terminate this Agreement without cause pursuant to Section 8.11.

Eight.8 Retention of Funds. City may withhold from any monies payable to Consultant sufficient funds to compensate City for any losses, costs, liabilities, or damages it reasonably believes were suffered by City due to the default of Consultant in the performance of the services required by this Agreement.

Eight.9 Waiver. No delay or omission in the exercise of any right or remedy of a non defaulting party on any default shall impair such right or remedy or be construed as a waiver. City's consent or approval of any act by Consultant requiring City's consent or approval shall not be deemed to waive or render unnecessary City's consent to or approval of any subsequent act of Consultant. Any waiver by either party of any default must be in writing and shall not be a waiver of any other default concerning the same or any other provision of this Agreement.

Eight.10 Rights and Remedies are Cumulative. Except with respect to rights and remedies expressly declared to be exclusive in this Agreement, the rights and remedies of the parties are cumulative and the exercise by either party of one or more of such rights or remedies shall not preclude the exercise by it, at the same or different times, of any other rights or remedies for the same default or any other default by the other party.

Eight.11 Termination Prior To Expiration of Term. This section shall govern any termination of this Agreement, except as specifically provided in the following Section 8.12 for termination for cause. City reserves the right to terminate this Agreement at any time, with or without cause, upon ten (10) days' written notice to Consultant. Upon receipt of any notice of termination, Consultant shall immediately cease all services hereunder except such as may be specifically approved by the Contract Officer. Consultant shall be entitled to compensation for all services rendered prior to receipt of the notice of termination and for any services authorized by the Contract Officer thereafter in accordance with the Schedule of Compensation or such as may be approved by the Contract Officer, except as provided in Section 8.8.

Eight.12 Termination for Default of Consultant. If termination is due to the failure of Consultant to fulfill its obligations under this Agreement, City may, after compliance with the provisions of Section 8.7, take over work and prosecute the same to completion by contract or otherwise, and Consultant shall be liable to the extent that the total cost for completion of the services required hereunder exceeds the compensation herein stipulated (provided that City shall use reasonable efforts to mitigate such damages), and City may withhold any payments to Consultant for the purpose of setoff or partial payment of the amounts owed City as previously stated in Section 8.8.

Eight.13 Attorney's Fees. If either party to this Agreement is required to initiate or defend or made a party to any action or proceeding in any way connected with this Agreement, the prevailing party in such action or proceeding, in addition to any other relief which may be granted, whether legal or equitable, shall be entitled to reasonable attorney's fees, whether or not the matter proceeds to judgment.

Eight.14 Safety. The Consultant shall execute and maintain his/her work so as to avoid injury or damage to any person or property. The Consultant shall comply with the requirements of the specifications relating to safety measures applicable in particular operations or kinds of work. In carrying out his/her work, the Consultant shall at all times exercise all necessary precautions for the safety of employees appropriate to the nature of the work and the conditions under which the work is to be performed, and be in compliance with all applicable federal, state and local statutory and regulatory requirements including California Department of Industrial Relations (Cal/OSHA) regulations; and the U.S. Department of Transportation Omnibus Transportation Employee Testing Act.

Eight.15 Compliance with California Unemployment Insurance Code Section 1088.8. If Consultant is a sole proprietor, then prior to signing the Agreement, Consultant shall provide to City a completed and signed Form W-9, Request for Taxpayer Identification Number and Certification. Consultant understands that pursuant to California Unemployment Insurance Code section 1088.8, City will report the information from Form W-9 to the State of California Employment Development Department, and that the information may be used for the purposes of establishing, modifying, or enforcing child support obligations, including collections, or reported to the Franchise Tax Board for tax enforcement purposes.

Eight.16 Prevailing Wages. Consultant is aware of the requirements of California Labor Code Section 1720, *et seq.*, and 1770, *et seq.*, as well as California Code of Regulations, Title 8, Section 16000, *et seq.*, ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the total compensation is \$1,000 or more, Consultant agrees to fully comply with such Prevailing Wage Laws. Consultant shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

Eight.17 Unauthorized Use of City's Name. Except as required by law or with the prior written consent of City (which consent may be withheld in city's sole and absolute discretion),

Consultant shall not use City's name, seal or logo in any marketing materials, magazine, trade paper, newspaper, television or radio production or other similar medium, nor shall Consultant state, imply or in any way represent to any third party that City has endorsed or approved Consultant or any of its services or products.

SECTION NINE: MISCELLANEOUS

Nine.1 Notices. Any notice, demand, request, consent, approval, communication either party desires or is required to give the other party or any other person shall be in writing and either served personally or sent by prepaid, first-class mail to the address set forth below. Either party may change its address by notifying the other party of the change of address in writing. Notices personally delivered or delivered by a document delivery service shall be effective upon receipt. Notices delivered by mail shall be effective at 5:00 p.m. on the second calendar day following dispatch.

To City: CITY OF YORBA LINDA
 Attention: David Christian
 4845 Casa Loma Avenue
 Yorba Linda, CA 92886

To Consultant: HF&H CONSULTANTS, LLC
 Attention: Laith Ezzet
 19200 Von Karman Avenue, Suite 360
 Irvine, CA 92612

Nine.2 Interpretation. The terms of this Agreement shall be construed in accordance with the meaning of the language used and shall not be construed for or against either party by reason of the authorship of this Agreement.

Nine.3 Integration; Amendment. This Agreement contains the entire understanding of the parties herein and supersedes any and all other written or oral understandings as to those matters contained herein, and no prior oral or written understanding shall be of any force or effect with respect to those matters covered thereby. No amendment, change or modification of this Agreement shall be valid unless in writing, stating that it amends, changes or modifies this Agreement, and signed by all the parties hereto.

Nine.4 Severability. In the event that part of this Agreement shall be declared invalid or unenforceable by a valid judgment or decree of a court of competent jurisdiction, such invalidity or inability to enforce shall not affect any of the remaining portions of this Agreement which are hereby declared as severable and shall be interpreted to carry out the intent of the parties hereunder unless the invalid provision is so material that its invalidity deprives either party of the basic benefit of their bargain or renders this Agreement meaningless.

Nine.5 Authority. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Agreement on behalf of said parties.

Nine.6 Statutory References. All references in this Agreement to particular statutes, regulations, ordinances, or resolutions of the United States, the State of California, or the County

of Orange shall be deemed to include the same statute, regulation, ordinance or resolution as hereafter amended or renumbered, or if repealed, to such other provisions as may thereafter govern the same subject.

Nine.7 Special Provisions. Any additional or supplementary provisions or modifications or alterations of this Agreement shall be set forth in Exhibit “D” (“Special Provisions”). In the event of any discrepancy between the provisions of this Agreement and the Special Provisions, Special Provisions shall take precedence and prevail.

[SIGNATURES BEGIN ON NEXT PAGE]

IN WITNESS WHEREOF, the parties have entered into this Agreement as of the date first written above.

CITY:

CITY OF YORBA LINDA

CONSULTANT:

HF&H CONSULTANTS, LLC

By:

Its: City Manager

By:

Name: Laith Ezzet

Title: Senior Vice President

ATTEST:

By:

Marcia Brown, City Clerk

APPROVED AS TO FORM
RUTAN & TUCKER, LLP

By:

City Attorney, City of Yorba Linda

EXHIBIT A

SCOPE OF SERVICES

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Amendment No. 1

CITY of YORBA LINDA

AMENDMENT NO. 1 TO HF&H PROFESSIONAL SERVICES AGREEMENT FOR SB 1383 IMPLEMENTATION ASSISTANCE AND CONTRACT MONITORING

This is **Amendment No. 1** ("Amendment No. 1") to that certain Agreement for Contract Services ("Agreement") made on August 2, 2022, by and between the City of Yorba Linda ("City") and HF&H Consultants, LLC ("Consultant"), which this **Amendment No. 1** is made and entered into on July 16, 2024, to continue Consultant's work providing legislative compliance assistance for the City's SB 1383 implementation program and assisting with contract monitoring as described in Exhibit A.

1. Capitalized terms used but not defined in this Amendment No. 1 shall have the meanings ascribed to them in the Agreement.
2. Section 1.1 "Scope of Services" is amended to provide updated task descriptions of consultant's ongoing services for the extended term, and is revised to read as follows:

1.1 Scope of Services. In compliance with all terms and conditions of this Agreement, Consultant shall provide those services related to SB 1383 implementation assistance and contract monitoring, as specified in the "Scope of Services" attached hereto as Exhibit "A" and incorporated herein by this reference (the "services" or "work"). Exhibit A, "Scope of Services" is supplemented to include the supplement attached as Exhibit A-2 hereto. The supplement to the "Scope of Services" is not intended to replace the original Exhibit A to the Agreement, but instead to update the scope of work listed in the original Exhibit A to the Agreement. Consultant warrants that all services will be performed in a competent, professional, and satisfactory manner in accordance with the standards prevalent in the industry for such services

3. Section 2.1 "Contract Sum" is amended to read as follows, increasing the compensation of the Agreement to provide **Seventy-Five Thousand Dollars (\$75,000)** for additional services, increasing the total not-to-exceed Agreement amount to **One Hundred Fifty-Five Thousand Five Hundred Dollars (\$155,500.00)**, as delineated in Exhibit A-3, attached hereto:

Two.1 Contract Sum. For the services rendered pursuant to this Agreement, Consultant shall be compensated in accordance with Exhibit "A" (the "Scope of Services") in a total amount not to exceed one hundred fifty-five thousand and five hundred dollars (\$155,500.00) (the "Contract Sum"), except as provided in Section 1.2. The method of compensation set forth in the Schedule of Compensation may include a lump sum payment upon completion, payment in accordance with the

percentage of completion of the services, payment for time and materials based upon Consultant's rate schedule, but not exceeding the Contract Sum, or such other methods as may be specified in the Schedule of Compensation. Compensation may include reimbursement at Consultant's actual cost, without additional overhead or services charge, for actual and necessary expenditures for reproduction costs, transportation expense, telephone expense, and similar costs and expenses when and if specified in the Schedule of Compensation.

4. Section 3.4 "Term" is amended to read as follows, bringing the Agreement into alignment with the fiscal year and the City's practice of limiting contract terms to no more than five years by adding two additional years to the agreement which will conclude on June 30, 2026, with an optional one-year extension.

3.4 Term. The term of this Agreement shall commence on August 2, 2022, and terminate on June 30, 2026. This agreement may be extended upon mutual agreement by both parties for an additional one (1) year term. Unless earlier terminated in accordance with Section 8.11 or 8.12 of this Agreement, this Agreement shall continue in full force and effect until completion of the services, except as otherwise provided in the Schedule of Performance.

5. All other terms and conditions of the Agreement remain in full force and effect.
6. This Amendment No. 1 may be executed in multiple counterparts, each of which shall be an original and all of which together shall constitute one agreement.

(Signatures on Following Page)

IN WITNESS WHEREOF, the Parties have executed and entered into this Agreement as of the date first written above.

CITY:
CITY OF YORBA LINDA

CONSULTANT:
HF&H CONSULTANTS, LLC

By:

MARK A. PULONE
CITY MANAGER

By:

Name: Laith Ezzet
Title: Senior Vice President

ATTEST:

Marcia Brown
City Clerk

APPROVED AS TO FORM:
RUTAN & TUCKER LLC

Todd Litfin
City Attorney

EXHIBT "A-3"
Contract Compensation Table

Compensation for Original Agreement, and Amendments are listed in the table below for reference and tabulation purposes only.

<u>Amendment No.</u>	<u>TERM</u>	<u>AMOUNT</u>
(A) <u>Original Agreement</u>	<u>August 2, 2022 – August 1, 2024</u> <u>(2-Years)</u>	<u>\$80,500</u>
(A) <u>Amendment NO. 1</u>	<u>July 16, 2024 – June 30, 2026</u> <u>(2-years with optional 1-year extension)</u>	<u>\$75,000</u>

<u>Not-to-Exceed Agreement Total</u> <u>Compensation=</u>	<u>\$155,500.00</u>
--	----------------------------

2081 Business Center Drive, Suite 265
Irvine, California 92612
Telephone: (949) 251-8628
Fax: (949) 251-9741
www.hfh-consultants.com

Robert D. Hilton, Emeritus
John W. Farnkopf, PE
Laith B. Ezzet, CMC
Richard J. Simonson, CMC
Marva M. Sheehan, CPA
Robert C. Hilton, CMC

June 20, 2024

Ms. Jamie Lai
Public Works Director
City of Yorba Linda
4845 Casa Loma Avenue
Yorba Linda, California 92886

Re: Proposal to Provide Solid Waste, Recycling, and Organics Consultant Services

Dear Ms. Lai:

HF&H Consultants (HF&H) is pleased to submit this proposal to the City of Yorba Linda (City) to provide solid waste, recycling, and organics consultant services. HF&H has a long history of successfully providing these services to jurisdictions throughout California since 1989.

We believe that HF&H brings the following qualifications and benefits to the City:

- 1. We are an industry recognized thought-leader in environmental strategic planning, goal setting, policy development and program implementation.*** Clients of HF&H receive innovative and pragmatic solid waste and recycling plans that have been developed with decade's worth of diverse experience. Our pioneer role in the zero-waste planning field, assisting communities such as the cities of San Diego, Santa Monica, and Livermore, and the County of San Diego, has provided us with an unmatched menu of services and programs, as well as unrivaled implementation experience. This range of experience allows us to develop both short and long-term goals that meet the specific needs of our clients, while maintaining a realistic understanding of the impacts on client costs and diversion.
- 2. HF&H is regarded as the industry expert for SB 1383 compliance.*** In 2019, CalRecycle engaged HF&H to develop a stakeholder input group and create Model SB 1383 Implementation Tools and Guidance. These model tools were developed to support jurisdictions and other regulated entities across the state with implementing programs and policies to reach compliance with SB 1383 regulations. The model tools include a Model Enforcement Ordinance, Model Procurement Policy, Model Franchise Agreement, and Model Food Recovery Agreement. Our range of experience supporting California jurisdictions with SB 1383 includes, but is not limited to, strategic planning, cost modeling, sole source and competitive procurements, ordinance development, program development, SB 1383 Gap/Performance Analysis, SB 1383 contract and report management, and engagement in the regulatory process.
- 3. We identify the individual needs of our clients and their communities.*** At HF&H we partner with key stakeholders, including City Council, City staff, residents, and other applicable community parties to set measurable, achievable goals. The purpose of these goals is to meet the specific needs of the

Ms. Jamie Lai
June 20, 2024
Page 2

community and achieve regulatory compliance while minimizing the financial impact on ratepayers. Again, our experience has helped us develop a vast array of facilitation methods, including online surveys, webinars, live streams, and council workshops. HF&H staff includes SWANA and CRRRA certified zero waste instructors.

4. ***HF&H does not provide solid waste consulting services to waste haulers.*** HF&H exclusively provides consulting services to municipalities for the better interest of our clients and to avoid potential conflicts of interest that may arise in firms that attempt to serve public agencies and haulers. We believe this independence is particularly important for objective proposal evaluation and effective negotiations during the procurement of a solid waste services agreement. Additionally, our municipal focus ensures that we are aware of the unique requirements of public officials.

Thank you for the opportunity to provide you with this information. We look forward to an opportunity to continue our partnership with the City. If you have any questions, please contact Haley Kunert at (949) 251-0930 or hkunert@hfh-consultants.com.

Very truly yours,
HF&H CONSULTANTS, LLC



Laith Ezzet, CMC
Senior Vice President



Haley Kunert
Senior Project Manager

SECTION 1: SCOPE OF WORK

Task 1: Ongoing Contract Monitoring (Contract Administration Tasks)

HF&H will support the City of Yorba Linda with ongoing contract compliance activities such as monitoring key services and compliance dates, reporting requirements, and specific annual SB 1383 program and educational requirements.

For this task, HF&H may assist through the following subtasks as project budget allows:

- Track key contract deadlines and deliverables.
- Attend virtual monthly compliance and contract management meetings with City staff.
- Discuss the success and effectiveness of contractor provided programs and services.
- Upon request, support the annual rate adjustment review.
- Upon request, review public education pieces prepared by contractor.
- Upon request, suggest topics for waste and recycling public education pieces.
- Upon request, review contractor documents and reports.
- Upon request, provide monitoring, data management, and analysis for the consideration and assessment (if applicable) of liquidated damages per the terms of the agreement.
- Upon request, draft or review staff memos or other internal documents related to waste and recycling.

This task includes communication with City and contractor staff to consult on City inquiries related to the exclusive franchise agreement with contractor.

Task 2: SB 1383 Legislative Compliance Assistance (Grant Covered Tasks)

HF&H will assist with various SB 1383 diversion related inquiries and miscellaneous tasks that arise from time to time to the extent the project budget supports a request. These tasks will include legislative research, compliance tracking and reporting, and providing general solid waste, recycling, and organics liaison assistance.

For this task, HF&H may assist through one or more of the following subtasks:

- Track solid waste legislation, regulations, SB 1383 resources, guidance, and funding opportunities, CalRecycle policy decisions, and other solid waste, recycling, and organics issues pertinent to the City.
- Provide legislative and regulatory updates and discuss significant items at virtual and/or in-person meetings.
- Monitor local solid waste, recycling, and organics industry developments that may impact Yorba Linda, such as the development of composting operations at the Orange County landfills.
- Upon City request, perform an annual review of the City's Implementation Record to assess compliance and identify performance opportunities.
- Upon City request, provide ongoing training and technical assistance regarding the implementation, monitoring, evaluation, funding, and enforcement of various SB 1383 requirements, programs, and services.

- Upon City request, review the City's current EPPP Policy or Financial Procurement Policy(ies) and identify compliance gaps and strategies for resolution.
- Upon City request, review the City's current CalGreen Construction and Demolition and Model Water Efficiency Landscape Ordinances and internal policies for SB 1383 compliance.
- Upon City request, HF&H will review and provide feedback on a final draft of the Electronic Annual Report/SB 1383 compliance report required by 14 CCR 18994.2.
- Upon City request, develop and implement report templates to align with SB 1383 reporting requirements.
- Other ongoing SB 1383 activities that may be identified during the course of implementation.

This task will also include communication with the City's CalRecycle representative to ensure ongoing compliance with state regulations.

Task 3: Other Tasks as Assigned

HF&H is available to assist with other solid waste and recycling contract management or compliance activities that may be identified during the course of the project as budget allows.

SECTION 2: FEE PROPOSAL

We will perform the scope of work based on time and materials, up to the limit of the available budget. We understand the City's anticipated budget for these services is \$75,000. We will bill the City once per month based on the number of hours worked and expenses incurred. Payment is due within 30 days of invoicing. Hourly rates are shown below.

Professional Fees

Hourly rates for professional and administrative personnel through December 31, 2024, are as follows:

<u>Position</u>	<u>Rate*</u>
Executive	\$320 - \$350
Senior Project Manager	\$295 - \$315
Project Manager/Senior Associate	\$215 - \$285
Associate Analyst	\$185 - \$200
Assistant Analyst	\$160 - \$180
Administrative Staff	\$125 - \$160

*Hourly rates adjust each January 1 by 4.0%.

Direct Expenses

Standard charges for common direct expenses are as follows:

Automobile Travel	Prevailing IRS mileage rate
Airfare and Public Transit	Actual Cost
Postage, overnight mail, couriers, and other out-of-pocket costs	Actual cost

Table 1: Workplan for City of Yorba Linda*

Task Description	Sr. Vice President	Sr. Project Manager	Sr. Associate	Assistant	Total Hours
1. Ongoing Contract Monitoring					
Task 1 Hours	8	27	36	60	131
Task 1 Fees	\$ 2,792	\$ 7,965	\$ 7,740	\$ 9,900	\$ 28,397
2. SB 1383 Legislative Compliance Assistance					
Task 2 Hours	6	39	66	108	219
Task 2 Fees	\$ 2,094	\$ 11,505	\$ 14,190	\$ 17,820	\$ 45,609
3. Other Tasks As Assigned					
Task 3 Hours	-	-	-	-	-
Task 3 Fees	\$ -	\$ -	\$ -	\$ -	\$ -
Total Hours	14	66	102	168	350
Hourly Rate	\$ 349	\$ 295	\$ 215	\$ 165	
Subtotal	\$ 4,886	\$ 19,470	\$ 21,930	\$ 27,720	\$ 74,006
Expenses					\$ 994
Total Fees and Expenses					\$ 75,000

* Hours may be shifted among tasks



STAFF REPORT

CITY of YORBA LINDA

PARKS AND RECREATION DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: MIKE KUDRON, DIRECTOR OF PARKS AND RECREATION

SUBJECT: BUDGET APPROPRIATION FOR PARK IMPROVEMENTS

RECOMMENDATION

It is recommended that the City Council appropriate \$75,000 from account 4021999-491010 (Park In-Lieu Fund) and transfer to Parks Division account 1010460-432650 to facilitate park improvements.

BACKGROUND

The Parks and Recreation Commission met on Thursday, June 20, 2024. Pickleball at Las Palomas Park was on the agenda in response to complaints from residents and the East Lake Village Community Association advocating for the immediate removal of the pickleball courts. Their main concerns are issues related to parking, safety, noise, decreased property values, and crime. There were approximately 45 people in attendance for the meeting. After a lengthy presentation from staff, there were 21 people that spoke during public comments on the agenda item. Of the speakers, 11 supported pickleball with 10 in opposition.

Following discussion, the Commission voted unanimously to implement the following mitigation measures to help address concerns from residents living near Las Palomas Park and to facilitate orderly use of the pickleball courts.

1. Modify the pickleball hours at Las Palomas to 8:00am – 9:00pm.
2. Install an automated lock on the pickleball gate.
3. Encourage residents to evaluate permit parking options.
4. Install Acousti-Blok (sound absorption panels) at Las Palomas Park.
5. Implement reservation-based programming Monday-Thursday after 4:00pm.
6. Maximize existing pickleball resources at other sites.
 - Install fencing at Brush Canyon Park and Box Canyon Park.
 - Establish dedicated evening hours for pickleball at Vista Del Verde Park along with rules and paddle racks to facilitate open social play.

Notification of the new pickleball hours was posted to begin on July 15. Staff is currently researching various options for reservation-based programming and developing potential rules for the Vista Del Verde Park basketball/pickleball courts and other courts with pickleball

BUDGET APPROPRIATION FOR PARK IMPROVEMENTS

Page | 2

overlay lines. These will be presented to the Parks and Recreation Commission for consideration at a future meeting.

DISCUSSION

The Parks and Recreation Commission also recommended installation of Acousti-Blok (sound absorption panels) at Las Palomas Park and fencing at Box Canyon Park and Brush Canyon Park to help address resident concerns. The noise from the Las Palomas Park pickleball courts does not appear to be in excess of the noise ordinance and typical park noise is exempt from noise ordinance thresholds. However, pickleball noise can be irritating and installation of Acousti-Blok (sound absorption panels) would assist in reducing the noise. The estimated cost is \$25,000.

Installation of fencing at Box Canyon Park and Brush Canyon Park was also recommended in an effort to improve other pickleball sites in Yorba Linda to spread pickleball players out to several facilities instead of congregating at one primary site. A common complaint from pickleball players is that they do not want to play at Box Canyon or Brush Canyon because they have to chase the ball after every point. The estimated cost is \$25,000 at each park.

FISCAL IMPACT

These park improvements were not budgeted as part of the Parks and Recreation Department operating budget. Therefore, staff recommends appropriating \$75,000 from account 4021999-491010 (Park In-Lieu Fund) and transferring to Parks Division account 1010460-432650 to facilitate these park improvements.

ALTERNATIVES

Do not approve the budget appropriation and provide direction to staff.



PLANNING COMMISSION | AGENDA ITEM SUMMARY

MEETING DATE | JUNE 26, 2024

Community Development Department
Planning Division

Director
Nate Farnsworth, AICP

4.1 APPROVAL OF JUNE 12, 2024 PLANNING COMMISSION MEETING MINUTES

A motion by Commissioner Masterson, Second by Commissioner Behura to approve the minutes as mailed. The motion carried (3-0-2-0) with the following roll call vote:

AYES: Masterson, Behura, Bernstein
NOES: None
ABSENT: Pease, Singh
ABSTAIN: None

7.1 CONDITIONAL USE PERMIT 2023-37 YANG

A motion by Commissioner Masterson, Second by Commissioner Behura to adopt **Resolution No. 5597** Conditional Use Permit 2023-37 Yang with the amended conditions from Community Development Director, Farnsworth. The motion carried (3-0-2-0) with the following roll call vote:

AYES: Masterson, Behura, Bernstein
NOES: None
ABSENT: Pease, Singh
ABSTAIN: None

7.2 CONDITIONAL USE PERMIT 2024-11 PATEL

A motion by Commissioner Behura, Second by Commissioner Masterson to adopt **Resolution No. 5598** Conditional Use Permit 2024-11 Patel subject to attached conditions of approval. The motion carried (3-0-2-0) with the following roll call vote:

AYES: Masterson, Behura, Berstein
NOES: None
ABSENT: Pease, Singh
ABSTAIN: None

8.1 SIXTH-MONTH PROGRESS REVIEW OF AMENDED CONDITIONAL USE PERMIT 2023-36 FOUR SEVENTEEN AUTOGROUP

A motion by Commissioner Masterson, Second by Commissioner Behura to finalize the compliance with conditions of approval included in Resolution No. 5575. The motion carried (3-0-2-0) with the following roll call vote:

AYES: Masterson, Behura, Bernstein

NOES: None

ABSENT: Pease, Singh

ABSTAIN: None

Adjournment: The meeting adjourned at 7:40 p.m. to the July 10, 2024, Planning Commission meeting at 6:30 p.m.



PLANNING COMMISSION | AGENDA ITEM SUMMARY

MEETING DATE | JULY 10, 2024

Community Development Department
Planning Division

Director
Nate Farnsworth, AICP

4.1 APPROVAL OF JUNE 26, 2024 PLANNING COMMISSION MEETING MINUTES

A motion by Commissioner Masterson, Second by Chair Pro Tem Bernstein to approve the minutes as mailed. The motion carried (4-0-0-1) with the following roll call vote:

AYES: Masterson, Behura, Bernstein, Singh
NOES: None
ABSENT: None
ABSTAIN: Pease

7.1 CONDITIONAL USE PERMIT 2023-35 WU

A motion by Commissioner Behura, Second by Commissioner Pease to continue Conditional Use Permit 2023-35 Wu to a date certain of July 24, 2024 at 6:30 p.m. The motion carried (5-0) with the following roll call vote:

AYES: Masterson, Behura, Bernstein, Pease, Singh
NOES: None
ABSENT: None
ABSTAIN: None

7.2 CONDITIONAL USE PERMIT 2024-22 HAYDEN

A motion by Commissioner Pease, Second by Chair Pro Tem Bernstein to adopt **Resolution No. 5599** Conditional Use Permit 2024-22 Hayden with amended conditions of approval. The motion carried (5-0) with the following roll call vote:

AYES: Masterson, Behura, Bernstein, Pease, Singh
NOES: None
ABSENT: None
ABSTAIN: None

Adjournment: The meeting adjourned at 7:16 p.m. to the July 24, 2024, Planning Commission meeting at 6:30 p.m.



STAFF REPORT

CITY of YORBA LINDA

CITY CLERK'S OFFICE

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: MARCIA BROWN, CMC, CITY CLERK

SUBJECT: COUNCIL COMMITTEE AND AGENCY REPORTS

RECOMMENDATION

It is recommended that the City Council receive and file this report.

DISCUSSION

City Council members serve on a number of outside committees and agencies. Attached are updates received recently from these agencies.

ATTACHMENTS

1. Reports from City Council Organizations, Agencies and Committees

ORANGE COUNTY MOSQUITO AND VECTOR CONTROL DISTRICT

MONTHLY REPORT: Yorba Linda

June



	Monthly	Year to Date (YTD)	County Monthly	County YTD
CONTROL				
Service Requests Completed:	8	39	248	1,164
Mosquitoes:	5	28	194	894
Rats:	1	5	41	175
RIFA:	2	6	8	76
Number of Swimming Pools Inspected/Treated:	32	192	664	4,737
Hours Spent Treating/Inspecting Gutters	0	0	734.77	992.3
Acres of Flood Channels Treated:	0	0.2	65.233	105.4508
Acres Treated for RIFA:	31	301	2,063	8,789
IT (inspection/treatment) Sites Serviced:	38	274	1,274	7,764
SURVEILLANCE				
Adult Mosquitoes Collected:	1,051	1051	29,951	53,900
Mosquito Pools (Samples) Tested:	8	8	467	1,136
WNV Positive Samples:	0	0	0	0
Other Positive Samples	0	0	0	0
WNV Positive Birds:	0	0	0	0
COMMUNICATIONS / OUTREACH				
Outreach Events Attended:	0	0	6	31
General Presentations:	0	0	9	25
Educational Program Presentations:	0	0	0	0
Service Requests & Miscellaneous Calls Received	14	69	498	2,375
COUNTY WIDE PROJECTS / INFORMATIONAL UPDATE				
Fleas, Ticks, and Others Tested:	-	-	-	1,051
Number of Disease Investigations:	0	0	3	14
WNV Investigations:	0	0	0	1
Dengue Investigations:	0	0	2	15
Typhus Investigations:	0	0	1	2
Other Investigations:	0	0	0	0
Undergrounds Storm Systems Treated:	36	78	4,163	9,478
Public Insect ID Completed:	-	-	81	347



STAFF REPORT

CITY of YORBA LINDA

ADMINISTRATION DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: TODD LITFIN, CITY ATTORNEY
PREPARED BY: ALLISON ESTES, ASSISTANT TO THE CITY MANAGER

SUBJECT: RESOLUTIONS PERTAINING TO CITYWIDE MEASURE B ELECTION AND
BALLOT MEASURE ON AMENDMENTS TO GENERAL PLAN AND
ZONING REQUIREMENTS FOR CERTAIN SITES IDENTIFIED IN THE 2021-
2029 HOUSING ELEMENT

RECOMMENDATION

It is recommended that the City Council discuss and consider the following actions relative to a citywide measure relating to amendments to the City's General Plan and Zoning requirements for nineteen separate sites within the City:

1. **Adopt Resolution No. 2024-5901**, ordering the submission to the qualified electors of the City of Yorba Linda one ballot measure relating to amendments to the City's General Plan and Zoning requirements for nineteen separate sites for the General Municipal Election to be held on Tuesday, November 5, 2024.
2. **Adopt Resolution No. 2024-5902**, setting priorities for filing written arguments regarding one City measure and directing the City Attorney to prepare an impartial analysis.
3. **Adopt Resolution No. 2024-5903**, providing for the filing of rebuttal arguments for one City measure to be placed on the November 5, 2024 General Municipal Election Ballot.

BACKGROUND

The resolutions contained herein pertain to the General Municipal Election called for November 5, 2024, regarding voter approval of various actions submitted by the City Council to the voters relating to the City's 2021-2029 Housing Element. Certain amendments to the City's General Plan and Zoning laws require approval by a majority vote of the electorate in compliance with the Yorba Linda Right-to-Vote amendment ("Measure B", Yorba Linda Municipal Code chapter 18.01.) Approvals of land use regulations pertaining to sites identified in the City's 2021-29 Housing Element as potential locations for State-mandated housing took place on June 18, 2024.

RESOLUTIONS PERTAINING TO CITYWIDE MEASURE B ELECTION AND BALLOT MEASURE ON AMENDMENTS TO GENERAL PLAN AND ZONING REQUIREMENTS FOR CERTAIN SITES IDENTIFIED IN THE 2021-2029 HOUSING ELEMENT

Page | 2

These approvals included:

- **Resolution No. 2024-5898** General Plan Amendment 2023-01 to revise the conditionally-certified City of Yorba Linda Housing Element and approving an Addendum to the Final Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) including General Plan Amendment 2024-01, General Plan Amendment 2024-02, Zoning Code Amendment 2024-01, and Zoning Code Amendment 2024-02 to implement various programs from the Housing Element.
- **Ordinance No. 2024-1108** amending the text of the Land Use Element of the General Plan (GPA 2024-01) and finding that GPA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.
- **Ordinance No. 2024-1109** amending the text of the Land Use Element and amending the Land Use Diagram of the General Plan (GPA 2024-02) and finding that GPA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.
- **Ordinance No. 2024-1110** amending the Zoning Code (ZCA 2024-01) and finding that ZCA 2024-01 is not subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.
- **Ordinance No. 2024-1111** amending the Zoning Code (ZCA 2024-02) and finding that ZCA 2024-02 is subject to a vote of the electorate of the City of Yorba Linda under the Yorba Linda Right-to-Vote Initiative.

The second reading of the above ordinances is on the July 16, 2024 City Council Meeting agenda for approval.

Ordinance Nos. 2024-1109 and 2024-1111 amended the General Plan and approved Zone changes contingent upon approval by a majority vote of the electorate in compliance with Measure B. The sites tentatively approved for higher residential densities in Ordinances Nos. 2024-1109 and 2024-1111 are outlined in the Housing Element with maps and additional information on the sites included as **Attachment 1** to this staff report.

On June 4, 2024, the City Council adopted Resolution No. 2024-5891, calling a General Municipal Election and Resolution No. 2024-5892, requesting consolidation of the election with the Statewide General Election. As provided by Measure B, the proposed General Plan Amendments and Zone Changes would not become effective unless and until they are approved by the City Council in accordance with the procedures established by Measure B and a majority vote of the electorate of the City of Yorba Linda.

DISCUSSION

The Election Code requires the adoption of the attached resolutions in order to place a measure related to whether the voters desire to make amendments to the City's General Plan and Zoning requirements for nineteen separate sites within the City on the November

RESOLUTIONS PERTAINING TO CITYWIDE MEASURE B ELECTION AND BALLOT MEASURE ON AMENDMENTS TO GENERAL PLAN AND ZONING REQUIREMENTS FOR CERTAIN SITES IDENTIFIED IN THE 2021-2029 HOUSING ELEMENT

Page | 3

5, 2024 ballot. If the City Council approves the second reading of the ordinances (mentioned above) subject to a Measure B vote, the signed copies of those ordinances will be attached to Resolution No. 2024-5901. The County Registrar of Voters requires that all these resolutions be submitted to the County by August 9, 2024. The attached resolutions would cause one ballot measure with the following title and question to be submitted to the voters:

Yorba Linda Local Control, Residential Neighborhood, Open Space Protection Measure:

“To maintain local control over land use decisions; protect open space, single-family residential neighborhood character, height limits; limit traffic; shall Yorba Linda retain voter-approved development restrictions, adopt land use plans developed by residents including mixed-use housing, retaining/attracting businesses at Savi Ranch; limiting new housing density in areas including Richfield/Christmas Tree Farm and Buena Vista, vacant land at Fairmont/Quarter Horse Drive; requiring developer fees supporting parks/schools and public oversight?”

The attached resolutions also permit the filing of written arguments in favor of or against such measure by members of the City Council, any individual voter eligible to vote on the measure, a bona fide association of such citizens or any combination thereof, and establishes deadlines for submission of such arguments to the City Clerk. The deadline to submit arguments for or against the measure is July 26, 2024, 5:00 p.m. Furthermore, the City Attorney is ordered to prepare an impartial analysis within 10 days of the adoption of the attached resolutions.

The last resolution orders that the last date for any rebuttal arguments be 10 days after the final date for filing direct arguments. The deadline to submit rebuttal arguments is August 5, 2024, 5:00 p.m.

FISCAL IMPACT

The cost for a single ballot measure, as estimated by the Registrar of Voters, is \$8,500 when accompanying a local Council election. Therefore, the total cost estimate for the election is \$116,869 - \$134,844, depending on the number of ballot measures included. Adequate funding has been included in the FY 2024/25 adopted budget (1010160-424300) to cover these costs.

ALTERNATIVES

The City Council may receive and file this report. If so, a Measure B election pertaining to the Housing Element Implementation Plans would not be conducted at the General Election on November 5, 2024.

RESOLUTIONS PERTAINING TO CITYWIDE MEASURE B ELECTION AND BALLOT MEASURE
ON AMENDMENTS TO GENERAL PLAN AND ZONING REQUIREMENTS FOR CERTAIN SITES
IDENTIFIED IN THE 2021-2029 HOUSING ELEMENT

Page | 4

ATTACHMENTS

1. Sites Inventory and Maps
 2. Resolution No. 2024-5901
 3. Resolution No. 2024-5902
 4. Resolution No. 2024-5903
-

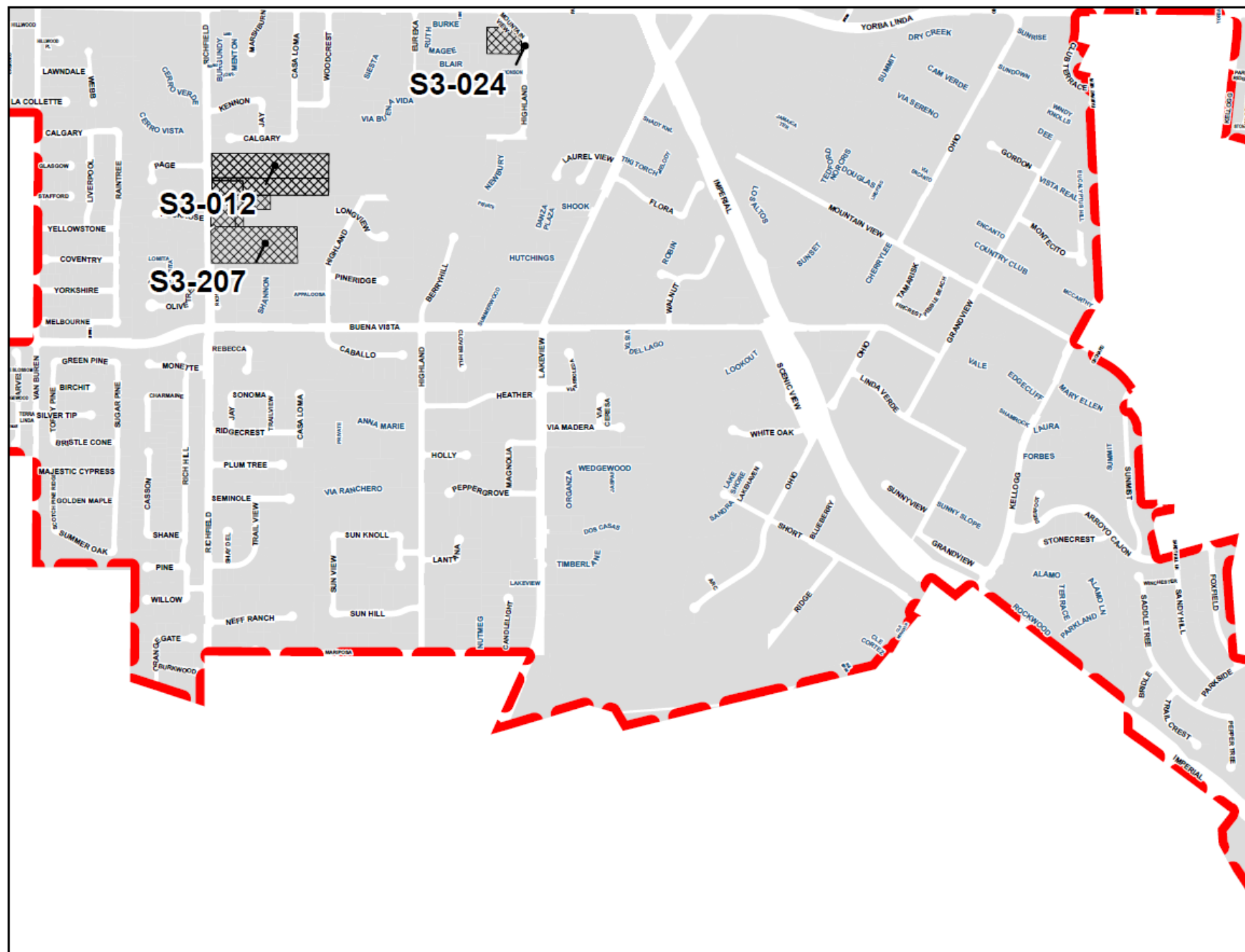
ATTACHMENT 1: Table 1 – Housing Rezone Sites

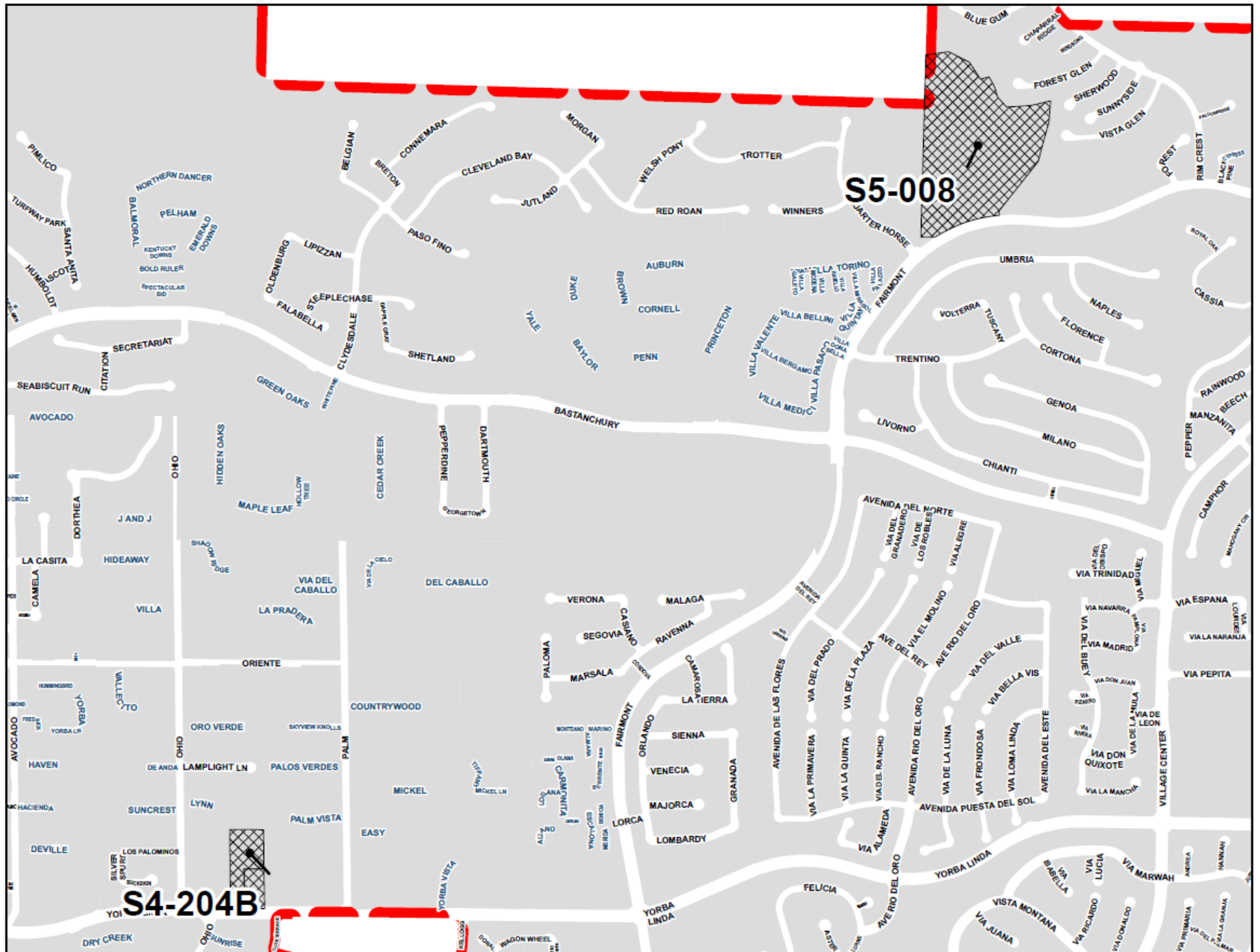
Please visit <https://yllocalcontrol.com/zoning-designations-explained/> for detailed explanations of General Plan and Zoning Designations.

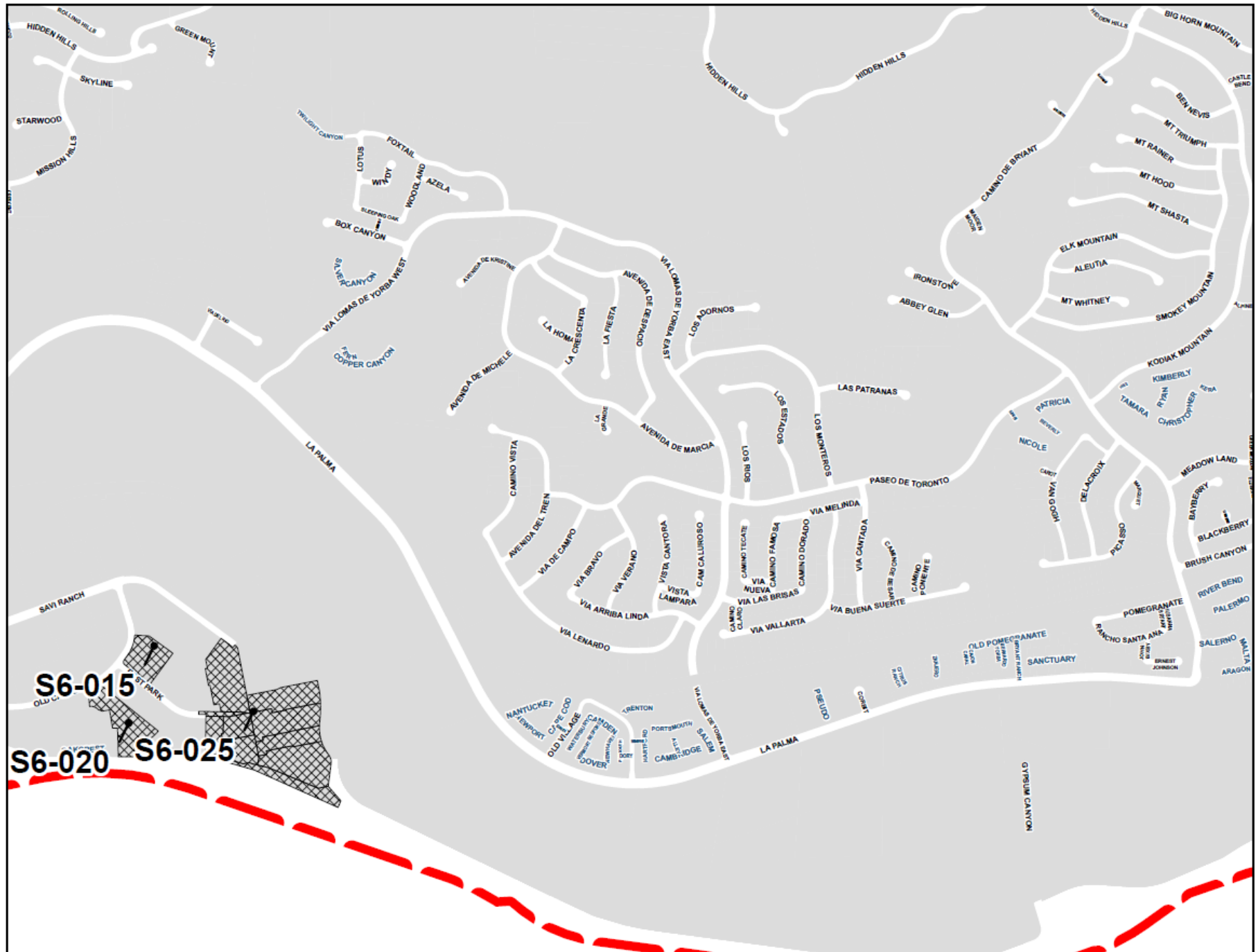
Site ID	Site Description and Address	APNs	Acres	Current Zoning	Proposed Zoning Action	Current General Plan	Proposed General Plan
RM-60 Sites – up to 60 units/acre							
S6-015	John Force Racing 22722 Old Canal Road	352-115-08	2.56	PD/Industrial R & D	PD/Industrial R & D with RM-60 standards	IM	IM
S6-020	Extended Stay America 22711 Oak Crest Circle	352-117-09, -11, -12	10.35	PD/Office-Commercial	PD/Office-Commercial with RM-60 standards	IM	IM
S6-025	Bac Tran Savi Ranch Site	352-231-01, -02, -03, -04, -05, -06, -07, -08, -09, -012, 352-116-14	23 (8 net acres)	PD	PD with RM-60 standards	IM	IM
Affordable Housing Overlay (AHO) Sites – up to 35 units/acre							
S1-200	SEC Rose Dr/Blake Rd	322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -19, -20, -21	5.94	RE (1.8 du/ac)	RM-20 with AHO	RML	RH
S3-082	4791 and 4811 Eureka Ave	343-582-01, -02	1.75	CG	RM-20 with AHO	AP	AP
S4-075	4742 Plumosa Drive	323-311-03	1.62	CG	RM-20 with AHO	AP	AP
Congregational Land Overlay (CLO) Sites – up to 35 units/acre							
S2-008	Friendship Baptist Church 17151 Bastanchury Rd	322-173-04, -07	4.92	RE (1.8 du/ac)	RE with CLO	RML	RML
S3-012	Richfield Community Church 5320 Richfield Rd	343-591-01, -02, -03	9.48	RU (4.0 du/ac)	RU with CLO	RM	RM
S2-013	Messiah Lutheran Church 4861 Liverpool St	334-292-18	6.2	RU (4.0 du/ac)	RU with CLO	RMH	RMH
S3-024	Friends Church and Overflow Parking 5091 and 5005 Mountain View Avenue	343-582-12	17.45	RE (1.8 du/ac)	RE with CLO		AP/RM
S3-210	Shinnyo-En USA 18021-18111 Bastanchury Rd	323-171-07, -08, -09	9.23	PD/RA Standards	Add CLO	AP	AP

Site ID	Site Description and Address	APNs	Acres	Current Zoning	Proposed Zoning Action	Current General Plan	Proposed General Plan
Mixed Use Overlay (MUO) Sites – up to 35 units/acre							
S1-021	Vacant Parcel (W of 16951 Imperial Hwy)	322-121-07	1.76	CG-(I)	CG-(I) with MUO	C	C
RM-20 – up to 20 units/acre							
S4-200	18597-18602 Altrudy Lane	323-231-18, -19	2	RS (3.0 du/ac)	RM-20	RM	RH
S4-204B	19081-19111 Yorba Linda Blvd	323-081-35, -36	3.9	RE (1.8 du/ac)	RM-20	RML	RH
RM – up to 10 units/acre							
S3-207	5300-5392 Richfield Rd	343-591-05, -06, -07, -25	8.83	RU (4.0 du/ac)	RM	RM	RH
S3-211	17651 Imperial Highway	323-051-26, -27	2.32	RS (3.0 du/ac)	RM	RM	RH
PD (Planned Development)							
S5-008	Vacant Parcel off NS of Fairmont Blvd, east of Quarter Horse, west of Forest Ave	326-081-01	9	PD	PD (RM standards at 3 du/ac)	RM/OS	RM/OS
S3-203	18101-19251 Bastanchury	323-181-04, -05, -06, -07 323-191-06, -07, -39, -46	19.58	PD/RA Standards	Amend West Bastanchury PD to PD with RM standards	AP	AP

Please visit <https://yllocalcontrol.com/zoning-designations-explained/> for detailed explanations of General Plan and Zoning Designations.







ATTACHMENT 2

RESOLUTION NO. 2024-5901

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA, ORDERING THE SUBMISSION TO THE QUALIFIED ELECTORS OF THE CITY OF YORBA LINDA ONE BALLOT MEASURE RELATING TO AMENDMENTS TO THE CITY'S GENERAL PLAN AND ZONING REQUIREMENTS FOR NINETEEN SEPARATE SITES WITHIN THE CITY FOR THE GENERAL MUNICIPAL ELECTION TO BE HELD ON TUESDAY, NOVEMBER 5, 2024

WHEREAS, a Municipal Election has previously been called by the City Council of the City of Yorba Linda and consolidated with the Statewide General Election to be held on November 5, 2024; and

WHEREAS, the City has conducted extensive outreach and public engagement efforts, including over fifteen public meetings and workshops, clearly communicating the residents' desire to keep local control over land use policy; and

WHEREAS, the City has listened to residents and devised an improved Housing Element that benefits from diverse resident viewpoints and enhances the previous Housing Element, balancing growth while protecting the character of Yorba Linda neighborhoods; and

WHEREAS, the City desires to ensure that land use planning remains a local activity and is not shifted to Sacramento bureaucrats to plan Yorba Linda's housing future; and

WHEREAS, the November 2024 election is the final opportunity for Yorba Linda voters to consider and adopt a measure that allows the City to implement the Housing Element in compliance with state mandates, or risks losing local control over land use planning; and

WHEREAS, the City has pursued legal efforts to fight for local control, but those efforts have failed in the courts of California; and other cities have also pursued lawsuits against Sacramento housing mandates and have mostly lost, leaving the City with no reasonable legal pathways to fight Sacramento mandates; and

WHEREAS, if the City fails to provide an opportunity for residents to approve the Housing Element zoning changes, certain open space areas in the City will become available for nearly unrestricted housing; and

WHEREAS, the City desires to maintain local control over housing projects, including design and zoning and to prevent developers from filing Builder's Remedy applications that could enable housing developments far exceeding existing zoning limits and bypass significant elements of the City's current zoning and design;

WHEREAS, the City envisions an opportunity to reinvigorate the Savi Ranch area, creating a second downtown experience with new dining and shopping options for residents and new business opportunities for small business owners; and

WHEREAS, the City desires to mitigate traffic concerns, rather than leaving the issue to the State who will not consider Yorba Linda traffic patterns; and

WHEREAS, the City seeks to protect the single-family neighborhoods of Yorba Linda and prevent mid and high-rise developments from being built near the neighborhoods that define the Yorba Linda lifestyle; and

WHEREAS, if the City fails to provide voters the opportunity to consider approving the revised Housing Element zoning, it will threaten the single-family neighborhoods and unique character of Yorba Linda; and

WHEREAS, the City also desires to submit to the voters at the November 5, 2024, General Election a ballot measure; and

WHEREAS, in connection with the City of Yorba Linda's 2021-2029 Housing Element and in accordance with the Regional Housing Needs Assessment (RHNA) requirement (as set forth in Government Code section 65580 *et seq.* ["Housing Element Law"] and applicable State Guidelines), the City Council for the City of Yorba Linda ("City Council") adopted two ordinances that further the development of affordable housing opportunities: (1) Ordinance No. 2024-1109 which would amend specified provisions of the Land Use Element and Land Use diagram of the City's General Plan ("General Plan Amendment 2024-02"), and (2) Ordinance No. 2024-1111 which would amend specified provisions of the City's Zoning Code and Zoning Map ("Zone Change 2024-02") (collectively the "Proposed Amendments"); and

WHEREAS, the Proposed Amendments would allow the development of additional housing units at nineteen locations within the City; and

WHEREAS, the City Council determined that the Proposed Amendments each constitute a "Major Amendment" as defined in the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as "Measure B") and are therefore subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, the City will present the Proposed Amendments to the voters in a ballot measure in the Municipal Election to be held on November 5, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. The City Council, pursuant to its right and authority as contained in California Elections Code, Section 9222, does order the following question be submitted to the qualified electors of the City of Yorba Linda at the general municipal election to be held on November 5, 2024:

To maintain local control over land use decisions; protect open space, single-family residential neighborhood character, height limits; limit traffic; shall Yorba Linda retain voter-approved development restrictions, adopt land use plans developed by residents including mixed-use housing, retaining/attracting businesses at Savi Ranch; limiting new housing density in areas including Richfield/Christmas Tree Farm and Buena Vista, vacant land at Fairmont/Quarter Horse Drive; requiring developer fees supporting parks/schools and public oversight?	Yes
	No

SECTION 2. The proposed ordinances shall be in the form attached hereto as Exhibits “A” and “B” to this Resolution and are incorporated by this reference as if fully set forth herein. The City Council directs that the entirety of Ordinance Nos. 2024-1109 and 2024-1111 be printed in the sample ballot and/or voter guide materials. The nineteen 2021-2029 Housing Element Sites are depicted on the map attached hereto as Exhibit “C” to this Resolution. The City Council directs that the entirety of the map at Exhibit “C”, or a substantially similar version thereof, be printed in the sample ballot and/or voter guide materials.

SECTION 3. The ballot title shall be “Yorba Linda Local Control, Residential Neighborhood, Open Space Protection Measure” or a title in substantially the similar form.

SECTION 4. In all particulars not recited in this Resolution, the election shall be held and conducted as provided by law for holding consolidated municipal elections.

SECTION 5. The City Council has independently reviewed and considered all of the information and environmental documentation comprising the 2021-2029 Housing Element Implementation Programs Final Program EIR and has found that the Final PEIR adequately considers all of the environmental impacts of the Proposed Amendments.

SECTION 6. Notice of the time and place for holding the election is given and the City Clerk is authorized, instructed and directed to give further or additional notice of the election, in time, form and manner as required by law.

SECTION 7. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

Exhibit A

ORDINANCE NO. 2024-1109

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE TEXT OF THE LAND USE ELEMENT AND AMENDING THE LAND USE DIAGRAM OF THE YORBA LINDA GENERAL PLAN (GENERAL PLAN AMENDMENT 2024-02) PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, WITH THE ADOPTION OF EACH INDIVIDUAL ITEM IDENTIFIED IN GENERAL PLAN AMENDMENT 2024-02 CONTINGENT UPON APPROVAL BY A MAJORITY VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA IN COMPLIANCE WITH THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code Amendments, it was determined that they were contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2022; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as “Measure B”), and are intended to preserve HCD’s certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the City Council has determined that the proposed amendments to specified provisions in the City of Yorba Linda Land Use Diagram, as identified in Exhibit “A” attached to this Ordinance and incorporated herein by this reference (“General Plan Amendment 2024-02”), each constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Element of the General Plan to increase the total residential capacity in the Community Core/Downtown Historical District Area Plan by 166 dwelling units to account for Sites S3-082, S3-204, and S4-075; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Element of the General Plan to increase the total residential capacity in the West Bastanchury Area Plan by 194 dwelling units to account for Sites S3-203 and S3-210; and

WHEREAS, General Plan Amendment 2024-02 would amend the Land Use Diagram by changing the land use designations for the following sites to “Residential - High”: APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #323-311-03 (Site S4-075), APN #334-101-39, -40 (Site S3-082), APN #323-081-35, -36 (Site S4-204B), APN #323-051-26, -27 (Site S3-211), APN #323-231-18, -19 (Site S4-200), APN #343-591-05, -06, -07, -25 (Site S3-207); and

WHEREAS, General Plan Amendment 2024-02 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the Land Use Element and Housing Element will be internally consistent within the City’s General Plan, as required by State law; and

WHEREAS, the proposed revisions in General Plan Amendment 2024-02 are internally consistent with the other elements of the General Plan; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Land Use Element of the General Plan and General Plan Land Use Diagram (referred to herein as “General Plan Amendment 2024-02”) as part of the consideration of the proposed Housing Element and implementation programs

included therein; and

WHEREAS, General Plan Amendment 2024-02 as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the General Plan and General Plan Land Use Diagram that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective. General Plan Amendment 2024-01 includes all of the amendments to the General Plan that do not constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore not subject to the approval of a majority vote of the electorate of the City to become effective.; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of General Plan Amendment 2024-02, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of General Plan Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on August 2, 2024, the City Council conducted a public hearing to receive public testimony with respect to General Plan Amendment 2024-02 as part of the consideration of the Housing Element implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on August 2, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.

The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:

- a. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously certified 2022 Certified PEIR because implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.
- b. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- c. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.

Section 2. The City Council has read and considered the amendments to the General Plan (referred to herein as "General Plan Amendment 2024-02") as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that General Plan Amendment 2024-02 is necessary to ensure that the General Plan is consistent within the City's other General Plan policies, goals and objectives, specifically the Housing Element, and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that General Plan Amendment 2024-02 is necessary to implement the Housing Element programs established in the 2021-2029

Housing Element, and as approved by the State of California, and would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission as modified herein to adopt General Plan Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts General Plan Amendment 2024-02, subject to each item identified therein to become effective only upon the approval by a majority vote of the electorate of the City of Yorba Linda voting “YES” on a ballot measure for the adoption of that item of General Plan Amendment 2024-02 at a duly noticed and held regular or special election of the electorate of the City of Yorba Linda.

Section 7. Pursuant to Elections Code section 9222, the City Council by subsequent ordinance or resolution shall identify the date of the election during which items identified in General Plan Amendment 2024-02 will be submitted for consideration by the electorate of the City of Yorba Linda, which election date shall be held not less than eighty-eight (88) days after the date of the subsequent ordinance or Ordinance ordering the election. Upon the ordering of the election by the City Council, the City Clerk shall be authorized and directed to take any and all necessary and proper actions to submit any identified items in General Plan Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in accordance with applicable State, County, and City laws, including the Yorba Linda Right-to-Vote Amendment (Measure B). The City Council hereby reserves the authority to submit the items identified in General Plan Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in separate elections. None of the items identified in General Plan Amendment 2024-02 shall take effect until approved by a majority vote of the electorate of the City of Yorba Linda.

Section 8. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 9. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 10. The City Clerk shall certify to the passage and adoption of this Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)
COUNTY OF ORANGE)
CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at a regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”**GENERAL PLAN AMENDMENT 2024-02****(Comprised of Item #1 – Item #8)****MODIFICATIONS TO THE TEXT OF THE LAND USE ELEMENT
OF THE CITY OF YORBA LINDA GENERAL PLAN**

Item No.	Page/Location	Amendment/Change
1	LU-25	Allowing multi-family housing between 20 to 60 DU/AC may be considered for specified sites within SAVI Ranch as described in the Housing Element.
2	LU-26	Increase the total residential capacity in the Community Core/Downtown Historical District Area Plan by 166 dwelling units to account for Sites S3-082, S3-204 and S4-075
3	LU-28	Increase the total residential capacity in the West Bastanchury Area Plan by 194 dwelling units to account for Sites S3-203 and S3-210

**MODIFICATIONS TO THE LAND USE DIAGRAM
OF THE CITY OF YORBA LINDA GENERAL PLAN**

Item No.	Page/Location	Site No.	Site Description	Amendment/Change
4	Map	Site S1-200	APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium Low” to “Residential - High”.</i>
5	Map	Site S4-200	APN #323-231-18, -19	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>
6	Map	Site S4-204B	APN 323-081-35, -36	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium Low” to “Residential - High”</i>
7	Map	Site S3-211	APN #323-051-26, -27	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>
8	Map	Site S3-207	APN #343-591-05, -06, -07, -25,	<i>Replace Land Use Diagram with updated version showing that the land use designation for this site has changed from “Residential – Medium” to “Residential - High”</i>

Exhibit B

ORDINANCE NO. 2024-1111

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA AMENDING THE CITY OF YORBA LINDA ZONING CODE AND ZONING MAP (ZONING CODE AMENDMENT 2024-02) PURSUANT TO THE IMPLEMENTATION PROGRAMS OF THE CITY OF YORBA LINDA 2021-2029 HOUSING ELEMENT, WITH THE ADOPTION OF EACH INDIVIDUAL ITEM IDENTIFIED IN ZONING CODE AMENDMENT 2024-02 CONTINGENT UPON APPROVAL BY A MAJORITY VOTE OF THE ELECTORATE OF THE CITY OF YORBA LINDA IN COMPLIANCE WITH THE YORBA LINDA RIGHT-TO-VOTE AMENDMENT

WHEREAS, under California law, every city must adopt a general plan, which must include specified mandatory elements, in furtherance of the State policy to provide a comprehensive, long-term plan for the physical development and use of property within a city's jurisdiction; and

WHEREAS, under California law, every city has the authority to adopt and amend a zoning code pursuant to a city's general police power, which allows for the orderly division of property within a city's jurisdiction into compatible uses and development standards so as to improve and protect the general welfare; and

WHEREAS, under California law, all of the elements within a city's general plan must be internally consistent, and all zoning must be in conformity with a city's general plan; and

WHEREAS, on October 28, 2016, the City of Yorba Linda (City) adopted its current General Plan (General Plan); and

WHEREAS, the City may amend all or part of its adopted General Plan to promote the public interest up to four times during any calendar year pursuant to Government Code Section 65358; and

WHEREAS, under California law, Government Code Section 65580 *et seq.* (Housing Element Law), every city in the State is required to periodically review and update the housing element of a general plan for the city, every city is mandated to include State-specified content in a housing element, and every city is required to submit a draft of its housing element to the California Department of Housing and Community Development (HCD) for review and determination as to whether the city's draft housing element substantially complies with the Housing Element Law; and

WHEREAS, between October 2020 and August 2022, City staff conducted numerous study sessions and community workshops with stakeholders, consultants, and members of the public to comment and provide direction on the content of the City's draft housing element, and conducted numerous public hearings related to the adoption of several General Plan Amendments and Zoning Code Amendments to implement the 2021-2029 Housing Element that was conditionally certified by HCD on April 8, 2022; and

WHEREAS, when adopting these General Plan Amendments and Zoning Code Amendments, it was determined that they were contingent upon a successful approval by the voters of the City of Yorba Linda of General Plan Amendment 2022-02 and Zoning Code Amendment 2022-02, which was presented to the electorate of the City as Measure Z as part of the November 2022 General Election; and

WHEREAS, the Orange County Registrar of Voters determined that Measure Z failed to receive the approval of a majority of the electorate of the City, and therefore, General Plan Amendments 2022-01 and 2022-02 and Zoning Code Amendments 2022-01 and 2022-02 did not become effective; and

WHEREAS, in order to retain its conditional certification of its Housing Element from the HCD, the City is required to present a rezoning plan to the general electorate of the City by the General Election in November 2024, the City has revised its Housing Element and its associated implementation programs; and

WHEREAS, since November 2022, the City has prepared a revised draft Housing Element update through a robust public outreach effort of seven public workshops, which attracted nearly 400 residents from a diversity of backgrounds, ethnicities, age groups, political affiliations, geography within the city, housing tenure, and varying perspectives on housing; and

WHEREAS, this revised draft Housing Element was submitted to HCD for consideration and it was determined on February 23, 2024 that the City's draft Housing Element was found to be in substantial conformance with State housing laws; and

WHEREAS, the City of Yorba Linda 2021-2029 Housing Element identifies for the applicable 2021-2029 planning period the housing needs in the community and programs to achieve the housing goals, policies and objectives of the City, which substantially comply with State-mandated content under the State Housing Element law pursuant to the certification issued by HCD on April 8, 2022; and

WHEREAS, the adopted Housing Element includes implementation programs that, if and when adopted by the City Council by separate and subsequent approvals from the approval of the Housing Element, would commence implementing actions (i) to amend the Land Use Element and Land Use Map of the City's General Plan; and, (ii) to amend specified sections of the City of Yorba Linda Zoning Code, Title 18 of the Yorba Linda Municipal Code (Zoning Code) and Zoning Map; and

WHEREAS, the implementation programs included in the adopted Housing Element are intended to be carried out separately from the adoption by the City Council of the Housing Element to facilitate the compliance, if and as applicable, with the requirements of the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 *et seq.* (commonly known as “Measure B”), and are intended to preserve HCD’s certification of the adopted Housing Element for the entirety of the 2021-2029 planning period; and

WHEREAS, the City Council has determined that the proposed amendments to specified provisions in the City of Yorba Linda Zoning Code (Title 18 of the Yorba Linda Municipal Code) and the Zoning Map, as identified in Exhibit “A” attached to this Ordinance and incorporated herein by this reference (“Zoning Code Amendment 2024-02”), each constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, Zoning Code Amendment 2024-02 would amend Table 18.10-2 (Residential Development Standards) to modify the maximum building height in the RM-20 zoning designation to “40 feet or 3 stories, whichever is less”; and

WHEREAS, Zoning Code Amendment 2024-02 would amend the text of the West Bastanchury Planned Development (PD) for District II to create Area A, which would adhere to the existing District II development standards, for the following sites: APN #323-181-03, #323-191-10 through 44, #323-191-06, -07, -46, and #323-201-08 through 39; and to create Area B, which would adhere to the RM (Residential Multi-family) zone development standards for the following sites: APN# 323-181-04, -05, 06, -07, and Area B would be limited to no more than 98 total units as described in Exhibit A; and

WHEREAS, Zoning Code Amendment 2024-02 would amend the text of the Savi Ranch Planned Development (PD) to allow multi-family residential uses consistent with the Housing Element for the following sites: APN #352-231-01, -02, -03, -04, -05, -06, -07, -08, -09, -012, and 352-116-14 as described in Exhibit A; and

WHEREAS, Zone Change 2024-02, which consists of proposed amendments to the Zoning Map, as identified in Exhibit A, is considered to be a part of Zoning Code Amendment 2024-02; and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by changing the zoning designations for the following sites to “Residential Multiple Family” (R-M) to allow a maximum residential density of ten (10) dwelling units per acre: APN #343-591-05, -06, -07, -25 (Site S3-207), APN #323-051-26, -27 (Site S3-211); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by changing the zoning designations for the following sites to “Residential Multiple Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three stories, whichever is less: APN #322-061-01, -

08, -10, -12, -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #334-101-39, -40 (Site S3-082), APN #323-311-03 (Site S4-075), APN #334-101-39, -40 (Site S3-082), APN #323-231-18, -19 (Site S4-200), APN #323-081-35, -36 (Site S4-204B); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Affordable Housing Overlay” zoning designation to the following sites to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less: APN #322-061-01, -08, -10, -12, -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200), APN #323-311-03 (Site S4-075); and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Congregational Lands Overlay” zoning designation to the following sites to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less: APN #322-173-04, -07 (Site S2-008), APN # 343-591-01, -02, -03 (Site S3-012), APN #334-292-18 (Site S2-013), APN #343-581-09, 343-582-12, APN #323-171-07, -08, -09 (Site S3-210),; and

WHEREAS, Zone Change 2024-02 would amend the Zoning Map by adding the “Mixed Use Overlay” zoning designation to the following site to allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less: APN #322-121-07, -08 (Site S1-021); and

WHEREAS, the City Council has determined that Zoning Code Amendment 2024-02 constitutes a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and is therefore to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, Zoning Code Amendment 2024-02 includes provisions that are part of the implementation programs and implementing actions of the adopted Housing Element, and is necessary to ensure that the City’s Zoning Code is consistent with the City’s General Plan, as required by State law; and

WHEREAS, the Zoning Code and the Zoning Map are “Planning Policy Documents” under the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.020 (Measure B), which has additional public notice and public hearing requirements that require the Planning Commission to hold a public hearing pursuant to Section 18.01.040 that otherwise may not be required under state law; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the Planning Commission of the proposed amendments to the Zoning Code (referred to herein as Zoning Code Amendment 2022-01) as part of the consideration of the adopted Housing Element and implementation programs included therein; and

WHEREAS, Zoning Code Amendment 2024-02, as identified in Exhibit “A” attached to this Ordinance, includes all of the amendments to the Zoning Code that constitute “Major Amendments” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore individually and/or collectively subject to the approval of a majority vote of the electorate of the City to become effective. Zoning Code Amendment 2024-02 includes all of the amendments to the Zoning Code and Zoning Map that constitute a “Major Amendment” as defined in the Yorba Linda Right-to-Vote Amendment (Measure B) and are therefore subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, in accordance with State and City laws, on May 15, 2024, the Planning Commission conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, the Planning Commission considered the information provided by City staff, the public testimony, and the evidence presented at the Planning Commission public hearing on May 15, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department; and

WHEREAS, on May 15, 2024, the Planning Commission, at a regular public meeting, considered and decided to recommend to the City Council the approval of Zoning Code Amendment 2024-02, subject to compliance, as applicable, with the requirements of Yorba Linda Right-to-Vote Amendment (Measure B), in furtherance of the implementation programs included in the Housing Element; and

WHEREAS, notices of a public hearing were published, posted, and delivered in accordance with State and City laws for the consideration by the City Council of Zoning Code Amendment 2024-02 as part of the consideration of the adopted Housing Element implementation programs included therein; and

WHEREAS, in accordance with State and City laws, on June 18, 2024, the City Council conducted a public hearing to receive public testimony with respect to Zoning Code Amendment 2024-02 as part of the consideration of the Housing Element and implementation programs included therein; and

WHEREAS, the City Council considered the information provided by City staff, the public testimony, and the evidence presented at the public hearing on June 18, 2024, which includes, without limitation, the staff reports submitted by the Community Development Department.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF YORBA LINDA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. On August 2, 2022, the City Council certified a Program Environmental Impact Report (PEIR) for the 2021-2029 Housing Element through Resolution No. 2022-5817. Pursuant to 14 California Code of Regulations, § 15164, an Addendum to the

Program Environmental Impact Report for the City of Yorba Linda 2021-2029 Housing Element Implementation Programs (State Clearinghouse # 2022040574) has been prepared.

The City, serving as the CEQA Lead Agency for the Revised Project (see CEQA Guidelines Sections 15050-15051), determined in its independent judgment that the Revised Project does not meet any of the circumstances from CEQA Guidelines Section 15162 and that an Addendum to the 2022 Certified PEIR is the appropriate CEQA compliance document for the Revised Project. The City's finding is based on the following facts:

- d. As demonstrated in Section 4.0 of the Addendum, the Revised Project would not require major revisions to the previously certified 2022 Certified PEIR because implementation of the Revised Project would neither result in any significant impacts to the physical environment that were not already disclosed in the 2022 Certified PEIR nor result in substantial increases in the severity of the environmental impacts previously disclosed in the 2022 Certified PEIR.
- e. Subsequent to the certification of the 2022 Certified PEIR, no substantial changes in the circumstances under which the Revised Project would be undertaken have occurred that would require major revisions to the 2022 Certified PEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- f. There is no evidence in the public record that new information of substantial importance has become available that is applicable to the Revised Project and/or the City (Project site), that was not known and could not have been known with the exercise of reasonable diligence at the time the 2022 Certified PEIR was certified and would alter the conclusions of the 2022 Certified PEIR.

Section 2. The City Council has read and considered the amendments to the Zoning Code (referred to herein as "Zoning Code Amendment 2024-02") as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 3. Pursuant to Section 18.36.675 of the Yorba Linda Zoning Code, the City Council finds that Zoning Code Amendment 2024-02 is necessary to ensure that the Zoning Code is consistent within the City's General Plan policies, goals and objectives and is consistent with the objectives of the Zoning Code.

Section 4. The City Council finds that Zoning Code Amendment 2024-02 is necessary apply the development standards contained in Zoning Code Amendment 2022-01 and Zoning Code Amendment 2024-02 to specific sites identified in Zoning Code Amendment 2024-02, would permit and encourage the development of affordable housing opportunities pursuant to the Regional Housing Needs Assessment (RHNA) requirements, as set forth in the Housing Element Law and applicable State Guidelines, in locations adjacent to supporting services and public transportation provided they are

compatible with, and will not adversely impact, the integrity and continuity of adjacent uses.

Section 5. The City Council hereby accepts the recommendation of the Planning Commission as modified herein to adopt Zoning Code Amendment 2024-02, which includes Zone Change 2024-02, as part of the consideration of the adopted Housing Element implementation programs included therein.

Section 6. The City Council hereby adopts Zoning Code Amendment 2024-02, which includes Zone Change 2024-02, subject to each item identified therein to become effective only upon the approval by a majority vote of the electorate of the City of Yorba Linda voting "YES" on a ballot measure for the adoption of that item of Zoning Code Amendment 2024-02 at a duly noticed and held regular or special election of the electorate of the City of Yorba Linda.

Section 7. Pursuant to Elections Code section 9222, the City Council by subsequent ordinance or resolution shall identify the date of the election during which items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02, will be submitted for consideration by the electorate of the City of Yorba Linda, which election date shall be held not less than eighty-eight (88) days after the date of the subsequent ordinance or resolution ordering the election. Upon the ordering of the election by the City Council, the City Clerk shall be authorized and directed to take any and all necessary and proper actions to submit any identified items in Zoning Code Amendment 2024-02 to a vote of the electorate of the City of Yorba Linda in accordance with applicable State, County, and City laws, including the Yorba Linda Right-to-Vote Amendment (Measure B). The City Council hereby reserves the authority to submit the items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02, to a vote of the electorate of the City of Yorba Linda in separate elections. None of the items identified in Zoning Code Amendment 2024-02, including Zone Change 2024-02, shall take effect until approved by a majority vote of the electorate of the City of Yorba Linda.

Section 8. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Yorba Linda hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions thereof may be declared invalid or unconstitutional.

Section 9. This Ordinance is contingent upon a successful approval by the voters of the City of Yorba Linda and shall go into effect ten (10) days after such successful vote is declared by the legislative body.

Section 10. The City Clerk shall certify to the passage and adoption of this

Ordinance, and shall cause the same to be published within fifteen (15) days after passage in accordance with law and as designated by resolution of the City Council, and shall cause this Ordinance and its certification, together with proof of publication, to be entered into the Book of Ordinances of the City of Yorba Linda.

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

(SEAL)

STATE OF CALIFORNIA)
COUNTY OF ORANGE)
CITY OF YORBA LINDA)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Ordinance was adopted at a regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT “A”**Zoning Code Amendment 2024-02
(Comprised of Item #1 – Item #18)****MODIFICATIONS TO THE CITY OF YORBA LINDA ZONING CODE
(TITLE 18 OF THE YORBA LINDA MUNICIPAL CODE) AND ZONING MAP**

ITEM #1. Table 18.10-2 (Residential Development Standards) of the Yorba Linda Zoning Code is amended as follows:

**TABLE 18.10-2
RESIDENTIAL DEVELOPMENT STANDARDS⁷**

	Zones							
Standard	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30
Maximum density (units per acre)	1.0	1.0	1.8	3.0	4.0	10.0	20.0	30.0
Minimum lot size ¹	1 acre	39,000 sq. ft.	15,000 sq. ft.	10,000 sq. ft.	7,500 sq. ft.	15,000 sq ft	1 acre	1 acre
Minimum lot width	130 ft.	110 ft.	100 ft.	80 ft.	75 ft.	100 ft.(corner) 125 ft.(interior)	135 ft. (corner) 165 ft. (interior)	135 ft. (corner) 165 ft. (interior)
Minimum lot depth	150 ft.	170 ft.	150 ft.	100 ft.	100 ft.	100 ft.(corner) 125 ft.(interior)	135 ft. (corner) 165 ft. (interior)	135 ft. (corner) 165 ft. (interior)
Maximum lot coverage	35%	35%	35%	35%	40%	45%	65%	70%
Maximum building height	35 feet, or 2 stories, whichever is less ²						40 feet or 3 stories, whichever is less	50 feet or 4 stories, whichever is less
Minimum front yard setback	40 ft.	35 ft.	30 ft.	25 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Minimum side yard setback (interior)	-- ³	-- ³	-- ³	10 ft.	-- ⁴	-- ⁴	-- ⁴	-- ⁴
Minimum side yard setback (street)	-- ³	-- ³	-- ³	10 ft.	10 ft.	10 ft. ⁵	10 ft. ⁵	10 ft. ⁵
Minimum rear yard setback	45 ft.	40 ft.	25 ft.	25 ft.	25 ft.	20 ft.	20 ft.	20 ft.
Minimum building separation ⁶	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	20 ft.	20 ft.
Minimum dwelling size	1,500 sq. ft.	1,500 sq. ft.	1,500 sq. ft.	1,500 sq. ft.	1,300 sq. ft.	Studio = 750 sq. ft., 1 BR = 900 sq. ft., 2 BR = 1,000	Studio = 550 sq. ft., 1 BR = 675 sq. ft., 2 BR = 700 sq. ft., 3 BR = 900 sq. ft.	Studio = 550 sq. ft., 1 BR = 675 sq. ft., 2 BR = 700 sq. ft., 3 BR = 900 sq. ft.

						sq. ft., 3 BR = 1,200 sq. ft.		
Minimum parking per dwelling unit	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	2 covered + 1 covered or uncovered	Studio – 2 bdrm = 2 covered plus 1 covered or uncovered 3+ bdrm = 2 covered plus 1.5 covered or uncovered	Studio = 1 covered; 1 bdrm = 1 covered + 0.8 uncovered; 2 bdrm = 1 covered + 1 uncovered; 3+ bdrm = 1 covered + 1 uncovered Guest: Studio = 0.75 per unit; 1 bdrm = 0.5 per unit; 2 bdrms = 0.5 per unit; 3 or more bdrms = 1.5 per unit	Studio = 1 covered; 1bd = 1 covered + 0.8 uncovered; 2bd = 1 covered + 1 uncovered, 3+ bdrm = 1 covered + 1 uncovered, Guest: Studio = 0.75 per unit; 1 bdrm = 0.5 per unit; 2 bdrms = 0.5 per unit; 3 or more bdrms = 1.5 per unit

- ¹ Any legally established lot that is at least 4,000 sq. ft. and has a minimum twenty foot (20') wide vehicular access to a street may be used as a building site.
- ² Steeples, crosses and other religious symbols on churches and religious institutions may exceed the height limit in accordance with Section 18.24.110. See also Section 18.10.110.H and Section 18.26.030 of the Zoning Code for additional design standards related to height determinations for structures.
- ³ Side yard setbacks in R-A, RLD and R-E zones shall be ten percent (10%) of the lot width, but not less than ten (10) feet, and need be no more than twenty (20) feet.
- ⁴ Interior side yard setbacks in R-U and R-M, R-M-20, and R-M-30 zones shall have a cumulative total of both side yards of twenty (20) feet; however, in no case shall a side yard be less than five (5) feet.
- ⁵ Front yard setback requirements shall be applied to all property frontages facing public streets for the R-M, R-M-20, and R-M-30 zones.
- ⁶ The required 10-foot building separation standard shall not apply to small accessory structures as defined in Section 18.10.120.B. However, if the combined area of multiple small accessory structures located within three (3) feet of each other exceeds a combined one hundred twenty (120) square feet, each structure shall be considered a large accessory structure.
- ⁷ Residential properties having a slope gradient of 15 percent (15%) or greater shall comply with the regulations contained in Chapter 18.30 of this title.

ITEM #2. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at the southeast corner of Rose Drive/Blake Rd – APN #322-061-01, -08, -10, -12 -13, -14, -15, -16, -17, -18, -18, -19, -20, -21 (Site S1-200) will change from “Residential Estate” (RE) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #3. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4791 and 4811 Eureka Avenue – APN #334-101-39, -40 (Site S3-082) will change from “Commercial – General” (CG) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #4. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5300-5393 Richfield Road – APN #343-591-05, -06, -07, -25 (Site S3-207) will change from “Residential Urban” (RU) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #5. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4742 Plumosa – APN #323-311-03 (Site S4-075) will change from “Commercial – General” (CG) to “Residential Multiple-Family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less. The site will also be subject to the “Affordable Housing Overlay” (AFO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #6. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5005 and 5079 Mountain View Ave – APN #343-582-12, 343-281-07 (Site S3-024) will remain as “Residential Estate” (RE) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a

maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #7. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 17151 Bastanchury Rd – APN #322-173-04, -07 (Site S2-008) will remain as “Residential Estate” (RE) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #8. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5320 Richfield Rd – APN #343-591-01, -02, -03 (Site S3-012) will remain as “Residential Urban” (RU) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #9. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4861 Liverpool St – APN #334-292-18 (Site S2-013) will remain as “Residential Urban” (RU) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #10. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 18021-18111 Bastanchury Rd – APN #323-171-07, -08, -09 (Site S3-210) will remain as “West Bastanchury Planned Development” (PD) and will also be subject to the “Congregational Lands Overlay” (CLO) which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #11. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 16951 Imperial Highway – APN #322-121-07, -08 (Site S1-021) will remain as “Commercial General” (CG) in the “Imperial Highway Combining Zone” (I) and will also be subject to the “Mixed-Use Overlay” (MUO)

which will allow a maximum residential density of thirty-five (35) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less.

ITEM #12. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 18597-18602 Altrudy Ln – APN #323-231-18, -19 (Site S4-200) will change from “Residential Suburban” (RS) to “Residential Multi-family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #13. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 19081-19111 Yorba Linda Blvd – APN #323-081-35, -36 (Site S4-204B) will change from “Residential Estate” (RE) to “Residential Multi-family 20” (RM-20) to allow a maximum residential density of twenty (20) dwelling units per acre and a maximum building height of forty (40) feet or three (3) stories, whichever is less.

ITEM #14. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 4341 Eureka Ave – APN #323-071-03 (Site S3-034) will change from “Residential Suburban” (RS) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #15. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 5225-5227 Highland Ave – APN #343-561-08, -09 (Site S3-205A) will change from “Residential Estate” (RE) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

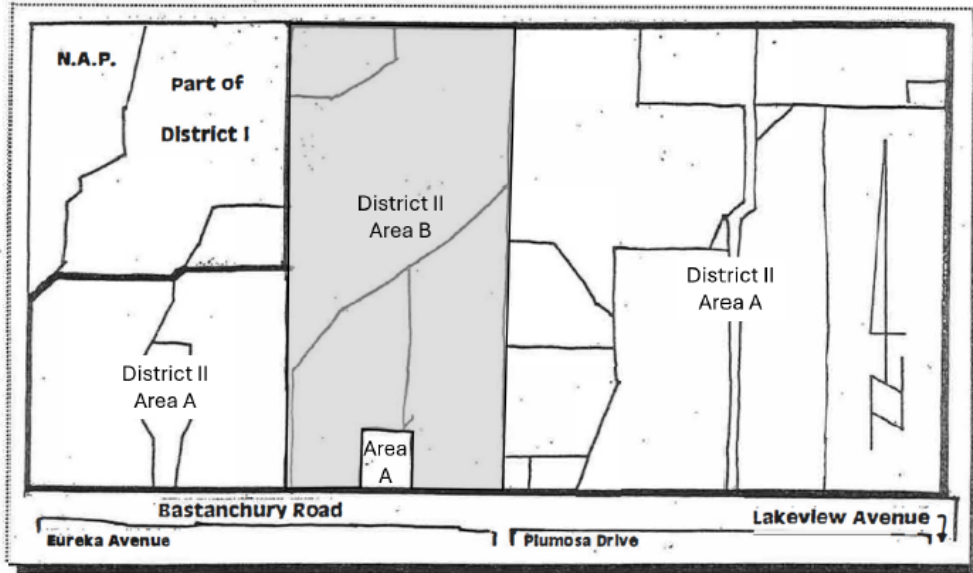
ITEM #16. The Yorba Linda Zoning Map is amended as follows:

The zoning for the proposed rezoning site located at 17651 Imperial Highway – APN #323-051-26, -027 (Site S3-211) will change from “Residential Suburban” (RS) to “Residential Multi-family” (RM) to allow a maximum residential density of ten (10) dwelling units per acre and a maximum building height of thirty-five (35) feet or two (2) stories, whichever is less.

ITEM #17. The West Bastanchury Planned Development (PD) text for District II is amended as follows:

WEST BASTANCHURY PRD DISTRICT II

District II Map



Size:	66.5 acres
Density:	1.0 dwelling units per acre (Area A) & no more than 98 total units (Area B)
Location:	the northwest quadrant of Bastanchury Road and Lakeview Avenue, except for the westerly 17 acres (District I)
APNs:	Area A 323-171-05,06,07, 323-181-02,03, 323-121-01,02,03,04,05 323-191-01,02,03,04,05,06,07,08 Area B 323-181-04 (max 18 units) & 323-181-05,06,07 (max 80 units)
Uses	
Permitted:	Same as for RA (Residential Agricultural) zone for Area A and RM for Area B
Development	
Standards:	Same as for RA for Area A and same as RM for Area B
Street	
Standards:	Rustic - rolled curb with no sidewalks, unless sidewalks determined necessary for public safety; trail(s) may be used to provide access to arterials
Trails:	Provide for equestrian trail connection with the Vista Del Verde Master Planned Community along the northern perimeter of District II
Arterial	
Access and	
Setbacks:	With new subdivisions, no lots to front on or take access from the arterial (Bastanchury and/or Lakeview); there shall be a twenty-five foot landscape setback (measured from curb) to perimeter wall (sidewalk and/or trail included within this setback)

ITEM #18. The Savi Ranch Planned Development (PD) text is amended as follows:

ZONING CODE AMENDMENT 2024-02 AMENDING SAVI RANCH PD

Conditions or circumstances not specifically provided for in these regulations, shall be regulated by provisions of the Yorba Linda Zoning Code. In cases of conflict between provisions of the Yorba Linda Zoning Code and provisions in the Commercial Retail designation of the Savi Ranch PC zone, the following regulations shall prevail:

1. DEFINITION

Commercial Retail - this area is intended for commercial retail users, primarily "big box" development, major retailers of considerable size, and support commercial uses within the designated retail center.

2. PROPERTY DEVELOPMENT STANDARDS

Lot area	10,000 sq.ft.
Lot width	60 ft.
Lot depth	100 ft.
Front Yard Setback	5 ft.
Side Yard Setback	-
Side Yard (Street Side)	5 ft.
Rear Yard Setback	-
Max. Bldg. Height	45 ft.

3. PERMITTED USES

The following uses are permitted or conditionally permitted in the Commercial Retail designation of the PC Zone for Savi Ranch:

<u>POTENTIAL USES</u>	<u>PERMITTED/CUP</u>
Alcoholic Beverage Sales	C
Ancillary Food & Beverage Sales	P
Apparel Store	P
Appliance Store	P
Books, Gifts & Stationary Store	P
Cellular Antenna Sites	C
Commercial Recreation Facilities	C
Computer Store	P
Convenience Store	C
Department Store	P
Drive Through Restaurants	C
Drug Store\Pharmacy	P
Furniture Store	P
General Retail	C
Grocery Store	P
Hardware\Home Improvement	C
Health Club	C
Hotel\Motel	C
Movie Theater	P
Music\ Video Store	P
Office Supplies	P
Pet Store	C
Restaurant	P
Retail Warehouse Store	P
Sporting Good Store	P
Toy Store	P
Vehicle Sales and Leasing	C
Video Arcade	

Uses of a similar nature and intensity as the above mentioned uses, as well as temporary uses, may be permitted with the approval of the Community Development Director.

Uses which do not pertain to a retail commercial center would not be permitted. Such uses include, but are not limited to the following: service\gas stations, car washes, churches, educational facilities, office uses, catering, medical facilities, etc.

Certain parcels identified in the 2021-2029 Housing Element and in Zone Change 2024-002 are permitted to allow for residential use at a minimum density of forty (40) dwelling units per acre and a maximum of sixty (60) dwelling units per acre.

4. PARKING

Off street parking standards shall be the same as those described in the Yorba Linda Zoning Code, Chapter 18.22, with the exception of Section 18.22.040.D.5 which requires a minimum of six foot wide landscape planters between facing rows of parking. Instead, a combination of six foot wide planters and/or diamond shaped tree wells between the facing rows of parking will be permitted in the **Commercial Retail** designation of the Savi Ranch PC Zone.

5. SIGNAGE

- a. For the shopping center, there shall be allowed two illuminated, freestanding-base mounted identification signs at the entrance to the center, not to exceed 100 square feet in area per side and eight feet in height. A minimum of 15 percent or more of said sign shall be allocated for the shopping center's name, with not more than 85% of the sign being allocated for up to eight individual tenant i.d. panels.
- b. For each use\tenant, one primary sign over the front entrance is allowable with the following maximum sign area:

<u>Building Square Footage</u>	<u>Max. Sign Area</u>	<u>Letter Height</u>
Tenants 45,000 s.f. to 130,000 s.f.	300 square feet	7 feet*
Tenants 20,000 s.f. to 44,999 s.f.	200 square feet	6 feet*
Tenants 12,000 s.f. to 19,999 s.f.	150 square feet	4 feet*
Tenants under 12,000 s.f.	100 square feet	3 feet*

* Initial capital letter may exceed letter height by 1 foot.

- c. For each use\tenant, a secondary sign is permitted, which shall be placed on a side of the building fronting on a street, parking lot, or major drive aisle, and may not exceed 60% of the sign area of the primary sign allowed for such tenant. If a building has more than two sides fronting onto a street, parking lot, or major drive aisle, the tenant may request approval for a third sign from the Community Development Director.
- d. Individual monument signs, internal directional signs, menu boards shall follow the specification of the Zoning Code, or as otherwise approved by the Community Development Director.
- e. A movie theater marquee must be mounted on the theater building and may not exceed the maximum sign area established above. The theater marquee shall be in addition to the allowable building signage for the theater.

General sign specifications shall be the same as those described in the Yorba Linda Zoning Code, Chapter 18.24.

SAVI RANCH (PD)

PROPERTY DEVELOPMENT STANDARDS

	OFFICE & COMMERCIAL	SUPPORT COMMERCIAL	INDUSTRIAL R&D	COMMERCIAL RETAIL
LOT AREA*	½ acre	½ acre	½ acre	10,000 sq. ft.
LOT WIDTH	150 ft.	100 ft.	100 ft.	60 ft.
LOT DEPTH	150 ft.	100 ft.	100 ft.	100 ft.
FRONT YARD	20 ft.	20 ft.	15 ft.	5 ft.
SIDE YARD, STREET SIDE	20 ft.	20 ft.	15 ft.	5 ft.
SIDE YARD	10 ft.	10 ft.	10 ft.	—
REAR YARD	10 ft.	10 ft.	0 ft.	—
BUILDING HEIGHT	55 ft.**	35 ft.	55 ft.***	45 ft.***
MAXIMUM DWELLING SIZE	—	—	—	—
DISTANCE BETWEEN BUILDINGS	—	—	—	—
LOT COVERAGE (MAXIMUM)	60%	35%	50%	—

* Condominium sites for office, commercial, and industrial uses shall not have minimum building parcel size.

** No building shall exceed a height of 55 feet, except that subject to a Conditional Use Permit buildings (in Office and Commercial area) may be constructed to a height of 12 stories.

*** On Housing Element sites, the maximum building height shall be 85 feet and no more than five residential stories. For mixed use development on Housing Element sites, the maximum height of 85 feet may be exceeded through the approval of a Conditional Use Permit and Design Review. In no case shall the building height exceed one hundred (100) feet.

PC OFFICE AND INDUSTRIAL PARK ZONE

FILE

SECTION 1 - PURPOSES

For Savi Ranch

The purpose of the PC, Office and Industrial Park Zone is to accommodate the introduction of various office, commercial, and industrial and open space uses into a single comprehensive development. The Office and Industrial Park Zone will facilitate the integration of these uses in a manner which creates a functional and aesthetically pleasing employment complex. Four land use categories constitute this zone in accordance with the following purposes (refer to attached map for location of land use areas):

- A. Office and Commercial - this area is intended as a location for uses of an office or primarily retail commercial function. The area will accommodate multi-story office buildings as well as retail commercial uses serving a clientele located outside as well as within the Office and Industrial Park Zone.
- B. Support Commercial - this area is intended as a location for low intensity commercial, office, or recreational uses. Topographic considerations such as significant slopes and land area preclude high intensity development yet offer opportunities for low intensity uses having good visibility from the Riverside Freeway.
- C. Industrial/Research and Development - this area is intended as a location for high technology industries primarily in fields of electronics, instruments, and machinery which are labor-intensive, growth oriented, and environmentally clean, as well as related and complimentary light industrial and service commercial uses.
- D. Open Space Preserve - this area is intended for passive and active open space uses. It is intended that this area will serve as an open space link between Yorba and Featherly Regional Park, as well as an area for the recreational uses ancillary to the employment complex. This area is coterminous with the City of Yorba Linda zoning.

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SECTION 2 - PERMITTED USES

A. Office and Commercial

Offices

- . General retail
- . Food service
- . Hotels and motels
- . Medical, dental and related health care services for humans
- . Nurseries
- . Public service utility offices
- . Recreational facilities
- . Service stations
- . Parking facilities
- . Theaters and entertainment complexes
- . Veterinary offices
- . Public utility installations
- . Roads
- . Temporary uses as permitted by the Planning Director
- . Uses of a similar nature and intensity as the above.

- . Certain parcels identified in the 2008-2014 Housing Element and in Zone
- . Change 2011-01B are permitted to allow for residential use at a maximum
- . density of thirty (30) dwelling units per acre and a maximum building height
- . of fifty (50) feet or four (4) stories, whichever is less, in accordance
- . with the property development standards set forth in the "Residential
- . Multiple-Family 30" (R-M-30) zone.

- . Certain parcels identified in the 2021-2029 Housing Element and in Zone
- . Change 2024-002 are permitted to allow for residential use at a minimum
- . density of forty (40) dwelling units per acre and a maximum of sixty (60)
- . dwelling units per acre.

B. Support Commercial.

Convenience packaged-good retail stores

Hotels, motels, inns

Food service

Offices

Public utility installation

Roads

- . Temporary uses as permitted by the Planning Director
- . Vehicle sales facilities (conditional use permit required)
 - Includes ancillary support services that operate in conjunction with a vehicle sales facility (e.g. vehicle repair and vehicle rental) - conditional use permit required
- . Uses of a similar nature and intensity as the above.
 - However, uses such as commercial recreation (e.g. dance and martial arts studios), tutoring facilities, and churches / temples / religious institutions are expressly prohibited within the zone.
- . Certain parcels identified in the 2008-2014 Housing Element and in Zone Change 2011-01B are permitted to allow for residential use at a maximum density of thirty (30) dwelling units per acre and a maximum building height of fifty (50) feet or four (4) stories, whichever is less, in accordance with the property development standards set forth in the "Residential Multiple-Family 30" (R-M-30) zone.

C. Industrial/Research and Development

Blueprinting, printing, xerox and related service uses

Distribution, storage, wholesaling and warehousing uses Food service

General manu. turing and assembly uses Industrial and office condominiums Offices

Repair shops

- Testing facilities

Uses engaged in research, laboratories and compatible light manufacturing

Parking facilities

Public utility installations

Roads

Temporary uses as permitted by the Planning Director

Uses of a similar nature and intensity as the above.

- Certain parcels identified in the 2021-2029 Housing Element and in Zone Change 2024-002 are permitted to allow for residential use at a minimum density of forty (40) dwelling units per acre and a maximum of sixty dwelling units per acre.

D. Open Space Preserve

- Flood and Road Projects flood control channels, levees, spreading grounds and basins, roads, bridges and storm drains constructed in accordance with plans meeting the approval of the City Engineer
- Agriculture - all permitted agricultural use types except agricultural processing and tree crops
- Park Projects - parks, campgrounds, picnic grounds, trails, wildlife and natural preserves, and similar open space uses.

The following uses are permitted subject to the issuance of a Conditional Use Permit:

Public utility facilities

Temporary structures which can be readily removed within the time available for flood warning

Recreation areas, parks, campgrounds, playgrounds, fishing lakes, hunting clubs, riding and hiking trails, golf courses, athletic fields, parking lots, wildlife and natural preserves, and similar open space uses without permanent structures or improvements, except restrooms

Excavation and removal of rock, sand, gravel and other materials.

The following uses are specifically prohibited:

Landfills

Excavations that will tend to broaden the floodplain or direct flood flows out of the natural floodplain

Human habitations

Storage of flutable substances or materials which will add to the debris load of a stream or watercourse

Storage of Dangerous Material - storage of chemicals, explosives, flammable liquids or other toxic materials.

8. Off-Street Parking

Off-street parking standards shall be the same as expressed in Section 14 of the Yorba Linda Zoning Ordinance, except that a maximum of twenty-five (25) percent of required off-street parking spaces may be designed to accommodate compact automobiles. Compact vehicle parking spaces shall have a minimum dimension of 8 feet by 16 feet.

SECTION 4 - PERFORMANCE STANDARDS

Performance standards, governing noise standards; landscaping maintenance, screening of mechanical equipment, odor, radioactivity, heat and glare, vibration, fire and explosion hazard and outdoor storage area shall be governed the City of Yorba Linda Zoning Ordinance.

SECTION 5 - SIGNS

Signs shall be governed according to Chapter 18.24 of the Yorba Linda Zoning Ordinance with the following exceptions:

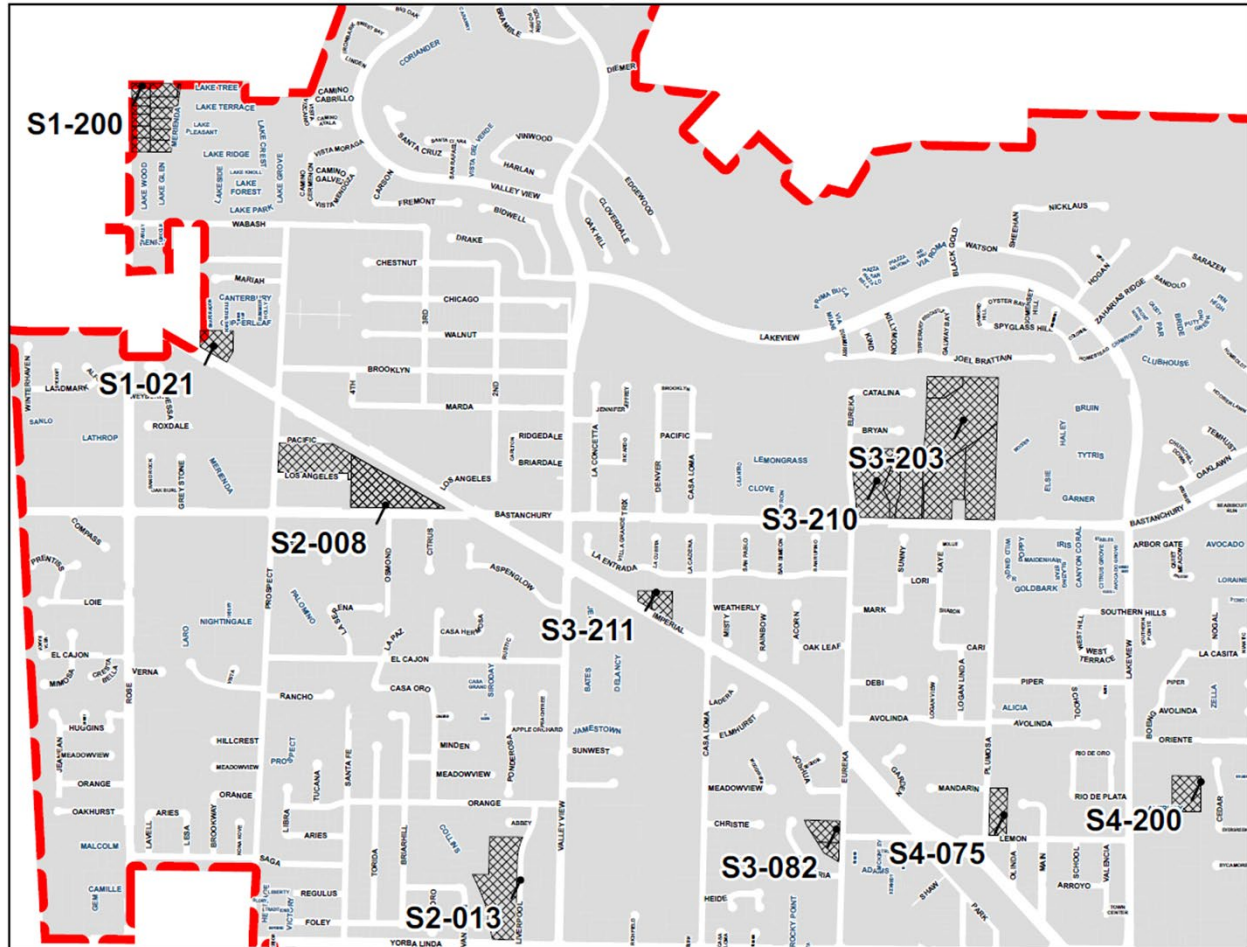
- A. In the Office and Commercial sub area, buildings in excess of two (2) stories shall be permitted to exceed 30 square feet per building sign subject to the approval of the Community Development Director.
- B. In the Support Commercial sub area, each use shall be permitted one lighted freestanding sign not exceeding 75 square feet in area.
- C. In the Industrial/Research and Development sub area, freestanding signs shall be ground-mounted or monument type signs (as opposed to pole or pylon) and shall not exceed a height of six (6) feet.

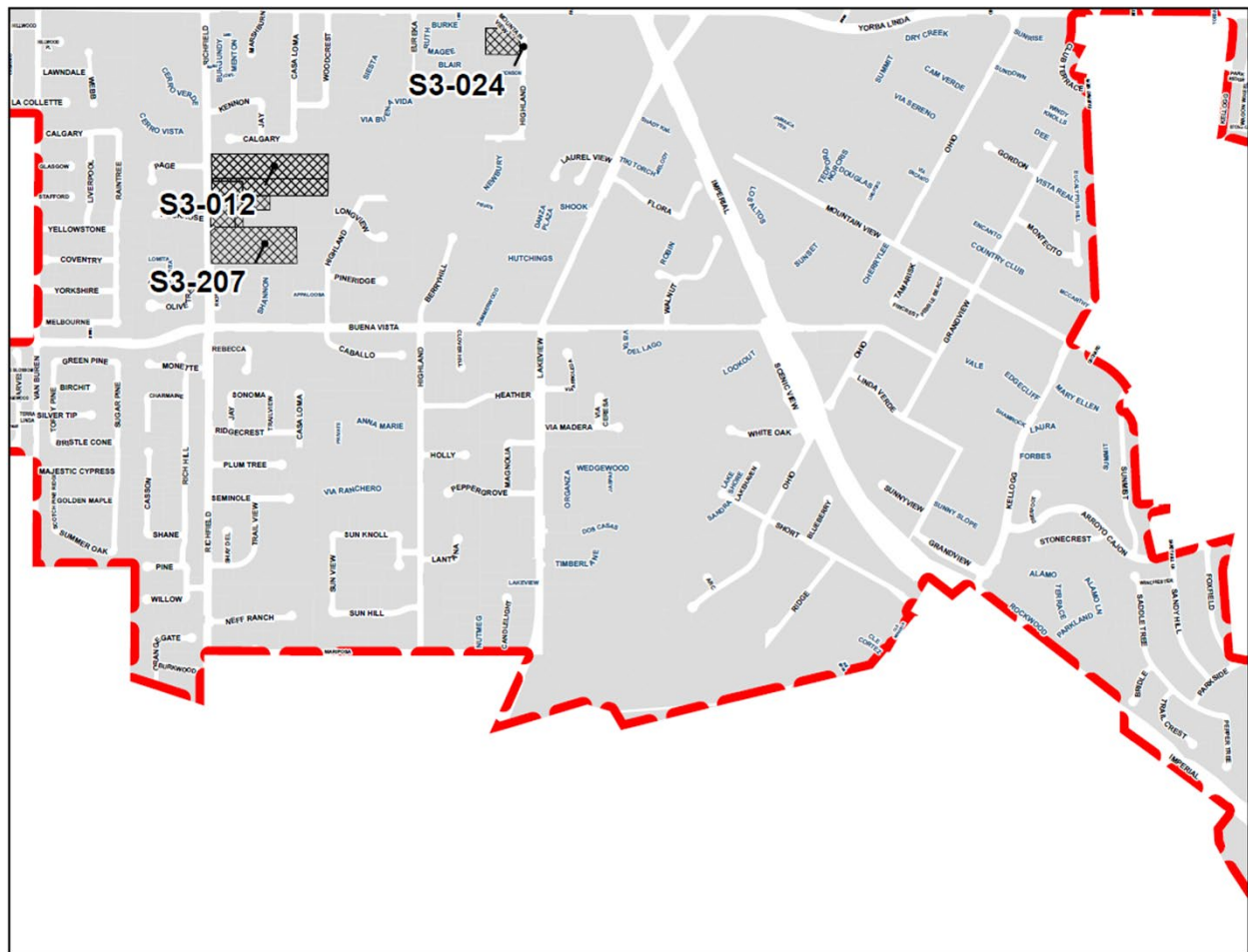
SECTION 6 - SPECIAL REQUIREMENTS FOR HOUSING DEVELOPMENT

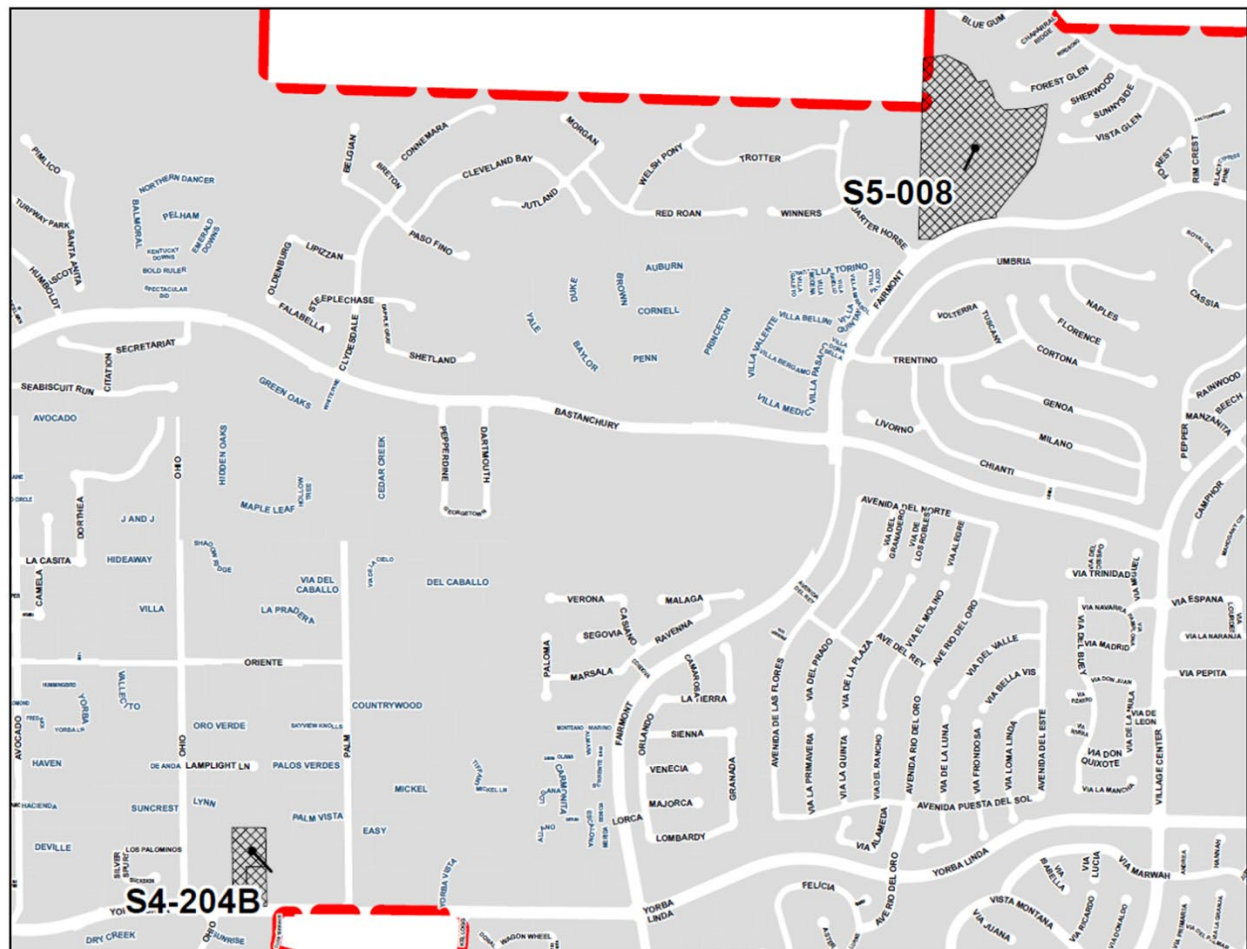
- A. Uncovered parking spaces, common open space areas, and private patios and stoops shall be permitted within setback areas provided that a masonry wall six feet in height and screen landscaping at least 5 feet in width is erected and maintained between such uses and the property line. In addition, uncovered parking spaces within front and street-side setback areas, however, shall be located a minimum of 10 feet from the property line as required in Section 18.22.040 (C)(2)(f).
- B. Landscaping. The following landscaping standards shall apply. These standards shall override Section 18.10.110 (C)(2) and 18.10.110 (C)(3), if applicable:
 1. A minimum 50 percent of the building site area, exclusive of building footprints, shall be landscaped and provided with an adequate underground irrigation system.
 2. A minimum of 25 percent of the building site area, exclusive of building footprints, shall accommodate private, active patio areas or active areas for common use of residents such as BBQs, playgrounds, hardscape features, and outdoor seating areas. The active areas for common use of residents shall comprise no less than one-fifth of this 25 percent of building site area.
- C. The minimum unit size shall be:
 1. Studio units: 400 square feet
 2. 1-bedroom units: 600 square feet
 3. 2-bedroom units: 700 square feet
 4. 3-bedroom units: 900 square feet

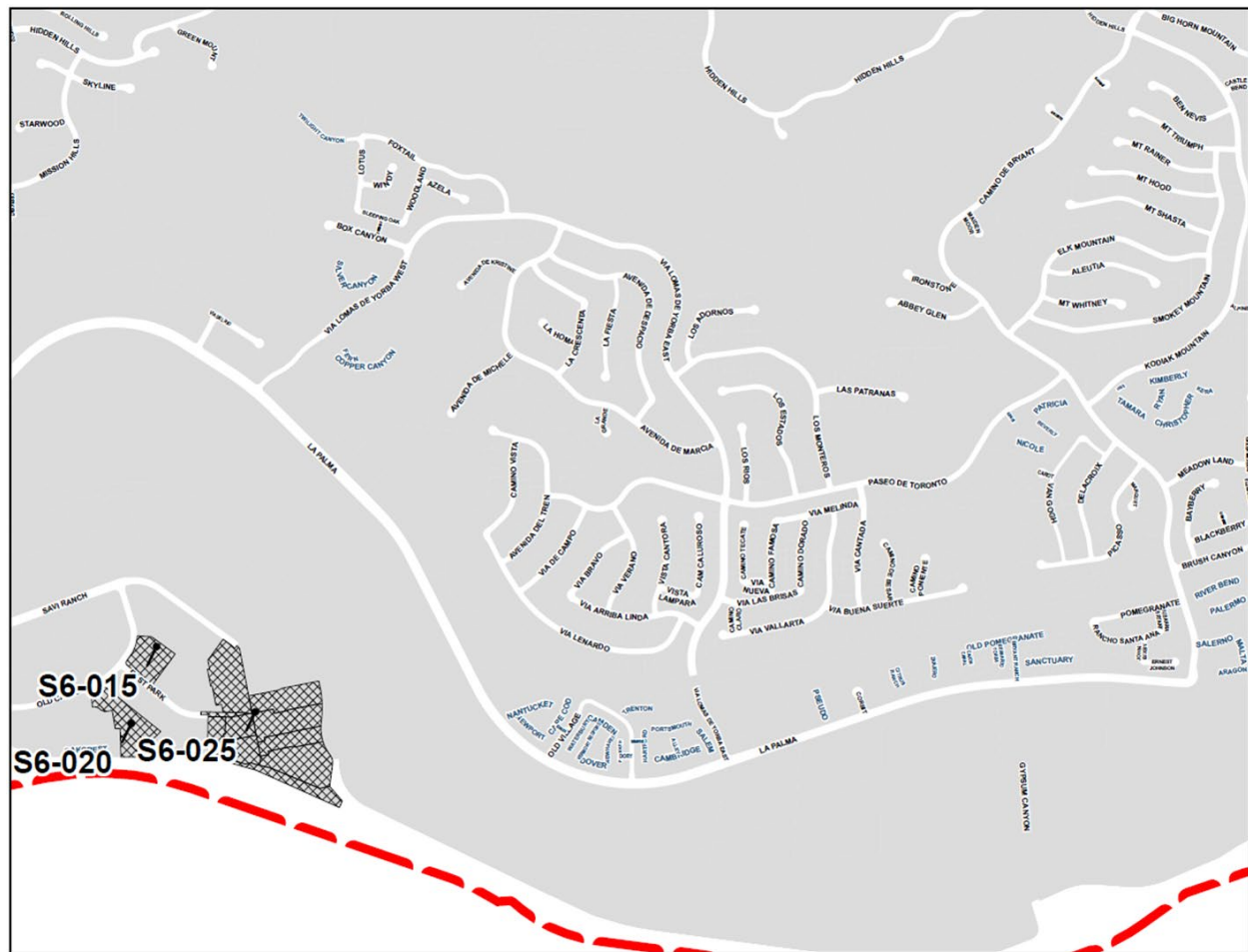
EXHIBIT C

[Map of Nineteen Sites With General Plan Amendment Or Rezoning]









ATTACHMENT 3

RESOLUTION NO. 2024-5902

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA, SETTING PRIORITIES FOR FILING WRITTEN ARGUMENTS REGARDING ONE CITY MEASURE TO BE PLACED ON THE NOVEMBER 5, 2024, GENERAL MUNICIPAL ELECTION BALLOT AND DIRECTING THE CITY ATTORNEY TO PREPARE AN IMPARTIAL ANALYSIS

WHEREAS, a General Municipal Election consolidated with the Statewide General Election will be held in the City of Yorba Linda, California on November 5, 2024, at which time there will be submitted to the voters the following measure (“City Measure”):

To maintain local control over land use decisions; protect open space, single-family residential neighborhood character, height limits; limit traffic; shall Yorba Linda retain voter-approved development restrictions, adopt land use plans developed by residents including mixed-use housing, retaining/attracting businesses at Savi Ranch; limiting new housing density in areas including Richfield/Christmas Tree Farm and Buena Vista, vacant land at Fairmont/Quarter Horse Drive; requiring developer fees supporting parks/schools and public oversight?	Yes
	No

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. The City Council authorizes: (i) all members of the City Council, (ii) any individual voter eligible to vote on the above Measure, (iii) a bona fide association of such citizens or (iv) any combination thereof, to file a written arguments in favor of or against the City Measure, accompanied by the printed name(s) and signature(s) of the author(s) submitting it, in accordance with Article 4, Chapter 3, Division 9 of the Elections Code of the State of California and to change the argument until and including the date fixed below by the City Clerk after which no arguments for or against the City measure may be submitted to the City Clerk. No argument shall exceed 300 words in length.

The deadline to submit arguments in favor of the City Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m. The deadline to submit arguments against the City Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m.

The arguments shall be filed with the City Clerk, signed, with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one of its principal officers who is the author of the argument.

SECTION 2. The City Council directs the City Clerk to transmit a copy of the City Measure to the City Attorney. The City Attorney shall prepare an impartial analysis of the City Measure showing the effect of the City Measure on the existing law and the operation of the City Measure. The impartial analysis shall be filed with the City Clerk within ten (10) days of the adoption of this resolution.

SECTION 3. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER, LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

ATTACHMENT 4

RESOLUTION NO. 2024-5903

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
YORBA LINDA, CALIFORNIA, PROVIDING FOR THE
FILING OF REBUTTAL ARGUMENTS FOR ONE CITY
MEASURE TO BE PLACED ON THE NOVEMBER 5, 2024
GENERAL MUNICIPAL ELECTION BALLOT**

WHEREAS, a General Municipal Election consolidated with the Statewide General Election will be held in the City of Yorba Linda, California on November 5, 2024, at which time there will be submitted to the voters the following measure (“City Measure”):

To maintain local control over land use decisions; protect open space, single-family residential neighborhood character, height limits; limit traffic; shall Yorba Linda retain voter-approved development restrictions, adopt land use plans developed by residents including mixed-use housing, retaining/attracting businesses at Savi Ranch; limiting new housing density in areas including Richfield/Christmas Tree Farm and Buena Vista, vacant land at Fairmont/Quarter Horse Drive; requiring developer fees supporting parks/schools and public oversight?	Yes
	No

WHEREAS, California Elections Code sections 9285 authorizes the City Council by majority vote to adopt provisions to provide for the filing of rebuttal arguments for city measures submitted at municipal elections.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. Pursuant to California Elections Code section 9285, when the elections official has selected the arguments for and against the City Measure which will be printed and distributed to the voters, the elections official shall send a copy of an argument in favor of the City Measure to the authors of any argument against the City Measure and a copy of an argument against the City Measure to the authors of any argument in favor of the City Measure immediately upon receiving the arguments. If more than one argument for or more than one argument against the City Measure is submitted to the city elections official within the time prescribed, he or she shall select one of the arguments in favor and one of the arguments against the measure for printing and distribution to the voters in accordance with the procedure set forth in California Elections Code section 9287.

The author or a majority of the authors of an argument relating to the City Measure may prepare and submit a rebuttal argument or may authorize in writing any other person or persons to prepare, submit or sign the rebuttal argument. However, a rebuttal argument may be signed by no more than five (5) persons. No rebuttal argument may exceed 250 words.

The rebuttal arguments shall be filed with the City Clerk, signed with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one principal officer, not more than 10 days after the final date for filing direct arguments. The deadline to submit rebuttal arguments is declared by the City Clerk to be August 5, 2024, 5:00 p.m.

Rebuttal arguments shall be printed in the same manner as the direct arguments. Each rebuttal argument shall immediately follow the direct argument which it seeks to rebut.

SECTION 2. The provisions of this Resolution shall apply only to the election to be held on November 5, 2024.

SECTION 3. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER, LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA



STAFF REPORT

CITY of YORBA LINDA

ADMINISTRATION DEPARTMENT

DATE: JULY 16, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: TODD LITFIN, CITY ATTORNEY

SUBJECT: RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER

RECOMMENDATION

It is recommended that the City Council approve the following actions relative to an initiative relating to amendments to the City's General Plan and Zoning requirements for the Bryant Ranch Shopping Center property:

1. Adopt Resolution No. 2024-5904, ordering the submission to the qualified electors of the City of Yorba Linda a ballot measure relating to amendments to the City's General Plan and Zoning requirements for the Bryant Ranch Shopping Center to be held on Tuesday, November 5, 2024.
2. Adopt Resolution No. 2024-5905, setting priorities for filing written arguments regarding the Bryant Ranch Shopping Center ballot measure and directing the City Attorney to prepare an impartial analysis.
3. Adopt Resolution No. 2024-5906, providing for the filing of rebuttal arguments regarding the Bryant Ranch Shopping Center ballot measure to be placed on the November 5, 2024 General Municipal Election Ballot.

BACKGROUND

The resolutions contained herein pertain to placing a measure on the November 5, 2024, election ballot regarding the land use laws governing the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue in Yorba Linda (the "Property"). This item is on the Council agenda because the proponent of the measure obtained the required number of signatures to place the matter on the ballot pursuant to California election law and the City is required to place the matter on the ballot. This item is the result of the actions of a private party and not the City.

On October 12, 2023, a proponent filed a Notice of Intent to Circulate Petition, entitled Yorba Canyon Community Initiative, to amend Chapters of the Yorba Linda Municipal Code, amending the Land Use Element, Housing Element and Housing Element Appendices of

RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER

Page | 2

the Yorba Linda General Plan, in order to implement and institute a new zone to authorize a by-right, mixed-use development on the 9.15-acre site occupied by the Bryant Ranch Shopping Center (the “Initiative”). On November 9, 2023, the City Clerk’s Office received a copy of the official affidavit of publication from the proponent, which, according to California Election Law, circulation of petitions could commence after publication.

In order to qualify for the ballot, the proponent needed to collect 4,805 valid signatures within 180-days after receipt of ballot title and summary by proponents from the City Clerk. On March 18, 2024, the City Clerk’s Office received the petition signatures, conducted a prima facie review and delivered the petitions, along with 49 Request to Withdraw Your Signature from Yorba Canyon Community Initiative Petition forms, to the Orange County Registrar of Voters on March 19, 2024, to verify the number of signatures. Pursuant to Elections Code, § 9114, the Orange County Registrar of Voters had 30 days to verify signatures, excluding Saturdays, Sundays and holidays. On April 4, 2024, the Orange County Registrar of Voters provided the City Clerk with the certification of documents indicating the following:

Number of signatures filed:	6,570
Number of signatures required:	4,805
Number of signatures verified:	6,018
Number of signatures found valid:	4,805
Number of signatures found invalid:	1,213
Invalid because of duplicate:	34

Pursuant to Elections Code §§ 9114 and 9115, the City Clerk submitted the certificate as to verification of signatures to the City Council at the April 16, 2024 City Council meeting. The City Council, as it is legally required, accepted the certification.

The Initiative amends the Yorba Linda Municipal Code and the Yorba Linda General Plan Land Use Element, Housing Element, and Housing Element Appendices on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue in Yorba Linda.

The Initiative creates the Mixed-Use 30 ("MU-30") zone in the City’s Municipal Code for the Property. The Initiative amends the City’s General Plan Land Use Element to Residential – High for the Property. The Initiative amends the City’s General Plan Housing Element to identify the MU-30 zone and the by-right approval program implemented in the MU-30 zone.

The MU-30 zone allows residential development on the Property up to 30 dwelling units per acre and allows buildings to be up to 60 feet or 4 stories tall, whichever is less. Residential uses may be located on top of commercial uses or in separate structures on the same lot. Multiple family dwellings, including apartments and condominiums, are permitted in the MU-30 zone. The MU-30 zone also allows commercial uses on the Property provided that residential uses occupy 50 percent or more of the development’s floor area. Projects in the

RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER

Page | 3

MU-30 zone may also include any use that is identified as a permitted use in the City's Commercial-General ("C-G") zone and allows co-working spaces and live/work quarters.

The MU-30 zone allows "by right", ministerial development for a residential development that proposes at least 16 total dwelling units at a minimum density of 20 dwelling units per acre that reserves at least 20 percent of the dwelling units for rental to lower income households. The phrase "by right" means that the City's review of the owner-occupied or multifamily residential use may not require a conditional use permit, planned unit development permit, or other discretionary local government review or approval and would not be subject to the California Environmental Quality Act ("CEQA"). Any subdivision of the Property remains subject to all laws, including but not limited to, the City's laws implementing the Subdivision Map Act. The City may subject projects that qualify as a use "by right" to design review; however, such projects are not subject to CEQA.

In the City of Yorba Linda, certain amendments to the City's General Plan and Zoning laws require approval by a majority vote of the electorate in compliance with the Yorba Linda Right-to-Vote amendment. ("Measure B", Yorba Linda Municipal Code, chapter 18.01.) The Initiative falls within the voter approval requirements of Measure B and is required to be approved by a majority of the voters at an election in order to become legally effective. Because the Initiative obtained the required number of signatures, the City is legally required to place the Initiative on the ballot

DISCUSSION

The Election Code requires the adoption of the attached resolutions in order to place a measure on the November 5, 2024 ballot. The County Registrar of Voters requires that these resolutions be submitted to the County by August 9, 2024. The attached resolutions would cause a ballot measure with the following question to be submitted to the voters:

"Shall the initiative be adopted that amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue?"

The attached resolutions also permit the filing of written arguments in favor of or against such measure by members of the City Council, any individual voter eligible to vote on the measure, a bona fide association of such citizens or any combination thereof, and establishes deadlines for submission of such arguments to the City Clerk. The deadline to submit arguments for or against the measure is July 26, 2024, 5:00 p.m. Furthermore, the City Attorney is ordered to prepare an impartial analysis within 10 days of the adoption of the attached resolutions. The last resolution orders that the last date for any rebuttal arguments be 10 days after the final date for filing direct arguments. The deadline to submit rebuttal arguments is August 5, 2024, 5:00 p.m.

RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER

Page | 4

FISCAL IMPACT

The cost for a single ballot measure, as estimated by the Registrar of Voters, is \$8,500 when accompanying a local Council election. Therefore, the total cost estimate for the election is \$116,869 - \$134,844, depending on the number of ballot measures included. Adequate funding has been included in the FY 2024/25 adopted budget (1010160-424300) to cover these costs.

ALTERNATIVES

There are no legally justifiable alternatives other than placing the Initiative on the ballot.

ATTACHMENTS

1. Resolution No. 2024-5904
 2. Resolution No. 2024-5905
 3. Resolution No. 2024-5906
-

RESOLUTION NO. 2024-5904

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA, ORDERING THE SUBMISSION TO THE QUALIFIED ELECTORS OF THE CITY OF YORBA LINDA A BALLOT MEASURE RELATING TO AMENDMENTS TO THE CITY'S GENERAL PLAN AND ZONING REQUIREMENTS FOR THE BRYANT RANCH SHOPPING CENTER FOR THE GENERAL MUNICIPAL ELECTION TO BE HELD ON TUESDAY, NOVEMBER 5, 2024

WHEREAS, a Municipal Election has previously been called by the City Council of the City of Yorba Linda and consolidated with the Statewide General Election to be held on November 5, 2024; and

WHEREAS, the City is required to submit to the voters at the November 5, 2024, General Election a ballot measure because proponents of the initiative obtained sufficient signatures to qualify the measure for the ballot; and

WHEREAS, the ballot measure amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue ("Proposed Amendment"); and

WHEREAS, the City Council determined that the Proposed Amendment constitutes a "Major Amendment" as defined in the Yorba Linda Right-to-Vote Amendment, Yorba Linda Municipal Code Section 18.01.010 et seq. (commonly known as "Measure B") and is therefore subject to the approval of a majority vote of the electorate of the City to become effective; and

WHEREAS, the City will present the Proposed Amendment to the voters in a ballot measure in the Municipal Election to be held on November 5, 2024.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. The City Council, pursuant to its right and authority as contained in California Elections Code, Section 9215(b), does order the following question be submitted to the qualified electors of the City of Yorba Linda at the general municipal election to be held on November 5, 2024:

Shall the initiative be adopted that amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high	Yes
--	-----

density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue?	No
--	----

SECTION 2. The proposed ordinance shall be in the form attached hereto as Exhibit “A” to this Resolution and is incorporated by this reference as if fully set forth herein. The City Council directs that the entirety of the ordinance be printed in the sample ballot and/or voter guide materials. The 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue is depicted on the map attached hereto as Exhibit “B” to this Resolution. The City Council directs that the entirety of the map at Exhibit “B”, or a substantially similar version thereof, be printed in the sample ballot and/or voter guide materials.

SECTION 3. The ballot title shall be called “Bryant Ranch Shopping Center High Density Residential and Mixed-Use Measure” or a title in substantially the similar form.

SECTION 4. In all particulars not recited in this Resolution, the election shall be held and conducted as provided by law for holding consolidated municipal elections.

SECTION 5. Notice of the time and place for holding the election is given and the City Clerk is authorized, instructed and directed to give further or additional notice of the election, in time, form and manner as required by law.

SECTION 6. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, **MARCIA BROWN**, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

EXHIBIT "A"

YORBA CANYON COMMUNITY INITIATIVE

The people of the City of Yorba Linda ordain as follows:

Section 1. Title.

The title of this Initiative is the "Yorba Canyon Community Initiative," sometimes referred to herein as the "Initiative."

Section 2. Purpose and Findings.

The People of the City of Yorba Linda find and declare the following:

- A.** The purpose of the Initiative is to adopt the Mixed-Use 30 ("MU-30") zone, including changes to the City of Yorba Linda's (the "City") General Plan Land Use and Housing Elements to accommodate the new zone, and to apply the MU-30 zone to authorize a by-right, mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center (the "Property").
- B.** The purpose of the MU-30 zone is to increase the housing stock in the City available to households of different levels, and thus help the City fulfill its Regional Housing Needs Allocation imposed by the Department of Housing and Community Development.
- C.** The MU-30 zone would allow residential development up to 30 base dwelling units per acre and 60 feet or 4 stories, whichever is less. The MU-30 zone would also allow commercial uses provided that residential uses occupy 50 percent or more of the development's floor area.
- D.** The MU-30 zone, which would only be applied to the Property, would allow by-right, ministerial development as required by Government Code section 65583.2(h) and (i), for a residential development that exceeds 20 dwelling units per acre and reserves at least 20 percent of base dwelling units for rental to lower income households. By-right, ministerial developments are not considered a "project" for the purposes of the California Environmental Quality Act.
- E.** The Property will be redesignated Residential – High in the City's Land Use Element to reflect the new MU-30 zoning. The City's Housing Element will also be amended to

identify the by-right approval program implemented by the MU-30 zone on the Property.

F. To the extent that any of the land use modifications implemented by this Initiative could be considered subject to the Yorba Linda Right-to-Vote Amendment, any and all requirements of that Amendment shall be deemed completed and satisfied by virtue of the approval of this Initiative.

G. No further City action shall be required to authorize the by-right, ministerial development of the Property following approval of this Initiative.

Section 3. Amendments to the City of Yorba Linda Municipal Code.

The City's Municipal Code is hereby amended as follows (new language to be inserted is shown in underlined text; language to be deleted is shown in ~~strike-out text~~; text in regular, *italic* or **bold** type reflects existing text and is provided for informational/reference purposes; and ellipses (* * *) indicate omissions of text to which no changes are made):

* * *

Title 18 ZONING

Chapter 18.04 DEFINITIONS

18.04.010 Applicability—Interpretation of words.

A. For the purpose of this title, certain words, phrases and terms used herein shall have the meaning assigned to them by this chapter as determined by the Community Development Director.

B. When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and those in the plural number include the singular.

C. If any of the definitions in this chapter conflict with definitions in other provisions of the municipal code, these definitions shall govern. (Ord. 2019-1056 § 3; Ord. 2011-968 § 1)

* * *

18.04.40 "C" Definitions.

* * *

"Co-working Spaces" means a dedicated commercial use or area within a larger residential development where multiple, generally unaffiliated individuals or groups of individuals share workspace for activities typically associated with office or commercial uses.

* * *

18.04.130 “L” definitions.

* * *

“Live/work quarters” means a residential use that includes studio spaces designed to integrate living space into the workspace and are primarily designed for industrial or commercial occupancy. Where live/work quarters are a permitted use, the regulations imposed on home occupations shall not apply.

* * *

Chapter 18.10 RESIDENTIAL ZONES

18.10.010 Purpose.

In addition to the purpose outlined in Section 18.02.020, the residential zones are included in the zoning regulations to achieve the following objectives:

- A. To reserve appropriately located areas for family living at a broad range of dwelling unit densities consistent with the General Plan and with sound standards of public health, safety and welfare.
- B. To ensure adequate light, air, privacy and open space for each dwelling.
- C. To minimize traffic congestion and to avoid the overloading of utilities by preventing the construction of buildings of excessive bulk or number in relation to the land area around them.
- D. To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences.
- E. To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities, and service requirements. (Ord. 2019-1056 § 3; Ord. 2004-884)

18.10.020 Residential agricultural (R-A) zone.

This zone is intended as an area for general agricultural purposes and low density residential uses with a minimum lot size of one acre and maximum density of one unit per acre. Only those additional uses are permitted that are complementary to, can exist in harmony with, an agricultural residential neighborhood. The areas included within this land use designation are characterized by large lots, and may consist of large rural estates with abundant open space on each lot, or large parcels devoted to commercial or non-commercial agriculture and/or grazing, which may have a residence and other accessory buildings such as barns, equipment sheds, and other similar buildings. The district also includes the keeping of equine, cleft-hoofed and other animals either as accessory to a residential use, or as the primary use, such as an equestrian center. Farms, ranches, and wholesale nurseries as well as single family residential, are all permitted uses within the R-A zone. (Ord. 2019-1056 § 3; Ord. 2004-884)

* * *

18.10.073 Mixed-Use 30 (MU-30) zone

The purpose of the Mixed-Use district, also known as the MU-30 district, is to increase the housing stock of the City that is affordable to households of different income levels, to spur revitalization and investment, to improve the utilization of land, and to decrease vehicular use by permitting construction of housing on sites that contain retail and service uses.

The MU-30 district is intended for intensive residential uses up to 30 dwelling units per acre on sites that also authorize commercial uses. Multiple family dwellings and condominiums shall be permitted in the MU-30 district. Various commercial uses are also permitted, provided that at least 50 percent of a development is dedicated to residential use. In the MU-30 district, at least half of the square footage for each project shall be residential. Residential uses may be located on top of commercial uses (vertical mixed-use) or in separate structures on the same lot (horizontal mixed-use).

Pursuant to Government Code section 65583.2(h) and (i), projects in the MU-30 district that propose at least 16 total dwelling units at a minimum density of 20 dwelling units per acre and reserve at least 20 percent of base units for rental to lower income households, as defined in Health and Safety Code section 50079.5, shall be processed ministerially and approved as a use by right. The phrase "use by right" means that the City's review of the owner-occupied or multifamily residential use may not require a conditional use permit, planned unit development permit, or other discretionary local government review or approval that would constitute a "project" for purposes of Division 13 (commencing with Section 21000) of the Public Resources Code (CEQA). However, projects that qualify as a use by right are not exempt from compliance with the Subdivision Map Act. While the City may subject projects that qualify as a use by right to design review, design review shall not constitute a "project" for purposes of CEQA.

18.10.080 Permitted and conditional uses.

Table 18.10-01 contains a listing of permitted uses and accessory uses within the various residential zones. Uses in the table are permitted subject to the permit criteria referenced. Any use not included shall be considered prohibited.

Table 18.10-1

RESIDENTIAL LAND USE MATRIX

Use	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30¹	Comments
Accessory dwelling unit	P	P	P	P	P	•	•	•		See Ch. 18.20 Art. IX
Agriculture, horticulture, grazing	P	P	P	P	P	P	C	C	<u>C</u>	
Animal hospital, large animal	P	P	C	•	•	•	•	•		See Ch. 18.20 Art. VII

Use	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ¹	Comments
Beehives (1—3)	P	P	P	P	C	•	•	•		
Beehives (4 or more)	C	C	C	C	•	•	•	•		
Boarding/rooming house/dormitory	•	•	•	•	•	C	C	C	<u>C</u>	
Church/temple/religious institutions	C	C	C	C	C	C	C	C	<u>C</u>	
Co-generation plant	C	C	C	C	C	C	•	•		
Communication facility	C	C	C	C	C	C	C	C	<u>C</u>	See Ch. 18.20 Art. X
Community care facility, large	C	C	C	C	C	C	C	C	<u>C</u>	See Section 18.20 Art. VIII
Community care facility, small	P	P	P	P	P	P	P	P	<u>P</u>	See Section 18.20 Art. VIII
Condominium	•	•	•	•	C	D	D	D	<u>P</u>	See Section 18.20 Art. VI
Construction office/trailer	T	T	T	T	T	T	T	T	<u>T</u>	See Ch. 18.20 Art. I
Convalescent home/hospital	C	C	•	•	•	•	C	C	<u>C</u>	
Day care center/nursery	C	C	C	C	C	C	C	C	<u>C</u>	
Dwelling, multiple family	•	•	•	•	•	D	D	D	<u>P</u>	Affordable units - see Ch. 18.20 Art. IX
Dwelling, single family	P	P	P	P	P	P	•	•		
Equestrian center	C	C	C	•	•	•	•	•		
Family day care, large	C	C	C	C	C	C	C	C	<u>C</u>	See Ch. 18.20 Art. VIII
Family day care, small	P	P	P	P	P	P	P	P	<u>P</u>	See Ch. 18.20 Art. VIII
Farm/ranch, commercial	P	P	P	•	•	•	•	•		
Fruit/vegetable stand	T	T	T	•	•	•	•	•		
Golf course, tennis/swim club	C	C	C	C	C	C	•	•		
Greenhouse, commercial	C	•	•	•	•	•	•	•		

Use	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ¹	Comments
Guest house	A	A	A	A	A	A	•	•		See Ch. 18.20 Art. IX
Home occupation	A	A	A	A	A	A	A	A	<u>A</u>	See Ch. 18.20 Art. II
Kennel, commercial	C	C	C	•	•	•	•	•		
Kennel, non-commercial	P	C	C	•	•	•	•	•		
Library/museum, public	•	•	•	C	C	C	C	C	<u>C</u>	
Manufactured home	D	D	D	D	D	D	•	•		See Section 18.10.100.D
Model home complex	T	T	T	T	T	T	T	T	<u>T</u>	See Ch. 18.20 Art. I
Nursery, wholesale	P	P	P	P	P	P	•	•		
Park/recreational facilities, public	C	C	C	C	C	C	C	C	<u>C</u>	
Public building/grounds	C	C	C	C	C	C	C	C	<u>C</u>	
Public utility facility	C	C	C	C	C	C	C	C	<u>C</u>	
Recreational court	C	C	C	C	C	C	C	C	<u>P</u>	See Ch. 18.20 Art. III
Recreational facility, private	C	C	C	C	C	C	C	C	<u>P</u>	
Recreational vehicles parking	A	A	A	A	A	A	A	A	<u>A</u>	See Section 18.10.100.C.4
School/educational institution, private	C	C	C	C	C	C	C	C	<u>C</u>	
Single room occupancy housing facility	•	•	•	•	•	C	C	C	<u>C</u>	
Special outdoor events, commercial	•	•	•	•	•	•	•	•		
Special outdoor events, noncommercial or family	T	T	T	T	T	T	T	T	<u>T</u>	See Ch. 18.20 Art. I
Stable, commercial	C	C	C	•	•	•	•	•		
Supportive housing*	P	P	P	P	P	P	P	P	<u>P</u>	

Use	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ¹	Comments
Transitional housing*	P	P	P	P	P	P	P	P	<u>P</u>	See Ch. 18.20 Art. VIII

(A = Accessory Use; C = Conditional Use; D = Design Review; T = Temporary Use; P = Permitted Use; • = Prohibited Use)

* Transitional and supportive housing are permitted in residential zoning districts subject to the same standards as similar residential uses. Thus, if transitional or supportive housing is configured as a multi-family structure it would be regulated as such, WHEREAS if it is configured as a single-family structure, it would be subject to single-family regulations.

1. Projects in the MU-30 zone also may include any use that is identified as a Permitted Use in the C-G zone. Co-working spaces and live/work quarters are both Permitted Uses. Any commercial use in the MU-30 zone would be subject to the development standards of the MU-30 zone. However, residential uses must occupy 50 percent or more of the project's total floor area.

(Ord. 2019-1056 § 3; Ord. 2015-1016 § 2; Ord. 2014-1011 § 5; Ord. 2004-884)

18.10.090 Property development standards.

Table 18.10-02 contains the development standards that are applicable within the various residential zones.

Table 18.10-2
RESIDENTIAL DEVELOPMENT STANDARDS⁷

	Zones								
Standard	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ⁸
Maximum density (units per acre)	1.0	1.0	1.8	3.0	4.0	10.0	20.0	30.0	<u>30.0</u>
Minimum lot size ¹	1 acre	39,000 sf	15,000 sf	10,000 sf	7,500 sf	15,000 sf	1 acre	1 acre	<u>1 acre</u>
Minimum lot width	130 ft.	110 ft.	100 ft.	80 ft.	75 ft.	100 ft. (corner); 125 ft. (interior)	135 ft. (corner); 165 ft. (interior)	135 ft. (corner); 165 ft. (interior)	<u>135 ft. (corner); 165 ft. (interior)</u>
Minimum lot depth	150 ft.	170 ft.	150 ft.	100 ft.	100 ft.	100 ft. (corner); 125 ft. (interior)	135 ft. (corner); 165 ft. (interior)	135 ft. (corner); 165 ft. (interior)	<u>135 ft. (corner); 165 ft. (interior)</u>

	Zones								
Standard	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ⁸
Maximum lot coverage	35%	35%	35%	35%	40%	45%	65%	70%	<u>70%</u>
Maximum building height	35 feet, or 2 stories, whichever is less ²						35 ft. or 2 stories + ½ story for underground parking	50 ft. or 4 stories, whichever is less	<u>60 ft. or 4 stories, whichever is less</u>
Minimum front yard setback	40 ft.	35 ft.	30 ft.	25 ft.	20 ft.	20 ft.	20 ft.	20 ft.	<u>20 ft.</u>
Minimum side yard setback (interior)	— ³	— ³	— ³	10 ft.	— ⁴	— ⁴	— ⁴	— ⁴	— ⁴
Minimum side yard setback (street)	— ³	— ³	— ³	10 ft.	10 ft.	10 ft. ⁵	10 ft. ⁵	10 ft. ⁵	<u>10 ft.</u>
Minimum rear yard setback	45 ft.	40 ft.	25 ft.	25 ft.	25 ft.	20 ft.	20 ft.	20 ft.	<u>20 ft.</u>
Minimum building separation ⁶	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	20 ft.	20 ft.	<u>20 ft.</u>
Minimum dwelling size	1,500 sf	1,500 sf	1,500 sf	1,500 sf	1,300 sf	Studio = 750 sf 1 bd = 900 sf 2 bd = 1,000 sf 3 bd = 1,200 sf	Studio = 550 sf 1 bd = 675 sf 2 bd = 700 sf 3 bd = 900 sf	Studio = 550 sf 1 bd = 675 sf 2 bd = 700 sf 3 bd = 900 sf	<u>Studio = 550 sf</u> <u>1 bd = 675 sf</u> <u>2 bd = 700 sf</u> <u>3 bd = 900 sf</u> -
Minimum parking per dwelling unit	2 covered plus 1 covered or uncovered	2 covered plus 1 covered or uncovered	2 covered plus 1 covered or uncovered	2 covered plus 1 covered or uncovered	2 covered plus 1 covered or uncovered	Studio-2bd = 2 covered plus 1 covered or uncovered 3+ bd = 2 covered	Studio = 1 covered 1 bd = 1 covered + 0.8 uncovered	Studio = 1 covered 1 bd = 1 covered + 0.8 uncovered 2 bd = 1 covered +	<u>Studio = 1 covered</u> <u>1 bd = 1 covered + 0.8 uncovered</u> <u>2 bd = 1 covered +</u>

	Zones								
Standard	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	MU-30 ⁸
						plus 1.5 covered or uncovered	2 bd = 1 covered + 1 uncovered 3+ bd = 1 covered + 1 uncovered Guest: Studio = 0.75 per unit 1 bdrm = 0.5 per unit 2 bdrms = 0.5 per unit 3 or more bdrms = 1.5 per unit	1 uncovered 3+ bd = 1 covered + 1 uncovered Guest: Studio = 0.75 per unit 1 bdrm = 0.5 per unit 2 bdrms = 0.5 per unit 3 or more bdrms = 1.5 per unit	<u>1 uncovered</u> <u>3+ bd = 1 covered + 1 uncovered</u> <u>Guest:</u> <u>Studio = 0.75 per unit</u> <u>1 bdrm = 0.5 per unit</u> <u>2 bdrms = 0.5 per unit</u> <u>3 or more bdrms = 1.5 per unit</u>

1 Any legally established lot that is at least 4,000 sq. ft. and has a minimum 20-foot wide vehicular access to a street may be used as a building site.

2 Steeples, crosses and other religious symbols on churches and religious institutions may exceed the height limit in accordance with Section 18.24.110. See also Section 18.10.110.H and Section 18.26.030 of the Zoning Code for additional design standards related to height determinations for structures.

3 Side yard setbacks in R-A, RLD and R-E zones shall be 10 percent of the lot width, but not less than 10 feet, and need be no more than 20 feet.

4 Interior side yard setbacks in R-U and R-M, R-M-20, and R-M-30 zones shall have a cumulative total of both side yards of 20 feet; however, in no case shall a side yard be less than five feet.

5 Front yard setback requirements shall be applied to all property frontages facing public streets for the R-M, R-M-20, and R-M-30 zones.

6 The required 10-foot building separation standard shall not apply to small accessory structures as defined in Section 18.10.120.B. However, if the combined area of multiple small accessory structures located within three feet of each other exceeds a combined 120 square feet, each structure shall be considered a large accessory structure.

7 Residential properties having a slope gradient of 15 percent or greater shall comply with the regulations contained in Chapter 18.30 of this title.

8 Projects in the MU-30 zone may include commercial uses in either a horizontal or vertical mixed-use format.

(Ord. 2019-1056 § 3; Ord. 2014-1011 § 5; Ord. 2014-1005 § 5; Ord. 2011-968 § 6; Ord. 2004-884)

18.10.100 Special requirements.

A. Setbacks. In addition to those setbacks set forth in Table 18.10-02, the following additional requirements shall apply:

1. Buildings Exceeding 15 Feet in Height. In any R-M zone, any building exceeding 15 feet in height shall maintain a minimum setback of 50 feet from any single-family zone; any building less than 15 feet in height shall maintain a minimum setback of 20 feet from any single-family zone.
2. Public or Semi-Public Uses. In any residential zone, public or semi-public uses shall maintain a setback of 50 feet from an adjacent residential property line.
3. Front Setback Averaging. In any residential zone other than the MU-30 zone, front yard setbacks in subdivision developments may be reduced by 25 percent on individual lots provided the average of all setbacks in the development is not less than the minimum required for the zone. In the MU-30 zone, the setback reduction shall apply to individual buildings, as opposed to individual lots.
4. Setback from Active Railroad Track. In any residential zone other than the MU-30 zone, the dwelling structure shall maintain a minimum distance of 225 feet from any active railroad track. In the MU-30 zone, dwelling structures must maintain a minimum setback from the property line of 25 feet when located adjacent to an Active Railroad Track, and buildings must comply with California Building Code standards regarding noise reduction.
5. A minimum setback of five feet shall be maintained for any structure from any driveway, trail or ingress-egress easement, except that a minimum setback of 25 feet shall be maintained from a public trail for any habitable multiple-family dwelling. Exceptions may be approved by the Planning Commission during Design Review.
6. Projections. Porches, steps, architectural features, such as eaves, awnings, chimneys, balconies, exterior stairways, wing walls, elevator shafts or bay windows may project not more than four feet into any required front or rear yard area, nor into any required side yard area more than one-half of said required side yard.
7. When the property contains a City trail, landscape, open space, recreational or similar easement, or a private street easement, the reference point for determining setback distance shall be the edge of the City easement or private street easement, unless, based on the configuration of the City easement or private street easement, or other circumstance,

an alternate point of reference is determined appropriate by the Community Development Director.

B. Two-Story Buildings/Additions. In any residential zone, a two-story building or two-story room addition closer than 70 feet to an existing single-family residence shall require that a conditional use permit be approved by the Planning Commission or Zoning Administrator, per the requirements of Chapter 18.38, prior to the issuance of a building permit. The 70 feet shall be measured from the edge of any new two-story construction to the closest edge of any existing single-family residence exclusive of the garage. When reviewing a second story room addition application, the Planning Commission or Zoning Administrator shall make the mandatory findings as follows:

1. That the two-story construction does not result in any significant loss of privacy for adjacent residences in a manner that would compromise the neighbors' ability to obtain reasonable and enjoyable use of their own property.
2. For a building addition, that the design of the two-story construction be architecturally integrated with that of the existing house as to be made to appear as part of the original construction.
3. That the design of the structure is sensitive to its environs such that it is architecturally compatible with the neighborhood.
4. For any second story addition to any attached single-family structure, the Planning Commission or Zoning Administrator shall encourage construction which has the least impact on the neighboring attached dwelling unit and which is most structurally sound.

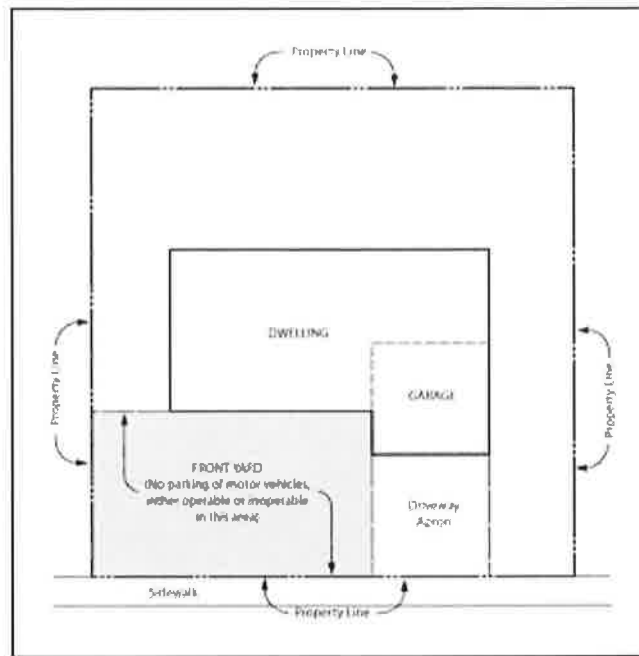


Figure 18.10-1 Sample Residential Lot Plan

C. **Parking.** In any residential zone, parking of motor vehicles shall be subject to the requirements of the Sample Residential Lot Plan (Figure 18.10-1) and subject to the following:

1. No vehicle, boat, or trailer may be parked in the front yard, except on paved driveways. The parking of vehicles elsewhere on a residential lot is prohibited unless the vehicle is enclosed within a building or kept under a carport in a lawful manner, or parked on a fenced side or rear yard area on a paved surface and in a manner that eliminates or reduces visibility of the vehicle from surrounding properties or streets to the greatest extent feasible. Acceptable screening methods shall include solid walls and fencing, landscaping, etc., as determined by the Community Development Director.
2. The parking of any inoperable, wrecked or dismantled vehicle on a residential property is prohibited, except as provided in Chapter 8.08 of the Yorba Linda Municipal Code.
3. The parking of any Class 5 truck (based on gross vehicle weight rating) or larger, or any other similar commercial vehicle, including special equipment and truck-tractors, in or on any part of residentially-zoned property is prohibited except as is reasonably necessary to pick up or deliver goods, wares, or merchandise from or to any structure located in such zone, or for such time as is reasonably necessary for the purpose of delivering materials to be used in the actual repair, alteration, remodeling, or construction of any building or structure in such zone for which a building permit has previously been obtained from the City.
4. **Recreational Vehicle Parking.** Recreational vehicles, including motorhomes, boats, trailers and other similar vehicles, may be stored on any residential zoned property which is

developed as single-family detached, subject to the following standards (See Figure 18.10-1):

- a. The vehicle shall be parked on a paved surface.
- b. If parked in the front yard setback, the vehicle shall be parked at a perpendicular angle to the street, including those vehicles parked on circular drives, or driveways heading to side-entry garages.
- c. If parked in side yards, the vehicle shall be placed behind a six-foot high solid wall or fence, including six-foot high solid gate(s).
- d. No vehicle shall be parked or stored in street side yards of corner lots.
- e. No parked or stored vehicle shall encroach into the public right-of-way or onto any public or private access drive, street or pedestrian walkway.
- f. The parking of recreational vehicles shall be limited to only those vehicles that are owned by the property owner and/or tenant residing on the property.

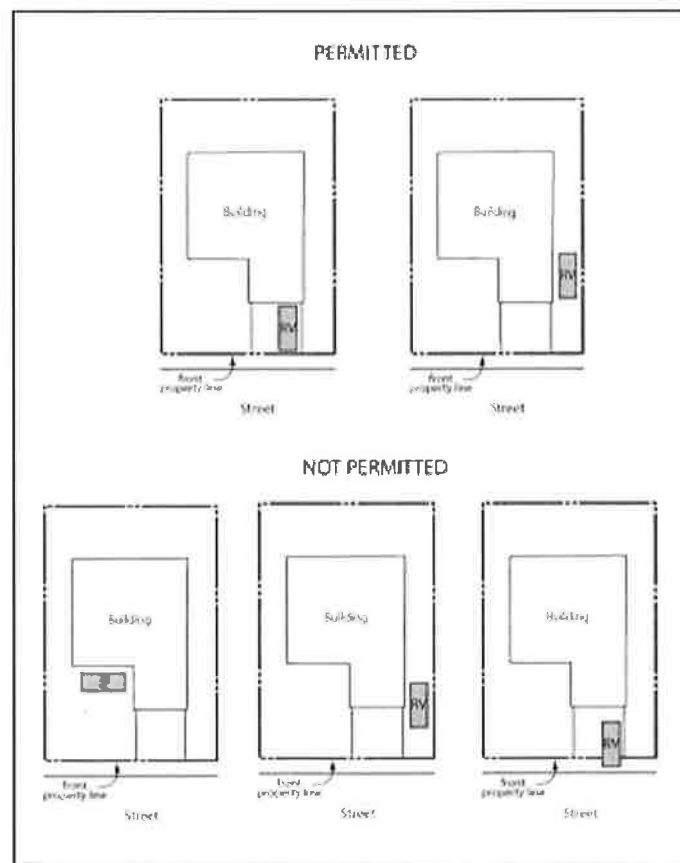


Figure 18.10-2 RV Parking

5. As depicted in Figure 18.10-3, driveway curb cuts for single-family detached residential units shall be limited to one such curb cut leading to a garage or carport, or an accessory dwelling unit legally converted from an existing garage or carport in accordance with Article XI of Chapter 18.20, with the exception that one additional curb cut may be provided where a circular driveway is provided, or in other appropriate cases, and subject to the approval of the Community Development Director and City Engineer. All driveway surfaces shall be paved, surfaced in concrete cement or other permanent material, as approved by the Community Development Director.

6. The minimum driveway width shall be 16 feet; however, flag lots shall maintain a minimum driveway width of 20 feet. The Community Development Director, in consultation with the Fire Marshall, may authorize a narrower driveway width under certain circumstances, including, but not limited to, when secondary access is provided, or when other mitigating factors make the minimum driveway width unnecessary.

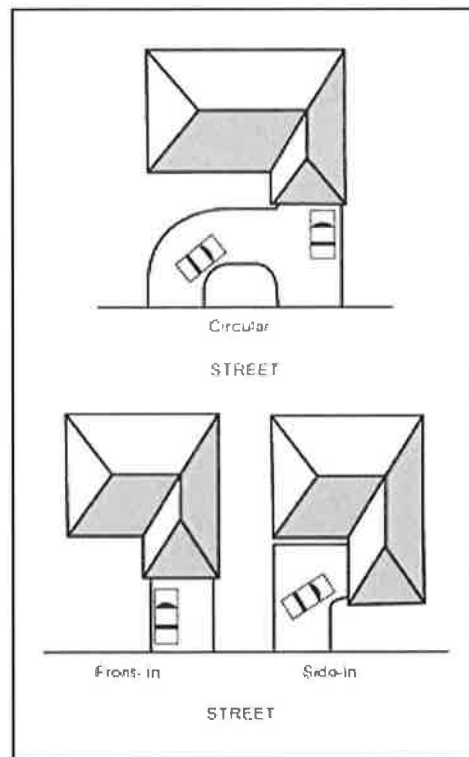


Figure 18.10-3 Driveway Types

7. Projects within the MU-30 district may utilize shared parking to satisfy any parking obligations for commercial uses pursuant to the shared parking procedure specified in Section 18.22.040. However, shared parking for projects within the MU-30 district shall be a ministerial, staff-level approval, and not require a conditional use permit or approval by the Planning Commission.

D. **Manufactured Homes.** Any manufactured home which is certified under the National Manufactured Housing Construction and Safety Standards Act of 1974 is permitted on any lot within any residential zone, providing the following criteria are met:

1. The application shall be reviewed in accordance with the design review provisions of Section 18.36.100 of this title.
2. The structure shall comply with all setback, height and other property development standards of the zone in which it is placed.
3. The manufactured home shall be placed on a solid concrete or masonry foundation.
4. The exterior siding shall be wood or other material customarily used in conventionally built single-family dwellings.
5. Roofs shall be in compliance with the City Building Code and shall consist of fire-retardant composition shingles or tile, and roof pitch shall be similar to those roofs of the same material on conventionally built single-family dwellings in the neighborhood, but in no case shall roof pitch be less than a ratio of 3:12.
6. Roofs shall have eave and gable-end overhangs of not less than 12 inches.
7. Carports or garages with the same dimensions and number of spaces shall be provided in accordance with Chapter 18.22 and Section 18.10.090 of this chapter. (Ord. 2020-1074 § 4; Ord. 2019-1056 § 3; Ord. 2004-884)

* * *

18.22.040 Site development standards.

A. **Parking Space Design.**

1. Off-street parking areas shall consist of parking spaces with a minimum rectangular area of not less than nine feet wide by 20 feet long, together with drives, aisles, turning and maneuvering areas and having access at all times to a public street or alley (see Figure 18.22-1). Provided, however, that a two-foot overhang may be approved in appropriate cases where landscaping or pedestrian walks will not be negatively impacted (see Figure 18.22-4).

Table 18.22-2

PARKING STALL DIMENSIONS

Facility	Min. Width	Min. Length
Covered	10 ft.	20 ft.
Uncovered	9 ft.	20 ft.
Parallel	8 ft.	24 ft.

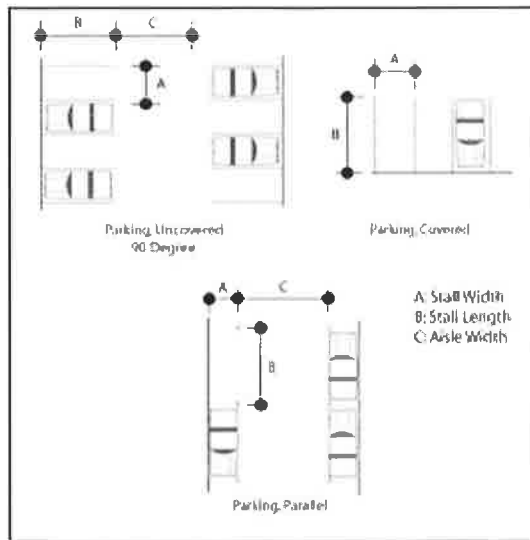


Figure 18.22-1 Parking Space Measurements

2. Angled parking shall maintain the minimum space dimensions in accordance with subsection A.1, and shall be measured in accordance with Figure 18.22-2.

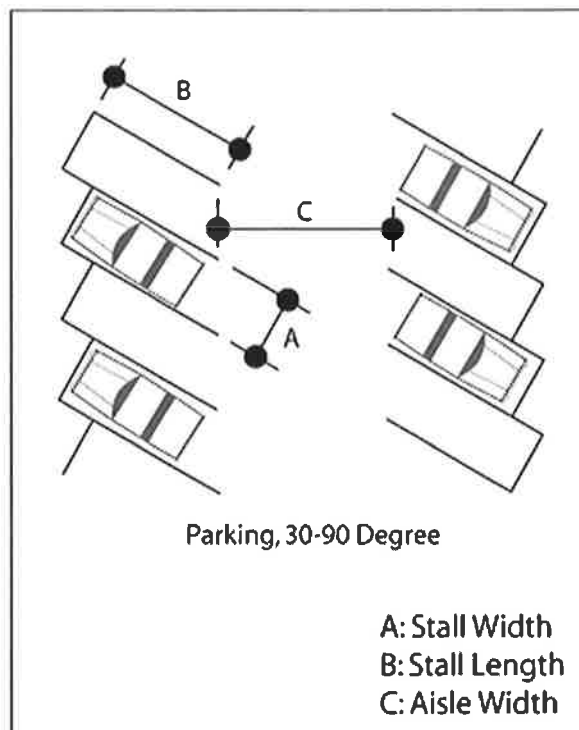


Figure 18.22-2 Angled Parking/Space Measurements

3. Striping. All parking spaces shall be double striped except as specifically approved by the Community Development Director if no Design Review is required or there are less than three spaces involved (see Figure 18.22-3).

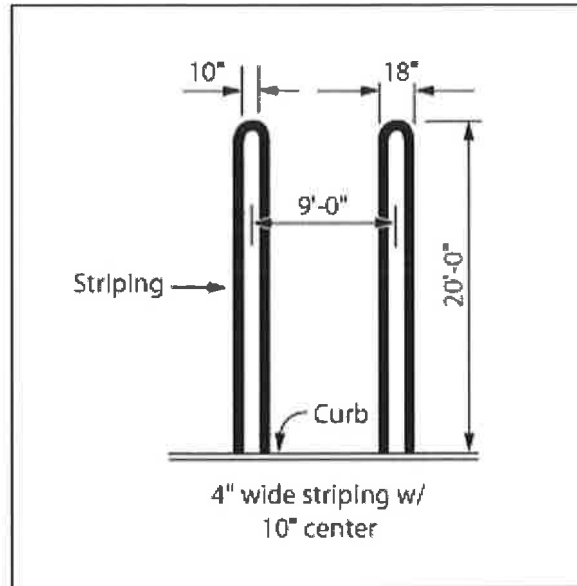


Figure 18.22-3 Double Striping

B. Drive Aisles. Drive aisles shall maintain minimum widths of 14 feet for one-way traffic, and 24 feet for two-way traffic. Angled parking shall maintain minimum one-way drive aisles in accordance with Table 18.22-3. Two-way drive aisles shall be permitted only on 90-degree parking designs.

Table 18.22-3

MINIMUM DRIVE AISLES—ANGLED PARKING

Parking angle	Aisle width
0-30°	14 ft.
31-45°	18 ft.
46-60°	20 ft.
61-90°	24 ft.

C. Parking Lot Design.

1. All required parking areas, including those for residential uses, shall be designed so that no more than three spaces would require automobiles to back out directly into a public travelway.

2. All off-street parking areas shall be constructed and maintained to provide the following:
- a. Grading, drainage and a minimum of two inches of asphaltic concrete paving over a four-inch aggregate base to the specifications of the City Engineer (see Figure 18.22-4).

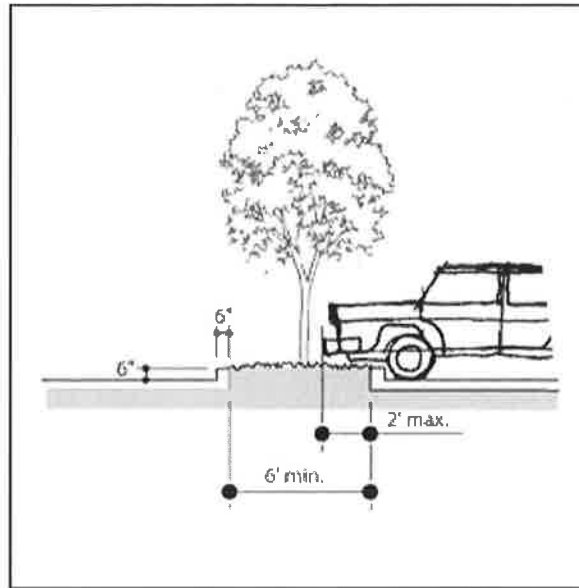


Figure 18.22-4 Parking Lot Planters

- b. Bumpers, wheel stops, continuous curbing, stall markings and other vehicular control devices shall be approved by both the City Engineer and Community Development Director.
- c. Curbs shall be installed at minimum of five feet from the face of walls, fences, buildings or other structures. This requirement exempts driveways that are not a part of the maneuvering area for parking. The use of continuous concrete curbing is recommended for all landscaped areas and can be so specified at the discretion of the Community Development Director.
- d. Curb radius shall be three-foot minimum.
- e. Driveways widths shall be 24-foot minimum and constructed to City standards.
- f. The first parking spaces adjacent to streets in an on-site parking area shall be a minimum 10-foot distance from the property line.
- g. Concrete walks with a minimum width of two feet shall be installed adjacent to parking spaces as indicated.
- h. Walk openings four feet wide shall be permitted in planting islands every five spaces.

- i. Lighting shall be to the specifications of the City Engineer, and in all cases such lighting shall be designed and arranged so that direct rays do not shine on adjacent properties or streets.

D. Landscaping.

1. Each off-street parking area shall provide areas landscaped equivalent to a minimum of 20 square feet for each parking space. Such landscaping shall be provided along the periphery of the parking area and shall consist of trees and plant material. Such landscaped area shall include at least one minimum 15-gallon tree for each five parking spaces. In addition, one minimum 15-gallon tree shall be provided in the interior portions of the parking area for each 1,500 square feet of parking area. Required landscaped yard or setback areas shall not be construed as satisfying any portion of the landscaped area required by this section.
2. Any unused space resulting from the design of the parking area shall be used for landscaping.
3. All required landscaped areas shall be provided with a permanent and adequate means of irrigation and shall be adequately maintained.
4. Landscape and irrigation plans, including the type and location of plant materials to be used, shall be subject to the approval of the Community Development Director. To ensure aesthetics on a year-round basis and to mitigate "heat island effects" within parking areas, plant materials shall consist predominantly of evergreen species unless otherwise specified by the City Council, Planning Commission or Community Development Director.
5. Islands shall have a maximum length of 180 feet and a minimum width of six feet (see Figure 18.22-4). The minimum average width of islands at the extremities of 90-degree parking islands shall be six feet. Except, however, the Community Development Director may approve, or the Planning Commission may approve in conjunction with approval of a conditional use permit or design review, alternative planter designs such as individual "diamond-shaped" planters, provided that such individual planters are located a minimum of every fourth parking space in single contiguous rows of parking, or every eighth parking space in double contiguous rows of parking, and in no case shall said planters be less than 40 feet apart in any contiguous parking row. When such individual planters are used, the minimum interior dimensions shall be not less than four feet by four feet. In addition, in approving said alternative planter designs, the Community Development Director or the Planning Commission shall make a finding that the revised design results in an improvement for engineering, drainage or aesthetic purposes.

E. Shared Parking. Mixed use developments in any C, M or PD zone may request approval of shared parking, subject to approval of a conditional use permit by the Planning Commission. Shared parking applications shall meet the following criteria:

1. Preparation of a parking study by a qualified traffic engineer. Said parking study shall be subject to review and approval by the Community Development Director and City Engineer.

2. No parking space(s) shall be separated by a collector or arterial street from the use it is intended to serve.

3. No parking space(s) shall be more than 500 feet from the use they are intended to serve, unless the Planning Commission determines that there are other factors that would justify a greater distance.

F. Handicap Parking. Handicap parking spaces shall be provided in accordance with the most recent requirements of Title 24 of the California Code of Regulations and as stipulated by the Yorba Linda Building Code. Each required handicap space shall be counted as meeting the total spaces required as outlined in Table 18.22-1.

G. Compliance/Deviations from Standards.

1. Where off-street parking facilities are provided but not required by this chapter, such facilities shall comply with the development standards of this section.

2. In the event practical difficulties and hardships result from the strict enforcement due to existing permanent buildings or an irregular-shaped parcel, an administrative variance by the Zoning Administrator may be given for those standards contained in subsections C and D of this section in accordance with the provisions of Section 18.38.060 of this title. (Ord. 2019-1056 § 3; Ord. 2004-884)

* * *

Section 4. Amendments to the General Plan Land Use Element

The General Plan Land Use Element is hereby amended as follows (new language to be inserted is shown in underlined text; language to be deleted is shown in ~~strike out text~~; text in regular, *italic* or **bold** type reflects existing text and is provided for informational/reference purposes; and ellipses (* * *) indicate omissions of text to which no changes are made):

3. Land Use Element

Introduction

The Land Use Element is often seen as the primary framework for the General Plan, as it sets forth the patterns of land use and activities that will support and enhance the character of the City. The Land Use Element defines goals and policies that will guide the way the City of Yorba Linda grows and changes over the next 20 years. It serves as a guide to both public officials and private citizens in describing the type, intensity, and general distribution of land



uses for housing, business, industry, open space and public and semi-public uses.

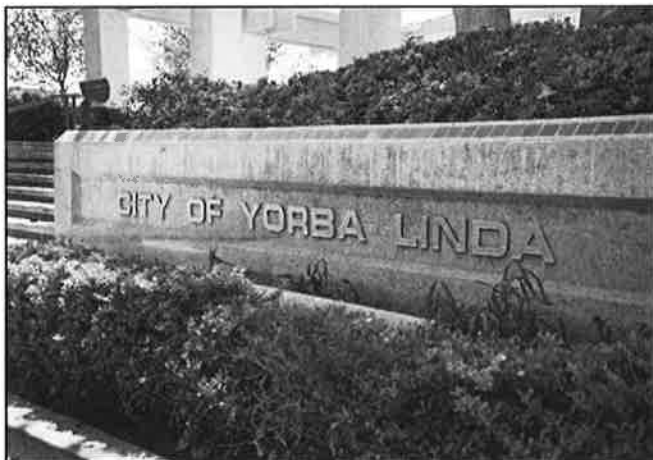
Authority and Scope

The State of California Government Code Section 65302(a) requires that a General Plan include *“a Land Use Element which designates the proposed general distribution and general location and extent of the uses of the land for housing, business, industry, open space including agriculture, natural resources, recreation and enjoyment of scenic beauty, education, public buildings, and grounds, solid and liquid waste disposal facilities and other categories of public and private uses of land. The Land Use Element shall include a statement of the standards of population density and building intensity recommended for the various districts and other territory covered by the plan.”*

The Land Use Element has the broadest scope of any of the General Plan Elements. In addition to the State requirements set forth in the California Government Code, it has also been legally established that while the location of a particular land use may be expressed in general terms, a property owner must be able to identify the General Plan designation for his/her parcel from the land use diagram contained in the Land Use Element.

The primary implementing mechanisms of the Land Use Element is the Yorba Linda Municipal Code. California Government Code requires a General Law City's Zoning Ordinance and Zoning Map be consistent with the General Plan Land Use Element and Land Use Element Diagram. Specific Plans adopted by the City of Yorba Linda must also be consistent with the General Plan they implement.

The goals, policies and implementation programs of the Land Use Element support and reinforce the current quality of life in Yorba Linda as the "Land of Gracious Living". The Land Use Element establishes the City of Yorba Linda's official policies, programs and actions related to land use citywide. The Element accomplishes this through the General Plan Land Use Map, narrative text, and quantifying tables. The General Plan Land Use Map depicts the permitted type and density/intensity of use for all lands within the City's jurisdiction and sphere-of-influence. Lands are designated according to residential, commercial, industrial, and open space uses. The land use policies contained in the Land Use Element are visually represented by the General Plan Land Use Map and visually describe citywide land use patterns.



Background

The essential components of the Land Use Element are the General Plan Land Use Map and the goals and policies that guide future development. The Land Use Map is divided into land use designations that define areas of the City by the type of use, the existing character of the neighborhood, and the intent of future growth. The Land Use Map

serves as a graphic representation of the goals and policies of all General Plan Elements. Users of this document are

advised to refer to the goals and policies, as well as the map when evaluating proposed development and capital improvement projects. The majority of the land area within the City is developed with single-family homes built between the 1960s and 1990s. Apartments, townhomes and condominiums can also be found throughout the City. Commercial development is mainly located along Yorba Linda Boulevard and Imperial Highway, along with smaller neighborhood-serving retail centers scattered within residential areas. The City's built-out nature presents opportunity for infill development and redevelopment to accommodate changing needs, market conditions, and demographics.

1993 General Plan Land Use

The vision of the 1993 General Plan was focused on achieving and maintaining a high quality of life for the residents of Yorba Linda while maintaining the pleasant residential suburban community feel that residents value. The land use plan in the 1993 General Plan was developed to support this vision. The land use plan generally categorized land use designation according to residential, commercial, industrial and open space uses. The issues that the 1993 Land Use Plan hoped to address included:



- Preserving the City's low density character;
- Focusing new development opportunities in the north and northwestern areas of the City;
- Allowing infill development that also preserve the character of established neighborhoods;
- Enhance pedestrian activity in commercial areas;
- Provide better commercial services for residents;
- Develop a centralized community core;
- Develop sub-regional commercial opportunities;
- Address issues with the North Orange County Community College site;
- Continue providing affordable housing; and
- Maintain and enhance open space linkages.

Table LU-1: Land Use Summary, and *Exhibit LU-1: Land Use Map*, below summarizes the current land use designations. *Table LU-1:Land Use Summary*, quantifies the acreage in Yorba Linda dedicated to each land use and the allowable intensity and/or density of development for each land use designation. The Land Use Map illustrates the dispersion of the General Plan land use designations in the City.

Table LU-1 Land Use Summary ¹		
Land Use Designation	Density/Intensity ^{1, 2}	Acres
Residential Low (R-L)	1.0 du/acre	412.14
Residential Medium-Low (R-ML)	1.8 du/acre	2,356.05
Residential Medium (R-M)	3.0 du/acre	1,956.28
Residential Medium-High (R-MH)	4.0 du/acre	1,169.01
Residential High (R-H)	4 – 30 du/acre	<u>555.04</u> <u>545.89</u>
Commercial General (C-G)	0.25 FAR	<u>148.65</u> <u>157.80</u>
Commercial Neighborhood (C-N)	0.25 FAR	36.48
Commercial Office (C-O)	0.35 FAR	23.54
Industrial Manufacturing (I-M)	0.40 FAR	274.92
Open Space (O-S)	N/A	2,876.65
Area Plan ³	Plan Specific	1,598.8
Right-of-Ways	N/A	1,718.60
Sphere of Influence	N/A	1685.98
TOTAL		14,812.15

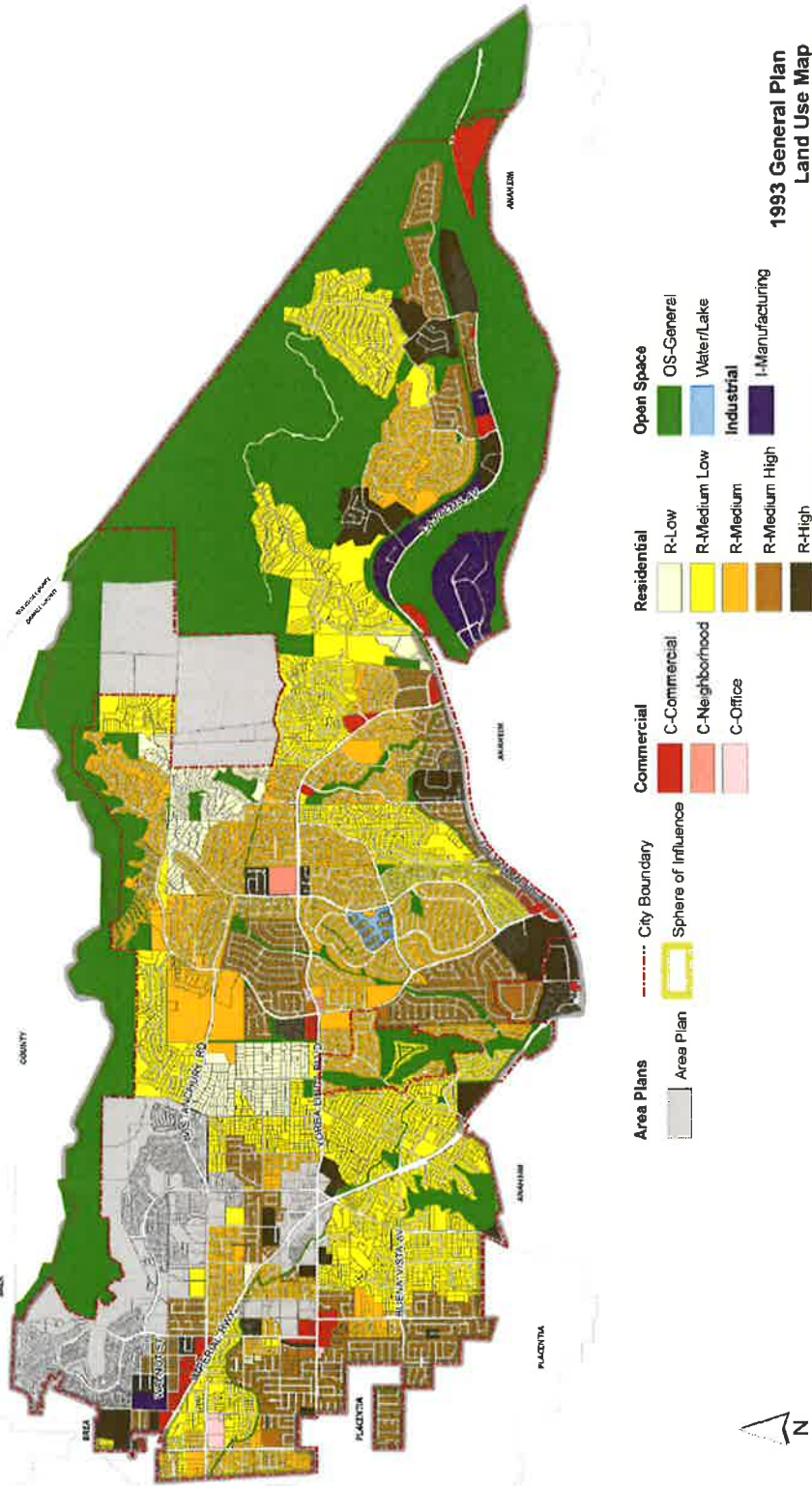
Notes:

¹Floor Area Ratio (FAR) calculates non-residential land use by dividing gross floor area by the total area of the lot.

²Dwelling units per acre (du/acre) is the number of residential units allowed per acre.

³Includes Cielo/Esperanza (Murdock Property), which is outside City limits, but within the Sphere of Influence (SOI). For this area, maximum dwelling unit potential is calculated at a target density of 1.0 du/ac.

⁴Estimates updated from 1993 General Plan based upon most currently available GIS and county assessor data. Changes in the land use designations and zoning have occurred since adoption of the 1993 General Plan.



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Exhibit LU-1

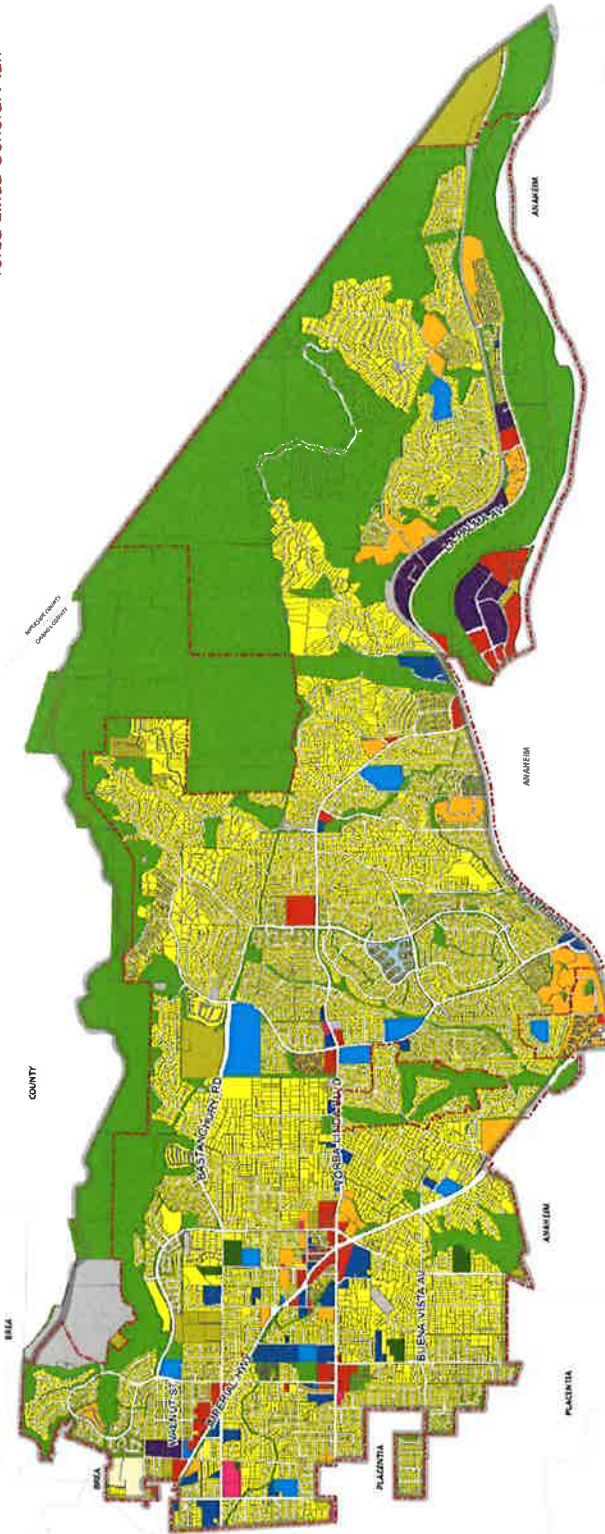
Existing (On-the-Ground) Land Use

The City of Yorba Linda is a mix of residential, open space, public, commercial, and industrial uses. The existing land uses in the City reflects the low-density character of the community. As shown in *Table LU-2: Existing (On-the-Ground) Land Use*, below, Yorba Linda consists predominantly of residential and open space uses. Open space land uses are predominately located along the northern boundary of the City. Commercial corridors are focused along Imperial Highway, Yorba Linda Boulevard and Savi Ranch. The majority of industrial uses are located in the Savi Ranch area in the southeasterly portion of the City. *Exhibit LU-2: Existing Land Uses Map*, illustrates the City's existing land use pattern.

Table LU-2 2016 Existing (On-the-Ground) Land Use ¹	
Land Use	Acres
Single-Family Residential	5,692.17
Multi-Family Residential	348.31
Mobile Homes/Trailer Parks	34.68
Commercial	227.30
Office	24.37
Public/Institutional	181.51
Education	170.11
Industrial	166.67
Transportation, Communications, and Utilities	62.04
Open Space and Recreation	3,548.96
Agriculture	32.32
Water	18.33
Vacant (includes Sphere of Influence)	2,586.78
Rights-of-Way	1,718.60
TOTAL	14,812.15
¹ Estimates based upon most currently available GIS and county assessor data.	



Yorba Linda General Plan



- | | | | | | |
|--|----------------------------|--|----------------------|--|---|
| | City Boundary | | Commercial | | Transportation, Communications, and Utilities |
| | Sphere of Influence | | Office | | Open Space and Recreation |
| | Single Family Residential | | Public/Institutional | | Vacant |
| | Multi-Family Residential | | Education | | Agriculture |
| | Mobile Homes/Trailer Parks | | Industrial | | Water |



Existing Land Uses Map

Exhibit LU-2

SCAG Existing Land Use GIS data, 2015
K:\COPR_PLANS\156001 - Total Linda General Plan\WORKING FILES\Maps\WMD Maps

Related Plans and Programs

There are a number of land use documents which have been adopted, through ordinance or resolution, which bear a relationship to the General Plan. Relevant plans and documents are listed as follows:

Yorba Linda Zoning Code

The principal method by which a city implements General Plan land use policy is the zoning code. Policies and standards which describe the types of uses permitted, their density/intensity, and development



characteristics (design, property setbacks, etc.) are codified as precise requirements in the zoning ordinance. The authority to zone is inherent in the police power delegated to cities by the California Constitution. The Zoning Code consists of two basic elements: a map which delineates the boundaries of districts in which uses develop with similar standards are permitted and text which explains the purpose of the zoning district, lists the permitted uses, and defines the standards for development. In the event that the Zoning Code becomes inconsistent with the General Plan by reason of an update, annexation or amendment, the Zoning Code must be amended within a reasonable time to ensure consistency.

General Plan Environmental Impact Report (EIR)

The California Environmental Quality Act (CEQA) is a statute that requires state and local agencies to identify potential environmental impacts, and to avoid or mitigate those impacts, if feasible. Pursuant to CEQA, the City is required to prepare an Environmental Impact Report (EIR). The EIR analysis focuses on potential environmental impacts that could arise from implementation of the General Plan Update through development of land uses within the City's planning area, as regulated and guided by General Plan policies and implementation programs.

Parks and Recreation Master Plan

The updated Yorba Linda Parks and Recreation Master Plan was adopted in August 2014. The new Master Plan provides direction to continue the orderly and consistent planning, acquisition, development, and administration of the parks and recreation programming in Yorba Linda. The Master Plan guides the City's decision making with regard to overall policy and provides an inventory and assessment of recreation programs and service offerings, operations, maintenance, and capital improvements to be made over the next twenty years that will enhance the quality of life in Yorba Linda. The goals, programs, and strategies identified in the updated Parks and Recreation Master Plan are incorporated into the General Plan Update.

Specific Plans and Development Plans

State law authorizes cities to adopt specific plans and development plans for implementing their general plans in designated areas. These plans are intended to provide more finite specification of permitted uses, development standards, circulation and infrastructure improvements, and design guidelines. They are often used to ensure that multiple property owners and developers adhere to a common development plan.

Yorba Linda Town Center Specific Plan – The Yorba Linda Town Center Specific Plan is a comprehensive document that implements the vision for the Town Center Specific Plan Area as established by the Blue Ribbon Committee Findings and Recommendations. The area is bounded by Imperial Highway to the west, Yorba Linda Boulevard to the south, Lakeview Avenue to the east and Lemon Drive to the north. The heart and backbone of the study area is Main Street, which runs north and south between Imperial Highway and Lemon Drive. The Town Center Vision established a vital center to the city of Yorba Linda by offering a mix of commercial, entertainment and recreation uses to energize and unify the Town Center.

Shell Specific Plan – The Shell Specific Plan was developed to implement the Shell Property Area Plan and guide future uses through a Development Agreement between the City and the developer. The Specific Plan provided the regulatory framework for the development of infrastructure, housing, recreational, and other neighborhood supporting facilities in the Shell Property area.

Local Plans and Initiatives

The City of Yorba Linda has existing local policies that affect land use policy and decisions in the community.

Measure B - The Yorba Linda Right-to-Vote Amendment (Measure B), is a citizen-sponsored, voter-approved initiative, incorporated within the City's Municipal Code. Measure B was passed in 2006 and requires citywide election for the approval of certain "Major Amendments" to the City's "Planning Policy Documents" (as defined by Measure B) and imposed new noticing and public hearing requirements for "Regular Amendments", and established height restrictions for structures. The Yorba Linda Municipal Code identifies the following as "Planning Policy Documents" that are subject to the provisions of Measure B:

- The text of the Yorba Linda General Plan's Land Use Element,
- The Land Use Policy Map of the Yorba Linda General Plan,
- The text of the Yorba Linda Zoning Code,
- The Zoning Map of the City of Yorba Linda,
- Any Specific Plan for a geographic area within the City, or
- Any Development Agreement granting rights to develop private or public land.

The Municipal Code further defines "Major and Regular Amendments" to the identified Planning Policy Documents. A "Major Amendment" of any of the Planning Policy Documents means an amendment which results in any of the following changes to the development standards for any parcel of land affected by the proposed amendment:

- Increases the number of residential units which may be constructed on a parcel designated for residential uses.
- Increases the number of separate parcels which may be created from an existing parcel.
- Changes any residential land use to allow any other land use.
- Changes any non-residential land use to allow any residential land use greater than 10 net dwelling units per acre or allows a mix of commercial and residential uses.
- Increases the allowed maximum height of development.
- Provides for the private development of land owned by a government entity within five years of the date of the approval to develop the land.
- Repeals any of the Planning Policy Documents.

A "Regular Amendment" of any of the Planning Policy Documents includes any amendment which is not a Major Amendment.

Measure H & I - Following City Council approval of the 2008-2014 Housing Element and residential rezonings on October 4, 2011, a Measure B vote was placed on the June 5, 2012 Primary Election to approve the Savi Ranch Planned Development (Measure H) and other specific rezoning sites (Measure I) to meet the City's regional housing need per state law. Measure H and I identifies specific sites in the City. Both measures were passed by Yorba Linda voters.

Regional Plans and Initiatives

As part of Orange County and the larger southern California region, land use policy and decisions in Yorba Linda are related to other planning efforts and implementation plans that are large in scope.

SCAG RHNA - The Regional Housing Needs Assessment (RHNA) is mandated by State Housing Law as part of the periodic process of updating local housing elements of the General Plan. The RHNA quantifies the need for housing within each jurisdiction during specified planning periods. Communities use the RHNA in land use planning, prioritizing local resource allocation, and in deciding how to address identified existing and future housing needs resulting from population, employment and household growth. The RHNA does not necessarily encourage or promote growth, but rather allows communities to anticipate growth, so that collectively the region and sub-region can grow in ways that enhance quality of life, improve access to jobs, promotes transportation mobility, and addresses social equity, fair share housing needs.

SCAG RTP/SCS- The Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS) is a long-range visioning plan that balances future mobility and housing needs with economic, environmental and public health goals. The RTP/SCS embodies a collective vision for the region's future and is developed with input from local governments, county transportation commissions, tribal governments, non-profit organizations, businesses and local stakeholders within the counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura. What is at the heart of the 2016 RTP/SCS are over 2,000 transportation projects— ranging from freeway improvements, railroad grade separations, bicycle lanes, new transit hubs and replacement bridges. These future investments were included in county plans developed by the six County Transportation Commissions and seek to reduce traffic bottlenecks, improve the efficiency of the region's network and expand mobility choices for everyone.

The RTP/SCS is an important planning document for the region, allowing project sponsors to qualify for federal funding. The Southern California Association of Government's (SCAG) plan takes into account operations and maintenance costs, to ensure reliability, longevity and cost effectiveness. In addition, the RTP/SCS will be supported by a combination of transportation and land use strategies that will help the region achieve state greenhouse gas emission reduction goals and federal Clean Air Act requirements, preserve open space areas, improve public health and roadway safety, support our vital goods movement industry and utilize resources more efficiently.

AQMP- Periodically, the South Coast Air Quality Management District (SCAQMD) develop, adopts, and implements an Air Quality Management Plan (AQMP) for bringing their area of jurisdiction into compliance with the clean air standards established by national and state governmental legislation. Implementation of the AQMP requires a cooperative partnership of governmental agencies at the federal, state, regional, and local level. The AQMP sets forth a comprehensive and integrated program that will lead the South Coast basin into compliance with the federal 24-hour PM_{2.5} air quality standards, and provides an update to the basin's commitment towards meeting the federal 8-hour ozone standards.

Congestion Management Program (CMP) - A Congestion Management Program (CMP) is required in metropolitan areas with population exceeding 200,000, known as Transportation Management Areas (TMAs). Federal requirements state that in all TMAs, the CMP shall be developed and implemented as an integrated part of the metropolitan transportation planning process. The goals of the Orange County CMP are to support regional mobility and air quality objectives by reducing traffic congestion; to provide a mechanism for coordinating land use and development decisions that support the regional economy; and to determine gas tax fund eligibility. To meet these goals, the CMP contains a number of policies designed to monitor and address system performance issues.

Measure M- The Renewed Measure M (Measure M2) program provides more than \$15 billion to improve transportation in Orange County over a 30-year period beginning in spring 2011. M2 is designed to reduce traffic congestion and enhance overall mobility. Improvements in the plan include improving key freeways, upgrading major interchanges, and adding capacity and maintaining streets and roads. Other benefits include synchronization of traffic signals countywide, continuing support to grow a rail transit system, and protection of the environment from street runoff that may pollute waterways and beaches.

Description of 2016 General Plan Land Use

The City of Yorba Linda's official land use policy is illustrated in *Exhibit LU-3: 2016 General Plan Land Use Map*. The map presents the general patterns and relationship of the various land uses in the 2016 Yorba Linda General Plan. *Table LU-3: 2016 General Plan Land Use Summary*, summarizes the intensity/density standards for the new land use designations. The assumed buildout will be used as thresholds for evaluating impacts in the General Plan's Environmental Impact Report.

Land Use Designation	Density/Intensity ^{1,2}	Acres
Residential Low (R-L)	1.0 du/ac	412.14
Residential Medium-Low (R-ML)	Up to 1.8 du/ac	2,356.05
Residential Medium (R-M)	Up to 3.0 du/ac	1,956.28
Residential Medium-High (R-MH)	Up to 4.0 du/ac	1,169.01
Residential High (R-H)	4.0 – 30.0 du/ac	555.04 545.89
Commercial General (C-G)	0.25 FAR	148.65 157.80
Commercial Neighborhood (C-N)	0.25 FAR	36.48
Commercial Office (C-O)	0.35 FAR	23.54
Industrial Manufacturing (I-M)	0.40 FAR	274.92
Open Space (O-S)	N/A	2,876.65
Area Plan	Plan Specific	1,598.81
Rights-of-Way	N/A	1,718.60
Sphere of Influence	N/A	1685.98
TOTAL		14,812.15

Notes:

¹ Floor Area Ratio (FAR) calculates non-residential land use by dividing gross floor area by the total area of the lot.

² Dwelling units per acre (du/acre) is the number of residential units allowed per acre.

³ Estimates based upon most currently available GIS and county assessor data.

⁴ Includes Cielo/Esperanza (Murdock Property), which is outside City limits, but within the Sphere of Influence (SOI). For this area, maximum dwelling unit potential is calculated at a target density of 1.0 du/ac.

The Bryant Ranch Shopping Center site will be subject to the Residential High (R-H) designation if approved by citizens' initiative.

The 2016 General Plan does not confer any rights to any parcels greater than those that were provided in the 1993 General Plan, as subsequently amended by the City Council or by a vote of the people of the City of Yorba Linda.

General Plan Buildout

An acreage calculation of the land use policy is presented in *Table LU-4: 2016 General Plan Buildout Analysis*. The acreages of various land uses on the General Plan Land Use Map are presented, along with a number of dwelling units and the amount of non-residential square footage. The values in *Table LU-4: 2016 General Plan Buildout Analysis*, include growth anticipated with the 2016 General Plan and presents assumed buildout of the land use policies. The majority of growth in the City is anticipated to occur in designated Focus Areas as summarized in *Table LU-5: 2016 Buildout in Focus Areas*. As further discussed in this chapter, “Focus Areas” are selected areas in Yorba Linda for customized policy treatment not generally applicable elsewhere in the City. “Focus Areas” differ from the “Area Plan” designations in that Focus Areas provide broad planning objectives to guide future development of larger, identified regions in the City and City’s sphere of influence, whereas Area Plans provide specialized policy direction for smaller, particularized area in the City and City’s sphere of influence. Consequently, some of the Focus Areas identified in the Land Use Element encompass parcels that are part of the smaller, designated Area Plans. Policies, development types, and intensity of development identified for parcels designated as “Area Plan” supersedes policy objectives identified for the larger Focus Area. The development potential in the Focus Areas and Area Plans represents a portion of the total buildout potential summarized in *Table LU-4: 2016 General Plan Buildout Analysis*. The following assumed buildout was used in the environmental analysis of this General Plan.

Table LU-4 2016 General Plan Buildout Analysis ¹							
Land Use Designation	Density/ Intensity	Total Acres	Vacant Acres	Existing Dwelling Units	Existing Non-Residential Square Feet	Residential Development Potential (DU)	Non-Residential Development Potential (SF)
Residential Low (RL)	1.0 du/ac	412.14	31.18	530	-	31	-
Residential Medium-Low (R-ML)	Up to 1.8 du/ac	2,356.05	112.02	4,031	-	201	-
Residential Medium (R-M)	Up to 3.0 du/ac	1,956.28	56.16	6,176	-	168	-
Residential Medium-High (R-MH)	Up to 4.0 du/ac	1,169.01	8.66	5,791	-	34	-
Residential High (R-H)	4.0 – 30.0 du/ac	<u>555.04</u> 545.89	78.68	3,627	<u>89,702</u>	<u>2,689</u> 2,365	-
Commercial General (C-G)	0.25 FAR	<u>148.65</u> 157.80	14.45	61	926,985 <u>1,016,687</u>	-	72,244
Commercial Neighborhood (C-N)	0.25 FAR	36.48	-	1	397,682	-	-
Commercial Office (C-O)	0.35 FAR	23.54	0.94	2	234,668	-	-
Industrial Manufacturing (I-M)	0.40 FAR	274.92	136.59	-	1,529,271	441	1,807,891
Open Space (O-S)	N/A	2,876.65	-	27	19,638	-	-
Area Plan (Includes Murdock Property)	Plan Specific	1,598.81	1,210.93	1,709	617,179	583	125,635
Rights-of-Way	N/A	1,718.60	-	-	-	-	-
Sphere of Influence		1,685.98	938.17	3	30,200	-	-
TOTAL		14,812.15	2,586.78	21,958	3,845,325	3,823	2,005,770
¹ Estimates based upon most currently available GIS and county assessor data.							

¹Estimates based upon most currently available GIS and county assessor data.

Table LU-5 2016 Buildout in Focus Areas ¹							
Focus Area	Land Use Designations	Total Acres	Vacant Acres	Existing Dwelling Units	Existing Non-Residential Square Feet	Residential Development Potential (DU)	Non-Residential Development Potential (SF)
Focus Areas							
Cielo/Esperanza ²	Sphere of Influence	1,002.48	-	-	-	536	-
	Murdock Area Plan	552.90					
	Non-Murdock Area Plan Parcels within Sphere of Influence ³	449.58					
Civic Core	Residential Medium-Low (R-ML)	6.78	-	11	-	-	-
	Residential Medium (R-M)	7.08	-	25	-	-	-
	Residential Medium-High (R-MH)	6.05	-	-	-	-	-
	Residential High (R-H)	14.72	-	177	-	-	-
	Commercial General (C-G)	24.01	-	-	244,064	-	-
	Commercial Office (C-O)	1.94	-	-	16,338	-	-
	Open Space (O-S)	1.01	-	-	-	-	-
	Area Plan	50.70	-	-	4,147	-	-
Community Core	Residential Medium-Low (R-ML)	0.02	-	-	-	-	-

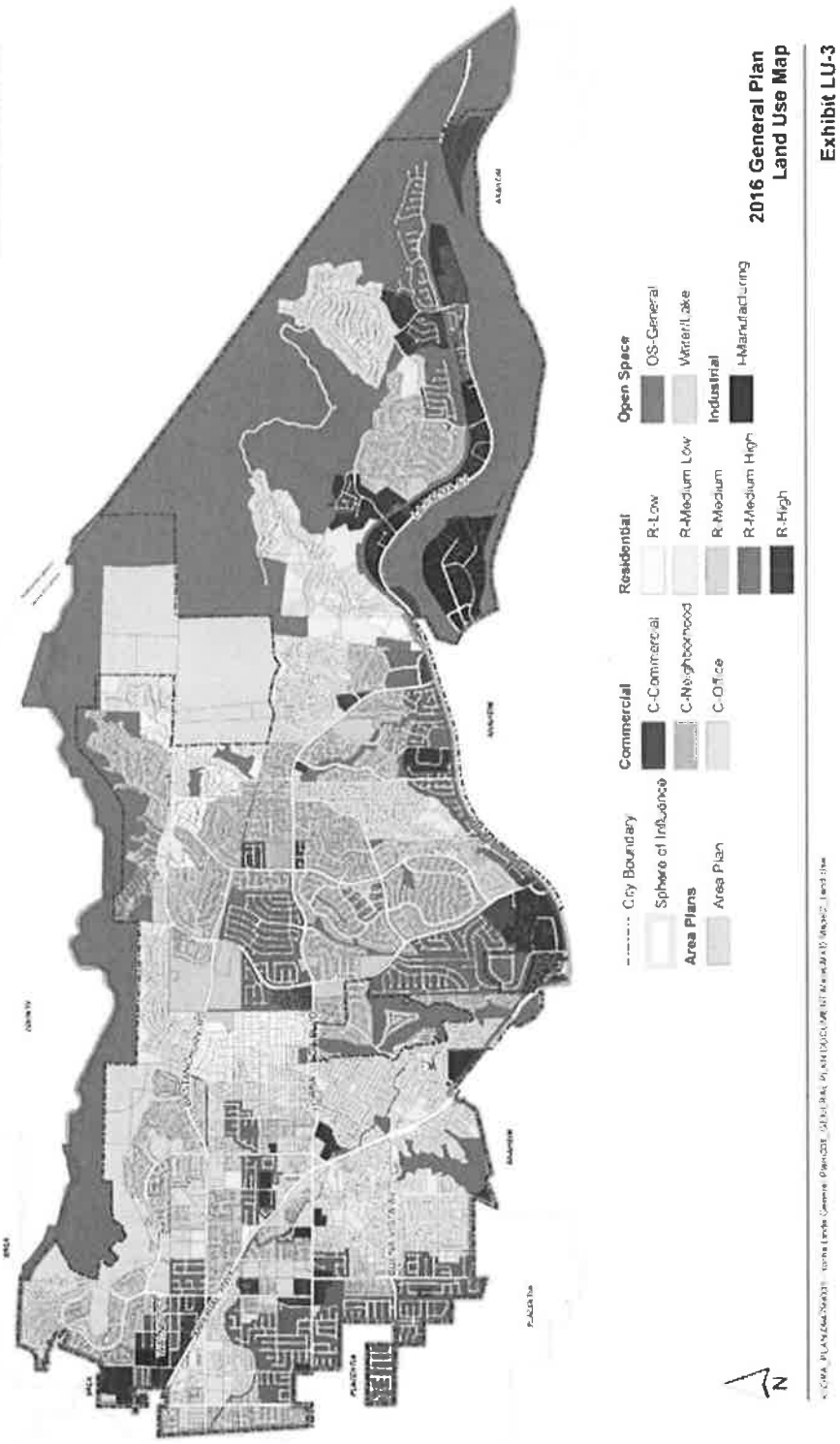
Table LU-5 2016 Buildout in Focus Areas ¹							
Focus Area	Land Use Designations	Total Acres	Vacant Acres	Existing Dwelling Units	Existing Non-Residential Square Feet	Residential Development Potential (DU)	Non-Residential Development Potential (SF)
	Residential Medium (R-M)	2.35	2.35	-	2,909	7	-
	Residential Medium-High (R-MH)	13.33	-	60	-	-	-
	Residential High (R-H)	28.99	-	398	-	-	-
	Commercial General (C-G)	0.16	-	-	3,472	-	-
	Commercial Office (C-O)	1.09	-	-	4,218	-	-
	Open Space (O-S)	1.84	-	1	-	-	-
	Area Plan	100.19	10.74	129	541,549	47	125,635
Eastern Gateway	Residential High (R-H)	34.93 25.78	-	1	89,702	324	-
	Commercial General (C-G)	2.59 41.74	-	-	37,812	-	-
	Commercial Neighborhood (C-N)	9.99	-	-	121,100	-	-
	Industrial Manufacturing (I-M)	230.51	5.95	-	1,107,291	441	1,807,891
	Open Space (O-S)	283.13	-	-	-	-	-
Fairlynn	Unincorporated	13.53	13.53	-	22,330	-	-

Table LU-5 2016 Buildout in Focus Areas ¹							
Focus Area	Land Use Designations	Total Acres	Vacant Acres	Existing Dwelling Units	Existing Non-Residential Square Feet	Residential Development Potential (DU)	Non-Residential Development Potential (SF)
Western Gateway	Residential Medium-Low (R-ML)	23.0	-	40	-	7	-
	Residential Medium-High (R-MH)	0.13	0.07	2	-	-	-
	Commercial General (C-G)	40.09	6.71	8	291,679	-	72,244
	Industrial Manufacturing (I-M)	17.03	-	-	421,980	-	-
Yorba Linda Country Club	Unincorporated	200.44	-	3	7,870	-	-
TOTAL		2,215.90	39.35	855	2,826,809	1,128	2,005,770
¹ Estimates based upon most currently available GIS and county assessor data							
² Total acreage of Cielo/Esperanza Focus Area includes both the Murdock Property, we well as parcels surrounding the Murdock Area Plan that are within the County of Orange jurisdiction. The Murdock Area Plan and other surrounding parcels outside of the Murdock Property area are within the City of Yorba Linda's Sphere of Influence (SOI).							
³ Total acreage and buildout potential of the Sphere of Influence area outside of the Murdock Property is assumed for planning purposes only. Site considerations, including portions within the Chino Hills State Park, topography, access and environmental issues may reduce or eliminate development potential within this area.							

¹Estimates based upon most currently available GIS and county assessor data

²Total acreage of Cielo/Esperanza Focus Area includes both the Murdock Property, we well as parcels surrounding the Murdock Area Plan that are within the County of Orange jurisdiction. The Murdock Area Plan and other surrounding parcels outside of the Murdock Property area are within the City of Yorba Linda's Sphere of Influence (SOI).

³Total acreage and buildout potential of the Sphere of Influence area outside of the Murdock Property is assumed for planning purposes only. Site considerations, including portions within the Chino Hills State Park, topography, access and environmental issues may reduce or eliminate development potential within this area.



The Bryant Ranch Shopping Center site will be subject to the Residential High (R-H) designation if approved by citizens' initiative.

2016 General Plan Land Use Designations

State General Plan law requires the Land Use Element to establish standards for development density and intensity for land use designations described in the General Plan Land Use Map. Land Use designations describe the purpose and the type and intensity of development allowed in a given area. While terms like “residential,” “commercial,” or “industrial” are generally understood, State General Plan law requires a clear and concise description of the land use categories that are depicted in the Land Use Plan.



Residential land uses are described in terms of density of dwelling units per an acre (du/ac). A dwelling unit is a structure or part of a structure that is used as a residence by a single household. The acreage is the gross acreage of all the land within a given boundary. The density allowed is defined by the number of individual dwelling units that are permitted per a gross acre.

Intensity of development for non-residential land uses, such as commercial and industrial uses, is determined using floor area ration (FAR). FAR is the total gross floor area of all buildings on a lot divided by the total area of the lot. The maximum allowable FAR is represented as a number, such as 1.0, that is multiplied by the total lot area to determine the total built area permitted on that site.

The Land Use Element and General Plan Land Use Map contain the following land use designations:

Residential Land Uses

Residential - Low (1.0 du/ac) - The Low Density Residential category has been designated for the steep terrain along the northerly boundary of Yorba Linda as well as the historical “agricultural” areas that are centrally located within the planning area. Approximately 10 percent of the land allocated to residential uses in the planning area falls within this designation. The average density of this designation is 1.0 dwelling unit per acre. However, clustering may occur at greater intensities to compensate for topographical constraints. Excessive grading to the natural hillside landform is discouraged. This is a definitive determinant in establishment of specific density allotments within the designation.

Residential - Medium Low (1.8 du/ac) - The Medium-Low Density Residential category is intended for spacious single-family environments at an average density of 1.8 dwelling units per acre. Approximately one-third of the designated residential land in the Yorba Linda planning

area is allocated to this land use designation. This significantly contributes to the low density character of the City. Lot sizes per acre typically range from one-half to one-third of an acre per dwelling unit. The Medium-Low Density designation has been allocated to focus lower density development in the neighborhoods located in the northern and eastern portions of the City, as well as in some instances to respond to terrain with topographical constraints. This designation easily accommodates equestrian activities and properties permitting the keeping of horses.

Residential - Medium (3.0 du/ac) - The Medium Density Residential category accounts for approximately 28 percent of the designated residential land in the planning area. The Medium Density designation accommodates an average density of 3.0 dwelling units per acre, allowing typical single-family detached residential subdivisions, or more innovative clustered development of units in conjunction with provision of community recreational facilities and preservation of common open space area. This provides a degree of flexibility in the execution of this land use designation, which is prevalent in the central and eastern portions of the City.

Residential - Medium High (4.0 du/ac) - The Medium High Density Residential designation represents approximately 20 percent of the designated residential land in the planning area. Many of the older portions of the City on the west side, as well as newer development in the central and eastern portions of the City located in close proximity to the major Esperanza Road and La Palma Avenue east-west arterial, are designated for Medium High Density Residential development. This designation permits an average density of 4.0 dwelling units per acre, with minimum lot size of 7,500 square feet. This designation reflects development conditions which include acreage of limited size for residential development, proximity to arterial roadways and non-residential development, and property with locational restrictions which precludes development of high density development.

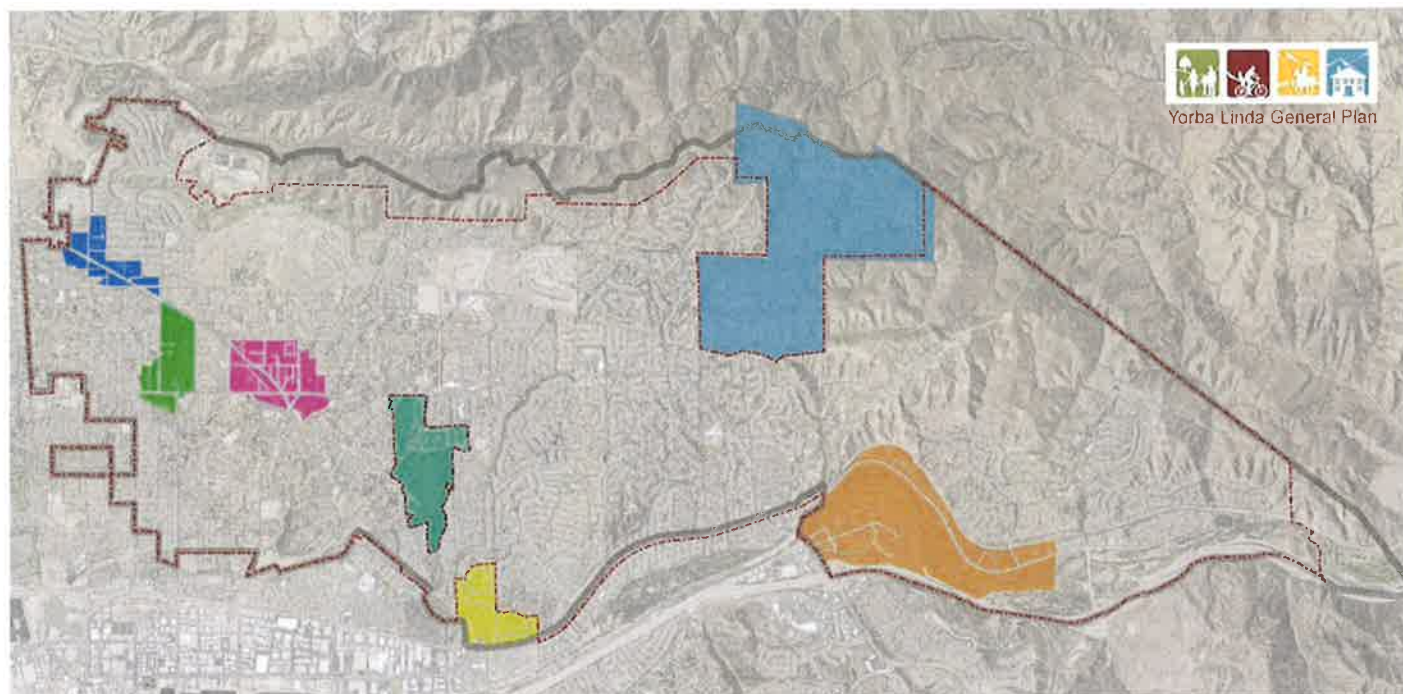
Residential - High (4 - 30 du/ac) - High Density Residential areas permit a variety of dwelling types ranging from single-family detached homes to attached products and apartments, as well as mixed uses on sites zoned MU-30. The High Density Residential designation permits a density range of 4.0 to 30.0 dwelling units per acre. The appropriate housing type is predicated based on the site, location, and adjacent land uses. Clustering of buildings allows for the provision of appropriate private recreational and open space amenities. High density designations have been advantageously located throughout the planning area for proximity to retail, commercial, and employment opportunities, as well as providing a rational land use transition between lower density residential areas and non-residential land uses. A number of high density residential development are established in the eastern portion of Yorba Linda, reflecting less traditional site planning techniques such as zero lot line, patio homes, and condominium ownership attached products. The High Density Residential designation also includes sites identified under the City's Measure H and Measure I to meet the requirements of Housing Element law.

* * *

[illegible]

Exhibit LU-3

The Bryant Ranch Shopping Center site will be subject to the Residential High (R-H) designation if approved by citizens' initiative.



Focus Areas

	Cielo/Esperanza		Civic Core		Fairlynn
	City Boundary		Community Core		West Gateway
	Sphere of Influence		East Gateway		Yorba Linda Country Club

Focus Areas Map

Exhibit LU-4

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* * *

- *Focus Area G: East Gateway*

The East Gateway Focus Area is located on the eastern side of the City in parcels along the Santa Ana River and La Palma Avenue. Existing uses include industrial, commercial, residential, and open space areas. The area contains Savi Ranch, an approximately 158-acre planned development that generates over 60 percent of the City's sales tax revenues.



The East Gateway Focus Area is envisioned as Yorba Linda's primary eastern gateway characterized by a mix of commercial, residential, and open space areas. Savi Ranch will play an important role as a premier attraction in Yorba Linda and a sought after destination experience throughout Orange County. Future objectives and priorities include improvements to circulation and access to the area; cohesive streetscape design and wayfinding signage; and incorporation of new land use types.

Planning Objectives

- Promote a unified character through unique streetscape design and wayfinding.
- Improve mobility and connectivity through multi-modal transportation opportunities and street improvements.
- Explore additional access points to activity centers.
- Provide a mix of amenities such as community gathering spaces and contemporary retail and commercial uses.
- Support the Savi Ranch Land Use and Mobility plan.

* * *

Section 5. Amendments to the General Plan Housing Element.

The General Plan Housing Element is hereby amended as follows (new language to be inserted is shown in underlined text; language to be deleted is shown in ~~strike out text~~; text in regular, *italic* or **bold** type reflects existing text and is provided for informational/reference purposes; and ellipses (* * *) indicate omissions of text to which no changes are made):

City of

YORBA LINDA



2021-2029 Housing Element

Adopted February 9, 2022 (With minor technical corrections made on April 1, 2022)

I.

INTRODUCTION

A. ROLE AND ORGANIZATION OF THE HOUSING ELEMENT

State law recognizes the vital role local governments play in the availability, adequacy and affordability of housing. Every jurisdiction in California is required to adopt a long-range General Plan to guide its physical development; the Housing Element is one of the seven mandated elements of the General Plan. Housing Element law mandates that local governments adequately plan to meet the existing and projected housing needs of all economic segments of the community. The law recognizes that in order for the private market to adequately address housing needs and demand, local governments must adopt land use plans and regulatory systems that provide opportunities for, and do not unduly constrain housing production. Housing element statutes also require the State Department of Housing and Community Development (HCD) to review local housing elements for compliance with State law and to report their findings to the local government.

California's Housing Element law requires that each city and county develop local housing programs to meet its "fair share" of existing and future housing needs for all income groups. The Southern California Association of Governments (SCAG) is responsible for developing and assigning these regional needs, or "RHNA", to southern California jurisdictions. Pursuant to the RHNA planning period, the Yorba Linda Housing Element is an eight-year plan extending from 2021-2029.

Yorba Linda's Housing Element identifies strategies and programs that focus on:

- 1) Preserving and improving housing and neighborhoods;
- 2) Providing adequate housing sites;
- 3) Assisting in the provision of affordable housing;
- 4) Removing governmental and other constraints to housing investment; and
- 5) Promoting fair and equal housing opportunities.

The City's 2021-2029 Housing Element consists of the following major components:

- An analysis of the City's demographic, household and housing characteristics and related housing needs (Section II);
- A review of potential market, governmental, and infrastructure constraints to meeting Yorba Linda's identified housing needs (Section III);
- An evaluation of residential sites, financial and administrative resources for housing, and resources for energy conservation (Section IV);
- The Housing Plan for addressing the City's identified housing needs, constraints and resources; including housing goals, policies and program (Section V);
- Appendices documenting the residential sites inventory and public participation process.

D. RELATIONSHIP TO OTHER GENERAL PLAN ELEMENTS

Yorba Linda's 5th cycle 2014-2021 Housing Element was coordinated with a comprehensive update of the City's General Plan, which revisited the community's priorities and vision for the future, looking out over a 20-year horizon. The updated Yorba Linda General Plan is comprised of the following elements:

- Land Use
- Housing
- Circulation and Mobility
- Open Space and Parks and Recreation
- Conservation
- Safety
- Noise
- Economic Development
- Community Design
- Historic Resources

The current 6th cycle 2021-2029 Housing Element update maintains this internal General Plan consistency. Whenever any element of the General Plan is amended in the future, the Housing Element will be reviewed and modified, if necessary, to ensure continued consistency among General Plan elements.

* * *

III. HOUSING CONSTRAINTS

This section assesses the various governmental, market, infrastructure and environmental factors that may serve as a potential constraint to housing development in Yorba Linda.

A. GOVERNMENTAL CONSTRAINTS

As a means of providing information and transparency to the public, all zoning and development standards and development fees are posted on the City's website.

1. Land Use Controls

The Yorba Linda General Plan was adopted on November 1, 2016 by the Yorba Linda City Council. The Plan's Land Use Element provides for the following residential land use designations:

Residential – Low (1.0 du/ac) – Designated for the steep terrain along the northerly boundary of Yorba Linda as well as the historical "agricultural" areas that are centrally located within the planning area. Average density is 1 unit per acre, with clustering permitted at greater intensities to compensate for topographical constraints.

Residential - Medium Low (1.8 du/ac) – Intended for spacious single-family homes. Lot sizes typically range from one-third to half an acre per dwelling unit. This category has been allocated in some cases to respond to terrain with topographical constraints. Maximum density is 1.8 dwelling units per acre.

Residential - Medium (3.0 du/ac) – Designated for single-family detached residential subdivisions, or more innovative subdivision planning allowing clustered development in conjunction with provision of recreational facilities and preservation of open spaces. Average density is 3.0 dwelling units per acre.

Residential - Medium High (4.0 du/ac) – This category reflects conditions which include acreage of limited size for development and property with locational restrictions. Maximum density is 4.0 dwelling units per acre, with a minimum lot size of 7,500 square feet.

Residential - High (4 – 30 du/ac) – Permits a variety of housing ranging from single-family detached homes to attached products and apartments, as well as mixed uses on sites zoned MU-30. The appropriate housing type is predicated based on the site, location, and adjacent land uses. Clustering of buildings allows for the provision of appropriate private recreational and open space amenities. High density designations have been advantageously located throughout the planning area for proximity to retail, commercial, and employment opportunities, as well as providing a rational land use transition between lower density residential areas and non- residential land uses.

Table III-1 illustrates Yorba Linda's residential General Plan Designations, corresponding Zoning and acreage per land use category (as of 2016).

Table III-1: Residential General Plan and Zoning Designations

Land Use Designation	Density	Corresponding Zoning Districts	Acres
Residential – Low (R-L)	1.0 du/acre	R-A, RLD	412.14
Residential – Medium Low (R-ML)	1.8 du/acre	R-E	2,356.05
Residential – Medium (R-M)	3.0 du/acre	R-S	1,956.28
Residential – Medium High (R-MH)	4.0 du/acre	R-U	1,169.01
Residential – High (R-H)	4 – 30 du/acre	R-M, R-M-20, R-M-30, MU-30	545.89

Source: 2016 Yorba Linda General Plan, City of Yorba Linda Zoning Code, 2020.

Table III-2 summarizes Yorba Linda's residential development standards. The development standards for the R-M, R-M-20 and R-M-30 multi-family zone districts were established during Yorba Linda's 4th cycle Housing Element in conjunction with an urban design professional to ensure their cumulative impact did not constrain the ability to achieve maximum zoned densities. The design consultant prepared residential site plans utilizing sets of development standards which achieved the maximum 10, 20 and 30 units/acre of the City's multi-family zone districts. Projects built under the 10 and 20 unit/acre standards provided further evidence that maximum densities could be achieved. The Meta Housing apartment project developed under the City's prior AH (Affordable Housing) combining zone which became the SH zone with standards allowing a density of 20 units per acre. The Presidential Walk project built as a single-family detached product under the R-M standards has a density of 9 units per acre. For the 30 unit per acre concept plan, the urban design consultant selected one of the proposed housing sites in Savi Ranch, and refined the initial RM-30 standards as necessary to achieve the desired density. The results of this "density testing" served as the basis for development of the City's new multi-family development standards, presented in Table III-2. Additional site testing of the City's existing R-M standards resulted in an increase in lot coverage (from 35% to 45%) and a decrease in the minimum parcel size (from 2 acres to 7,500 square feet) in the R-M zone. As a means of encouraging consolidation of smaller parcels into larger development sites, the R-M-20 and R-M-30 zones require a one-acre minimum lot size. This lot size minimum has not served as a constraint to development, as evidenced by the successful development

of all seven R-M-20 and R-M-30 sites identified in the 5th cycle Housing Element. The City will allow an applicant to propose a smaller lot size on Housing Element Sites to be considered through the Design Review process.

The City's multi-family parking standards had previously required two covered spaces plus one covered or uncovered space per studio to two-bedroom unit, with units with three or more bedrooms requiring two covered spaces plus one and one-half covered or uncovered spaces. By not reducing parking requirements for smaller units, these parking standards can effectively serve as a disincentive for the development of smaller, lower cost units. In creating development standards for the new R-M-20 and R-M-30 zone districts, the City lowered its parking requirements based on the size of the unit, as shown in Table III-2. In addition, as described below, developments within the Affordable Housing Overlay (as well as the Congregational Land Overlay and Mixed Use Overlay) providing the required 20 percent lower income units are eligible for further parking reductions under state density bonus law.

The new Affordable Housing Overlay (AHO) being developed by the City will provide modified development standards in exchange for the provision of 20% affordable units in developments (refer to Housing Element Program #9). While the AHO is in the process of being developed, it is proposed to include the following standards:

- Increased densities (to 35 units/acre, with additional density under State density bonus law)
- Increased height limits (3 stories, with 4 stories permitted on PD zoned sites with an AHO)
- Increased floor area ratios
- Reduced project-specific open space standards
- Ministerial review
- Potential for reduced lot sizes (subject to Design Review)

The MU-30 district also benefits from state law, including Government Code section 65583.2(h) and (i).

As an additional incentive, developers can access state density bonus law in addition to using the densities allowed in the Overlay, including the state's alternative parking standards of 1 space for 0-1 bedroom units, 2 spaces for 2-3 bedroom units, and 2.5 spaces for four or more bedrooms. In order to encourage lot consolidation for sites with multiple parcels, the City will structure the Overlay with tiered incentives for larger lot sizes.

The City has Multi-Family Design Guidelines to provide upfront direction to the development community regarding the desired quality and character of multi-family development. Yorba Linda has established a review process, development standards and design guidelines which facilitate, and do not serve to constrain, quality multi-family housing.

Table III-2: Residential Development Standards

	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	<u>MU-30</u>
Max. Density (du/ac)	1.0	1.0	1.8	3.0	4.0	10.0	20.0	30.0	<u>30.0</u>
Min. Parcel Size (sq.ft.)	1 acre	39,000	15,000	10,000	7,500	7,500	1 acre		<u>1 acre</u>

Min. Lot Width (ft.)	130	110	100	80	75	100 (corner); 125 (interior)	135 (corner); 165 (interior)		135 ft. (corner); 165 ft. (interior)
Min Setbacks (ft.)									
Front	40	35	30	25	20	20	20	20	<u>20</u>
Side	10% lot width; min 10 ft			10	Min 5 ft each side; min total of 20 ft				=
Street Side	10% lot width; min 10 ft			10	10	10	10	10	<u>10</u>
Rear	45	40	25	25	25	20	20	20	<u>20</u>
Max. Height (ft.)	35 ft, or 2 stories, whichever is less						35' or 2 stories + ½ story for undgrd parking	50' or 4 stories + ½ story for undgrd parking	<u>60' or 4 stories, whichever is less</u>
Min. Unit Size (sq. ft.)	1,500				1,300	Studio 750; 1 bd 900; 2 bd 1,000; 3 bd 1,200	Studio 550; 1 bd 675; 2 bd 700; 3 bd 900		<u>Studio = 550 sf 1 bd = 675 sf 2 bd = 700 sf 3 bd = 900 sf</u>
Max. % Lot Coverage	35%				40%	45%	65%	70%	<u>70%</u>
Minimum % Landscaped Open Area	N/A					50% of building site area			<u>N/A</u>
Private Open Space	N/A					50 sq.ft. per unit. 100 sq.ft. for ground floor units.			<u>N/A</u>
Parking Standards									
Single Family	2 covered spaces per dwelling unit + 1 covered or uncovered guest space								
Multi-family: R-M	Studio – 2 bd = 2 covered + 1 covered or uncovered, 3+ bd = 2 covered + 1.5 covered or uncovered								
Multi-family: R-M-20, R-M-30, & MU-30	Studio = 1 covered, 1 bd = 1 covered + 0.8 uncovered, 2+ bd = 1 covered + 1 uncovered Guest parking: Studio = .75 per unit, 1 and 2 bd = 0.5 per unit, 3+ bd = 1.5 per unit								
Senior Housing	As required by conditional use permit.								

Source: City of Yorba Linda Zoning Code, 2020.

* * *

2. Provision for a Variety of Housing Types

Housing Element law specifies that jurisdictions must identify adequate sites to be made available through appropriate zoning and development standards to encourage the development of various types of housing for all economic segments of the population. Table III-5 summarizes the housing types permitted in each of the Yorba Linda's residential zoning districts.

Table III-5: Housing Types by Residential Zone Category

Housing Type	Zoning District								<u>MU-30</u>
	R-A	RLD	R-E	R-S	R-U	R-M	R-M-20	R-M-30	
Single-Family	P	P	P	P	P	P			
Multiple-Family						D	D	D	<u>P</u>
Condominium					C	D	D	D	<u>P</u>
Accessory Dwelling Units	P	P	P	P	P	P	P	P	<u>P</u>
Single Room Occupancy Housing Facility (SRO)						C	C	C	<u>C</u>
Manufactured Housing	D	D	D	D	D	D			
Community Care Facilities (6 or fewer)	P	P	P	P	P	P	P	P	<u>P</u>
Community Care Facilities (7 or more)	C	C	C	C	C	C	C	C	<u>C</u>
Transitional Housing ¹	P	P	P	P	P	P	P	P	<u>P</u>
Supportive Housing ¹	P	P	P	P	P	P	P	P	<u>P</u>
Emergency Shelters	Up to 30 occupants – P (M-1 zone) Greater than 30 occupants – C (M-1 zone)								

Source: City of Yorba Linda Zoning Code Table 18.10-1.

P = Permitted Use C = Conditional Use D = Design Review

¹Transitional and supportive housing are permitted in residential zoning districts subject to the same standards as similar residential uses. Thus, if transitional or supportive housing is configured as a multi-family structure it would be regulated as such, whereas if it is configured as a single-family structure, it would be subject to single-family regulations.

* * *

IV. HOUSING RESOURCES

This section presents the various resources available for the development, rehabilitation, and preservation of housing in Yorba Linda. This includes the availability of land resources, financial resources available to support housing in the community; administrative resources available to assist in implementing Yorba Linda's housing programs; and resources for energy conservation and reducing greenhouse gas emissions.

A. AVAILABILITY OF SITES FOR HOUSING

This section documents the availability of sites for future development and the adequacy of these sites to address Yorba Linda's regional housing needs for the 2021-2029 planning period. The City plans to fulfill its share of regional housing needs using a combination of the methods below, which are further described in the following narrative:

- Residential projects with development entitlements with occupancy post 6/30/2021
- Sites with zoning in place (Town Center Specific Plan and RM-30 zoned sites)

- Provision of accessory dwelling units
- Rezoning of multi-family opportunity sites and designation of select sites with an Affordable Housing Overlay
- Designation of a key shopping center site and vacant commercial parcel with a Mixed- Use Housing Overlay
- Designation of congregational sites with a Congregational Land Overlay

* * *

4. Sites for Rezoning

Government Code section 65583.2(h) requires sites that are identified for rezoning to accommodate a lower income RHNA shortfall fulfill the following requirements:

- Permit owner-occupied and rental multifamily uses by right for developments in which 20 percent or more of the units are affordable to lower income households.
- Permit the development of at least 16 units per site.
- Ensure sites permit a minimum of 20 dwelling units per acre.
- Ensure a) at least 50% of the shortfall of low- and very low-income regional housing need can be accommodated on sites designated for exclusively residential uses, or b) if accommodating more than 50% of the low- and very low-income regional housing need on sites designated for mixed-uses, all sites designated for mixed-uses must allow 100% residential use and require residential use to occupy at least 50 percent of the floor area in a mixed-use project.

A rezone program has been included in the Housing Element (Program #8) to fulfill the above requirements. As presented in Table IV-2, the City has identified a total of 27 Opportunity Sites for rezoning to accommodate the RHNA growth for Yorba Linda. More than half of Yorba Linda's shortfall in its lower income RHNA will be accommodated on sites designated for exclusively residential use, therefore the City will not be subject to requirements to allow 100 percent residential on mixed use sites.

A more detailed table and photo exhibits of the Opportunity Sites identified for rezoning is presented in Appendix C to the Element. As a means of documenting how these sites can realistically be assembled and developed during the planning period, a narrative description of factors supporting development has been prepared for each of the sites. This analysis further details existing conditions, including the presence of economically marginal uses, underutilized parking lots, common ownership of adjacent parcels, and City owned parcels, as well as where there has been recent property owner interest in upzoning and development on the sites.

Table IV- 2: Housing Element Rezone Sites

Site ID	Site Description and Address	Acres	Current Zoning	Proposed Zoning Action	Total Net Unit Potential	Realistic Unit Potential
Affordable Housing Overlay (AHO) Sites – up to 35 units/acre						
S1-200	SEC Rose Dr/Blake Rd	5.94	RE	RM-20 with AHO	208	178
S3-207	5300-5392 Richfield Rd	9.7	RU	RM-20 with AHO	340	291
S3-074	Yorba Linda Preschool 18132 Yorba Linda Blvd	0.42	CG	RM-20 with AHO	15	13
S3-082	4791 and 4811 Eureka Ave	1.75	CG	RM-20 with AHO	61	53
S4-075	4742 Plumosa Drive	1.62	CG	RM-20 with AHO	57	48
S6-015	Prior John Force Racing 22722 Old Canal Road	2.56	PD	PD with AHO	89	77

Table IV- 2: Housing Element Rezone Sites (cont'd)

S6-020	Extended Stay America 22711 Oak Crest Circle	0.35	PD	PD with AHO	143	122
Realistic Unit Potential on AHO Sites:						782
Congregational Land Overlay (CLO) Sites – up to 35 units/acre						
S2-008	Friendship Baptist Church 17151 Bastanchury Rd	4.92 (2.01 developable)	RE	RE with CLO	60	60
S3-012	Richfield Community Church 5320 Richfield Rd	9.48 (3.7 developable)	RU	RU with CLO	55	55
S2-013	Messiah Lutheran Church 4861 Liverpool St	6.2 (2.03 developable)	RU	RU with CLO	40	40
S3-024	Friends Church Overflow Parking	17.45 (1.61 developable)	RE	RE with CLO	48	48
S4-204A	Chabad Center 19045 Yorba Linda Blvd	1.85 (0.93 developable)	RE	RE with CLO	17	17
S3-033	Islamic Center of Yorba Linda 4382 Eureka Ave	3.88 (1.58 developable)	RS	RS with CLO	30	30
S3-210	Shinnyo-En USA 18021- 18111 Bastanchury Rd	9.23 (4.09 developable)	PD-26	PD-26 with CLO	105	105
Realistic Unit Potential on CLO Sites:						355
Mixed Use Overlay (MUO) Sites – up to 35 units/acre						
S1-021	Vacant Parcel (W of 16951 Imperial Hwy) APN 322-121-07	1.76	CG-(I)	CG-(I) with MUO	62	53
Realistic Unit Potential on MUO Sites:						53
MU-30 – up to 30 units/acre						
S7-001	Bryant Ranch Shopping Center 23611-23801 La Palma Ave	9.15	CG	CG-with- MUO MU-30 ¹	320	272
Realistic Unit Potential on MU-30 Sites:						272
RM-20 – up to 20 units/acre						

¹The Bryant Ranch Shopping Center site will be subject to the MU-30 zoning if approved by citizens' initiative.

S4-200	18597-18602 Altrudy Lane	2.0	RS	RM-20	40	40
S4-204B	19081-19111 Yorba Linda Blvd	3.90	RE	RM-20	78	66
Realistic Unit Potential on RM-20 Sites:						106

Site ID	Site Description and Address	Acres	Current Zoning	Proposed Zoning Action	Total Net Unit Potential	Realistic Unit Potential
RM – up to 10 units/acre						
S3-034	4341 Eureka Avenue	2.19	RS	RM	22	19
S3-205A	5225-5227 Highland Ave	7.08	RE	RM	71	60
S3-211	17651 Imperial Highway	2.32	RS	RM	23	20
S4-053	SWC Kellogg Dr/ Grandview Ave	0.98	RE	RM	10	9
S4-060	5541 South Ohio St	0.96	RE	RM	10	9
S4-201	5531 South Ohio St	1.82	RE	RM	18	15
S5-008	Fairmont Blvd	23.01	PD	RM	230	196
S7-005	NWC Camino de Bryant/ Meadowland	3.06	RU	RM	30	10
Realistic Unit Potential on RM Sites:						338
PD						
S3-203	18101-19251 Bastanchury	22.83	PD	PD	228	194
Realistic Unit Potential on PD Sites:						194
Realistic Potential on all Opportunity Sites:						2,100

A key tenet of Yorba Linda's approach to providing sites to address its lower income housing needs will be through the creation of several new Housing Overlay zones: an Affordable Housing Overlay, a Mixed-Use Housing Overlay, and a Congregational Land Overlay. The contracted with an urban design consultant to conduct site visits and create site development concepts as a foundation for establishing recommended development standards for each of the overlay zones such as height limits, parking requirements, setbacks and transitional height requirements. While this detailed work is currently in process, the following summarizes the basic parameters of each of the overlay zones.

Affordable Housing Overlay: As part of the Housing Element sites inventory, the City has identified six sites for rezoning to RM-20, and one to maintain its PD zoning, and designation with an Affordable Housing Overlay (AHO). The overlay would layer on top of the base zoning regulations, leaving in place the option to develop under the base zoning, but providing the opportunity to develop to a greater intensity, and in the case of the commercial and industrial sites, the opportunity to develop with a higher value residential use, without a General Plan amendment or zone change.

The AHO would provide the following incentives in exchange for providing 20% affordable units (10% very low and 10% low income) on these sites:

- Ministerial reviewIncreased densities
- Increased height limits
- Increased floor area ratios
- Reduced project-specific open space standards

As an additional incentive, developers can access state density bonus law, including by right alternative parking standards, in addition to using the densities allowed in the Overlay. In order to encourage lot consolidation for sites with multiple parcels, the City will structure the Overlay with tiered incentives for larger lot sizes.

* * *

Mixed-Use Housing Overlay: The Mixed-Use Housing Overlay is designed to apply to ~~two a~~ commercial ~~propertyies~~ where housing could benefit the existing or future retail use. ~~It is currently being proposed for the nine acre Bryant Ranch Shopping Center that has been struggling to maintain tenants and contains large areas of underutilized parking. The concept is to allow for a predominately residential development on this site, with a requirement to integrate a minimum of 10,000 square feet of neighborhood-serving commercial uses to service nearby neighborhoods.~~ The Mixed-Use Overlay is also being proposed for a 1.75 acre vacant commercially zoned property on Imperial Highway. The overlay will allow development of at least three stories in height and 35 dwelling units per acre, and similar to the Affordable Housing Overlay, will require at least 20 percent affordable units Commercial floor area (FAR) will be separately regulated from residential density, so that the permitted residential density is not impacted by the inclusion of commercial square footage.

In terms of the likelihood of predominately commercial development occurring on ~~these~~ ~~two~~ this Mixed Use Sites, the Mixed Use Overlay will require at least 50 percent of the square footage be dedicated to residential use. In addition, the real estate market in Yorba Linda favors residential over commercial uses, as evidenced by the prompt redevelopment of the seven non-residential 5th cycle Housing Element sites with housing (refer to Table IV-5), ~~as well as strong property owner interest in redeveloping the Bryant Ranch shopping center as predominantly residential.~~ Regional market trends further support the integration of residential on commercial sites, such as the proposed Brea Plaza project which would redevelop the commercial center's surface parking area with 189 units, the Brea Mall project which proposes development of 383 apartments on 12 acres of surface parking, and the Streetlights at Fullerton which proposes integrating 329 units within the Fullerton Town Center.

* * *

V. HOUSING PLAN

Sections II, III and IV of the Housing Element establish the housing needs, opportunities and constraints in Yorba Linda. This final Housing Plan section begins by evaluating accomplishments under the City's adopted 2014-2021 Housing Element and then presents Yorba Linda's Housing Plan for the 6th cycle, 2021-2029 planning period. This Plan sets forth the City's goals, policies and programs to address identified housing needs.

A. EVALUATION OF ACCOMPLISHMENTS UNDER ADOPTED HOUSING ELEMENT

Under State Housing Element law, communities are required to assess the achievements under their adopted housing programs as part of the five-year update to their housing elements. These results should be quantified where possible (e.g., the number of units rehabilitated), but may be qualitative where necessary (e.g., mitigation of governmental constraints). The results should then be compared with what was projected or planned in the earlier element. Where significant shortfalls exist between what was planned and what was achieved, the reasons for such differences must be discussed.

The City of Yorba Linda 2014-2021 Housing Element sets forth a series of housing programs with related objectives for the following areas:

- Conserving the existing supply of affordable housing;
- Assisting in the provision of housing;
- Providing adequate sites to achieve a variety and diversity of housing;
- Removing governmental constraints as necessary; and
- Promoting equal housing opportunity

* * *

C. HOUSING PROGRAMS

The goals and policies contained in the Housing Element address Yorba Linda's identified housing needs, and are implemented through a series of housing programs. Housing programs define the specific actions the City will undertake to achieve the stated goals and policies. The City's overall strategy for addressing its housing needs has been defined according to the five issue areas previously described under goals and policies.

The City's Housing Element programs encompass existing programs; programs revised in response to the review of program accomplishments; and several new programs added to address unmet housing needs.

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PROVIDE ADEQUATE RESIDENTIAL SITES

8. **Housing Opportunity Sites & Rezone Program.** The sites analysis conducted for the Housing Element identified a shortfall of sites with zoning in place to address the City's lower income regional housing needs (RHNA). As presented earlier in Table IV-1, the City has a current shortfall of zoning for 1,791 units, requiring an additional 32 acres of land zoned for 30 units/acre (lower income), 15 acres at 10-20 units/acre (moderate income), and 54 acres at 10 units/acre or below (above moderate income). After over a year-long process of input from the public, property owners and City decision-makers, staff identified a total of 27 high priority sites encompassing approximately 200 acres for rezoning. Pursuant to State Housing Element statutes (Govt Code section 65583.2(h)), sites identified for rezoning to address the City's lower income RHNA shortfall shall meet the following requirements:

- Permit owner-occupied and rental multi-family uses by-right¹⁹ for projects with 20% or more units affordable to lower income households
- Permit a minimum density of 20 units per acre

- Allow a minimum of 16 units per site
- Accommodate at least 50 percent of the lower income need on sites designated for residential use only

All sites proposed for rezoning will be subject to a vote of the electorate under the City's Measure B provisions (i.e., the "Yorba Linda Right to Vote Amendment" – Chapter 18.01 of the Municipal Code). Table V-3 presents a timeline which details each of the steps involved in rezoning sites under Measure B. The City will initiate the Measure B election, conduct community outreach and education on the benefits of higher density housing, and pay for all costs associated with the ballot measure. To the extent a shortfall exists in sites receiving Measure B approval, the City will conduct community outreach to identify alternative sites for rezoning, and amend the Housing Element for HCD review. Should a second Measure B vote designating adequate sites fail to pass the electorate, the City Council will seek a legal opinion from the State Attorney General's Office as to how to proceed.

The Housing Opportunity Sites & Rezone Program with respect to the MU-30 sites will be effective if approved by citizens' initiative.

¹⁹ The phrase "use by right" shall mean that the local government's review of the owner-occupied or multifamily residential use may not require a conditional use permit, planned unit development permit, or other discretionary local government review or approval that would constitute a "project" for purposes of Division 13 (commencing with Section 21000) of the Public Resources Code.

Table V-3
Milestones for Housing Element Adoption, Rezoning and Measure B Election

Anticipated Date	Action	Requirements
January – February 2022	Planning Commission and City Council hearings on Housing, Land Use and Safety Elements.	Public hearings
February 1, 2022	Adoption of Housing and other General Plan elements	Public hearing
Spring 2022	Creation and Adoption of Congregational Land Overlay, Mixed-Use Overlay, and Affordable Housing Overlay zone text.	6 month process
July 2022	File intent to comply with Measure B requirements for public vote on density increases on recommended sites identified in Housing Element.	180 days after adoption of project
November 2022	Measure B Election Date for voter approval on proposed zone changes.	
If shortfall of sites receive Measure B approval:		
2023	Evaluate additional sites to make-up shortfall	Community meetings
Early 2024	Amend Element for HCD review of new sites; conduct environmental on new sites	Public hearings
November 2024	Conduct Measure B Election on new sites	
If continued shortfall of Sites after second Measure B Election:		
	Request opinion from State Attorney General's Office as to City's options	

2021-2029 Objective: Undertake the following in support of rezoning: 1) Conduct public hearings and adopt Housing and other General Plan Elements; 2) Prepare and adopt new housing overlay zones (affordable housing, commercial mixed-use and congregational); 3) Conduct Measure B vote on proposed rezone sites. To the extent a shortfall exists in sites receiving Measure B approval, propose alternative sites for rezoning to

address the City's regional housing needs for lower and moderate income households; amend the Housing Element for HCD review; conduct 2nd Measure B election. Process development applications on rezone sites ministerially, subject to the requirements under Government Code section 65584.09.

8a. Lot Consolidation Program

The success of development within several of the rezone opportunity sites will be dependent upon consolidation of individual parcels into larger development sites. While some of the individual parcels within these rezone areas are already under common ownership, most are individually owned. The City will conduct outreach to property owners in these areas to identify meaningful incentives to facilitate lot consolidation and redevelopment. Based on this feedback, within one year of Housing Element adoption, the City will develop a Lot Consolidation Ordinance to include specific incentives such as:

- Flexible development standards such as reduced setbacks, increased lot coverage, increased heights, reduced parking
- Reduced fees
- Streamlined permit processing through administrative staff review

Upon adoption of the Ordinance, the City will work in partnership with property owners that are receptive to lot consolidation to assist them in facilitating the parcel merge process in a streamlined and timely manner

2021-2029 Objective: *Conduct outreach to property owners and adopt Lot Consolidation Ordinance within one year of Housing Element adoption. Conduct a mid-cycle review in 2025 to evaluate the success of the program and make modifications as necessary to promote housing on small sites.*

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REMOVAL OF GOVERNMENTAL CONSTRAINTS

- 14. Measure B.** The City recognizes the constraints of Measure B upon the provision of higher density and affordable housing related to development certainty, timing and associated costs. As codified in Section 18.01.110 of the Zoning Code, any amendment to Measure B requires a ballot measure with majority voter approval; the City is therefore seeking to mitigate the constraints imposed by Measure B through several alternative methods. (1) Immediately upon adoption of the Housing Element in February 2022, the City will develop and adopt three new overlay zones (Affordable Housing Overlay, Congregational Land Overlay, and Commercial Mixed Use Overlay) which provide modified development standards and ministerial approvals to facilitate affordable multi-family development (*refer to Programs #9, #10, #11*). (2) The City is pursuing rezoning through a Measure B election to designate 27 sites at densities appropriate to address the community's lower and moderate income housing needs (*refer to Program # 8*). The City will initiate the Measure B election, conduct community outreach and education on the benefits of higher density housing, and pay for all costs associated with the ballot measure. (3) The City has adopted a specific plan for the Town Center which integrates a mix of housing types near both jobs and bus lines, and is seeking to expand high density and mixed use housing in Savi Ranch, the City's major employment center, located adjacent to the 91

Freeway (the primary east/west connector from Riverside County through central Orange County) which will assist with the reduction of vehicle miles traveled and associated greenhouse gas emissions.

In addition to these actions, beginning in 2023 and in conjunction with the City Attorney's Office, the City will evaluate various options to mitigate the constraints of Measure B by providing City Council with explicit authority to rezone to higher densities and approve affordable housing projects and comply with all requirements in State Housing Element law without further ballot initiative.

2021-2029 Objective: *Mitigate the impacts of Measure B on creation of higher density and affordable housing through: establishment of three new overlay zones; rezoning select sites to higher densities; and accommodating higher density and mixed use housing near jobs and transit. By 2025, initiate a Measure B ballot measure, or other alternative option, to provide City Council greater discretion in rezoning for higher densities in support of affordable housing projects.*

* * *

Section 6. Amendments to the Housing Element Appendices.

The City's Housing Element Appendices are hereby amended as follows (new language to be inserted into the Housing Element Appendices is shown in underlined text; language to be deleted from the Housing Element Appendices is shown in ~~strike-out text~~, and text in regular, *italic* or **bold** type reflects existing Housing Element Appendices text and is provided for informational/reference purposes):

* * *

1. Appendix B (Affirmatively Furthering Fair Housing), Part 2 (Assessment of Fair Housing), Section E (Disparities in Access to Opportunity), Subsection 2 (Economic) is amended as follows:

2. Economic

According to the County AI, there are significant disparities in access to economic opportunity in Orange County.

- * Non-Hispanic White residents have the greatest access to economic opportunity. Asian and Pacific Islander residents (49), Native Americans (46), and Black residents (46) have lower index scores in the high to mid-40s. Hispanic residents (32) have the lowest access to economic opportunity of all racial and ethnic groups in Orange County.
- * Among residents living below the poverty line, there are significant disparities between groups. White residents have the highest economic opportunity score (30) followed by Black residents (27) and Asian Americans and Pacific Islanders (23). Poor Native Americans and Hispanic residents have the lowest economic opportunity scores (19).
- * Economic Opportunity Index scores are generally lower in North Orange County than in South Orange County.
- * Areas in Orange County with the highest index scores tend to have large concentrations of non-Hispanic and Asian residents.

* * *

Supporting continued economic growth and health is important for Yorba Linda. ~~One example of how this can happen is one housing site that has been identified as part of this Element. The Bryant Ranch Shopping Center in tract 218.26, which will be designated with a Mixed Use Overlay, will provide for multi-family residential to be integrated within this ten acre site and likely serve as a catalyst for improvements to the older shopping center.~~

* * *

Section F (Disproportionate Housing Needs and Displacement Risks)

* * *

Measure B (Yorba Linda Right-To-Vote Amendment)

Measure B is a citizen sponsored, voter-approved initiative, incorporated within Yorba Linda's Municipal Code. This measure was in large part a reaction to the potential development contemplated in the Town Center/Downtown redevelopment project area. By way of background, in 2003 the City Council adopted the Downtown Master Plan which focused on Main Street revitalization and was widely supported by the community. The City Council subsequently entered into an exclusive negotiating agreement with a developer to implement the Master Plan and develop the downtown area with added commercial space and housing. With the City's adoption of the Town Center Planned Development Zoning Regulations in December 2005, community opposition mounted as residents didn't feel the City Council was transparent in permitting 501 housing units and 560,000 square feet of commercial space in the Town Center, along with the Council's last minute inclusion of a new planning area (Yorba Station) that hadn't been vetted with the community or the center owners or merchants. Due to the community's reaction and under threat of referendum, the City Council subsequently rescinded their approval of the Zoning Regulations and dismissed the developers in February 2006. The same citizens group that opposed the Town Center later formulated Measure B, which was passed by the electorate in June 2006.

Measure B requires a majority vote of the electorate for major amendments to "planning policy documents" that increase residential density above the currently allowed density. These planning policy documents include: General Plan Land Use Element; Land Use Policy Map; Zoning Code; Zoning Map; Specific Plan; or Development Agreement.

Major amendments to these planning policy documents are defined to include any of the following changes to the development standards which:

- Increase the number of residential units which may be constructed on a parcel designated for residential uses
- Increase the number of separate parcels which may be created from an existing parcel
- Changes any residential land use to allow any other land use
- Changes any non-residential land use to allow any residential land use greater than ten (10) net dwelling units per acre or allow mixed-use
- Increases the allowed maximum height of development

- Provides for the private development of land owned by a government entity within five years of the date of the approval to develop the land
- Repeals any of the Planning Policy Documents

Measure B also establishes a maximum height of 35 feet for all structures in the City. Exempted from the height limit are church steeples, public schools, and other structures exempted by state or federal law.

A key focus of Yorba Linda's 2008-2014 Housing Element was to identify suitable sites to accommodate the City's regional housing needs for all income levels. Default densities of 30 units per acre are typically needed to accommodate affordability for lower income households, and densities of 10 to 20 units per acre are necessary for moderate income households. After an extensive public process, an inventory of 14 sites were identified for rezoning and were incorporated within the Element adopted by City Council in October 2011. The City then undertook a 2008-2014 Housing Element Implementation Measure B Election Community Outreach Program. A Measure B vote was placed on the June 5, 2012 Primary Election and separated into two measures, the Savi Ranch Planned Development (Measure H) and nine rezoning sites (Measure I). Both Measures H and I received a majority vote of the Yorba Linda electorate.

While the 5th cycle, 2014-2021 Housing Element did not require a Measure B vote, given the significantly higher RHNA allocated to the City for the 6th cycle Housing Element, additional rezoning will be necessary. Similar to the prior vote, the City will initiate the Measure B election, and pay for all costs associated with the ballot measure. Housing Element Program #8 details the steps involved in rezoning and conducting the Measure B election.

* * *

2. Appendix B (Affirmatively Furthering Fair Housing), Part 3 (Sites Inventory), Section 2 (Analysis of Sites and AFFH Data), Subsection *Areas of Opportunity* is amended as follows:

* * *

- Of the twenty census tracts within Yorba Linda, two are designated as having a "moderate" resource level on the TCAC map (tracts 218.20 and 218.26), with the remaining 18 tracts having either a "high" or "highest" resource level. Just one housing site has been identified in a moderate resource tract, the Bryant Ranch Shopping Center in tract 218.26, which ~~will be designated with a Mixed Use Overlay, will be designated MU-30 if approved by citizens' initiative providing for multi-family residential to be integrated within this ten acre site, and serving as a catalyst for improvements to this older shopping center~~

* * *

3. Appendix C (Residential Sites Inventory) is amended as follows:

Housing Element Rezone Sites

Site ID	Site Description and Address	Acres	Current Zoning	Proposed Zoning Action	Total Net Unit Potential	Realistic Unit Potential
Affordable Housing Overlay (AHO) Sites – up to 35 units/acre						

S1-200	SEC Rose Dr/Blake Rd	5.94	RE	RM-20 with AHO	208	178
S3-207	5300-5392 Richfield Rd	9.7	RU	RM-20 with AHO	340	291
S3-074	Yorba Linda Preschool 18132 Yorba Linda Blvd	0.42	CG	RM-20 with AHO	15	13
S3-082	4791 and 4811 Eureka Ave	1.75	CG	RM-20 with AHO	61	53
S4-075	4742 Plumosa Drive	1.62	CG	RM-20 with AHO	57	48
S6-015	Prior John Force Racing 22722 Old Canal Road	2.56	PD	PD with AHO	89	77
S6-020	Extended Stay America 22711 Oak Crest Circle	10.35	PD	RM-20 with AHO	143	122
Realistic Unit Potential on AHO Sites:						782
Congregational Land Overlay (CLO) Sites – up to 35 units/acre						
S2-008	Friendship Baptist Church 17151 Bastanchury Rd	4.92 (2.01 developable)	RE	RE with CLO	60	60
S3-012	Richfield Community Church 5320 Richfield Rd	9.48 (3.7 developable)	RU	RU with CLO	55	55
S2-013	Messiah Lutheran Church 4861 Liverpool St	6.2 (2.03 developable)	RU	RU with CLO	40	40
S3-103	Friends Church and Overflow Parking	17.45 (1.61 developable)	RE	RE with CLO	48	48
S4-204A	Chabad Center 19045 Yorba Linda Blvd	1.85 (0.93 developable)	RE	RE with CLO	17	17
S3-033	Islamic Center of Yorba Linda 4382 Eureka Ave	3.88 (1.58 developable)	RS	RS with CLO	30	30
S3-210	Shinnyo-En USA 18021-18111 Bastanchury Rd	9.23 (4.09 developable)	PD-26	PD-26 with CLO	105	105
Realistic Unit Potential on CLO Sites:						355
Mixed Use Overlay (MUO) Sites – up to 35 units/acre						
S1-021	Vacant Parcel (W of 16951 Imperial Hwy) APN 322-121-07	1.76	CG-(I)	CG-(I) with MUO	62	53
Realistic Unit Potential on MUO Sites:						53
MU-30 – up to 30 units/acre						
S7-001	Bryant Ranch Shopping Center 23611-23801 La Palma Ave	9.15	CG	CG with MUO MU-30 ²	320	272
Realistic Unit Potential on MU-30 Sites:						272
RM-20 – up to 20 units/acre						
S4-200	18597-18602 Altrudy Lane	2.0	RS	RM-20	40	40
S4-204B	19081-19111 Yorba Linda Blvd	3.90	RE	RM-20	78	66
Realistic Unit Potential on RM-20 Sites:						106
Site ID	Site Description and Address	Acres	Current Zoning	Proposed Zoning Action	Total Net Unit Potential	Realistic Unit Potential

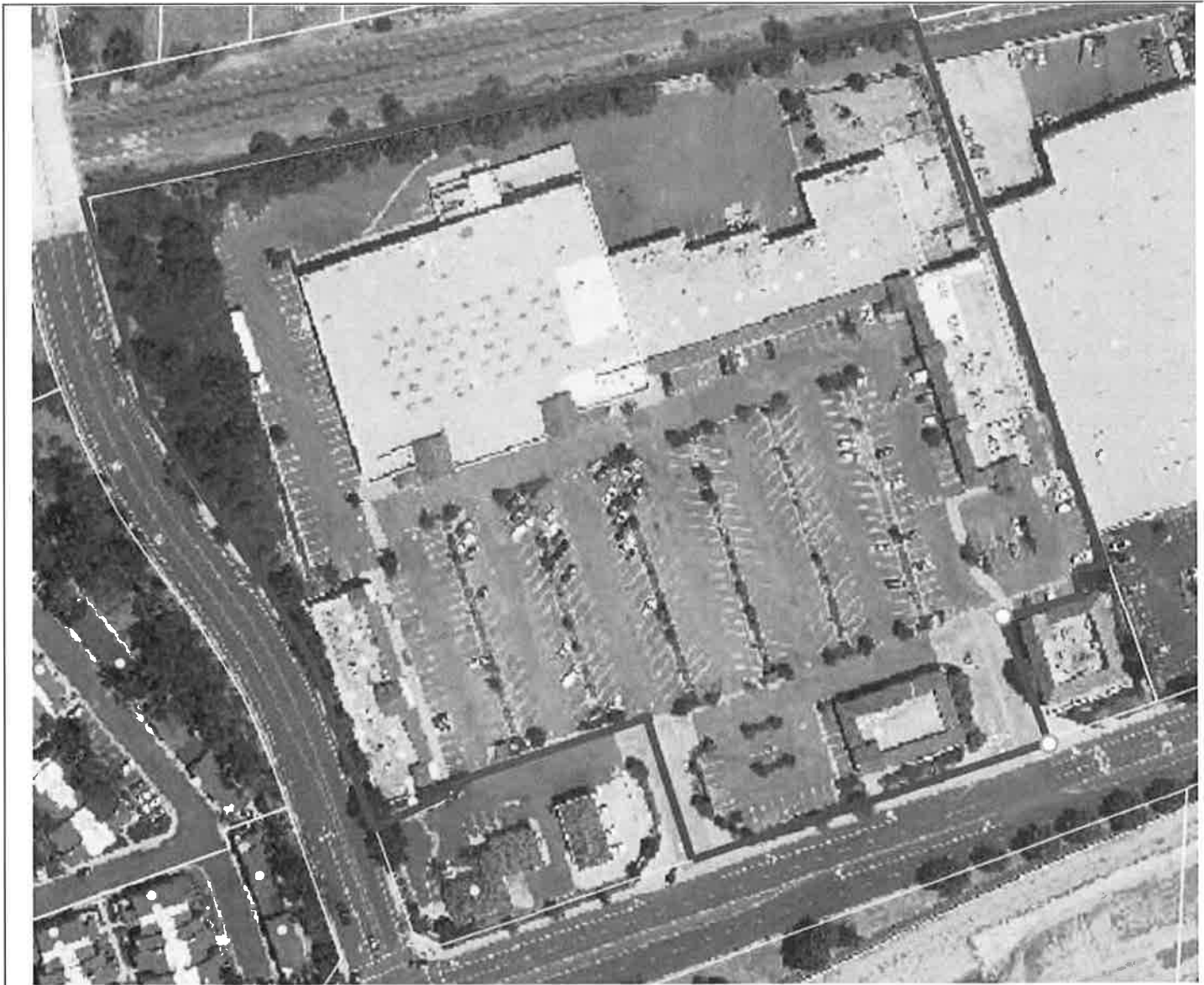
²The Bryant Ranch Shopping Center site will be subject to the MU-30 zoning if approved by citizens' initiative.

RM – up to 10 units/acre						
S3-034	4341 Eureka Avenue	2.19	RS	RM	22	19
S3-205A	5225-5227 Highland Ave	7.08	RE	RM	71	60
S3-211	17651 Imperial Highway	2.32	RS	RM	23	20
S4-053	SWC Kellogg Dr/ Grandview Ave	0.98	RE	RM	10	9
S4-060	5541 South Ohio St	0.96	RE	RM	10	9
S4-201	5531 South Ohio St	1.82	RE	RM	18	15
S5-008	Fairmont Blvd	23.01	PD	RM	230	196
S7-005	NWC Camino de Bryant/ Meadowland	3.06	RU	RM	30	10
Realistic Unit Potential on RM Sites:						338
PD						
S3-203	18101-19251 Bastanchury	22.83	PD	PD	228	194
Realistic Unit Potential on PD Sites:						194
Realistic Potential on all Opportunity Sites:						2,100

* * *

4. Appendix C (Site S7-001 – Bryant Ranch Shopping Center) is amended as follows:

Site S7-001 – Bryant Ranch Shopping Center



<p>Site Acreage: 9.15 acres Current Zoning: CG MU-30 Proposed Zoning: Commercial-Mixed Use Overlay MU-30³</p>	<p>Description of Site and Factors Supporting Development: The Bryant Ranch Shopping Center is located at the east end of the City near Savi Ranch. The anchor tenant is an ice skating rink ("The Rinks Yorba Linda"), who took over the 45,000 square foot space after two failed grocery stores. The</p>
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³The Bryant Ranch Shopping Center site will be subject to the MU-30 zoning if approved by citizens' initiative.

Total Unit Potential: 320
Realistic Unit Potential: 272

Rinks is only expected to remain at this location for another year as their lease has expired, and there are no other anchor tenants looking at the site. Most of the other 21 tenants at the center are service related, such as salons, gyms, veterinarian and dentist offices, and just one has a lease extending beyond 2022. There have been a number of inquiries with the City about potentially redeveloping the center either partially or completely for residential use, and the property owner has recently submitted preliminary conceptual plans to the City for development of 160 townhome units on the site. ~~The City is proposing to overlay a mixed-use zone on this site. The site will be subject to the MU-30 zoning if approved by citizens' initiative, allowing for up to 320 units with a requirement to integrate a minimum of 10,000 square feet of neighborhood serving commercial uses to service neighborhoods located in the eastern end of Yorba Linda.~~ Realistic capacity is calculated at 85% of the maximum, or 272 units.

* * *

5. Appendix C (Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need) is amended as follows:

Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need, Table Starts in Cell A2

Jurisdiction Name	Site Address/ Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low Income	Low Income	Moderate Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/ Non-Vacant	Description of Existing Uses	Notes	Improvement to Land Ratio	Year Built	Project Site ID
YORBA LINDA	23611 LA PALMA AV	92885	353-091-04					Shortfall of Sites	0.6695640685	C - General	CG MU-30	CG R-H	Mixed-Use Overlay MU-30	20 0	25 30	0	Non-Vacant	Bryant Ranch Shopping Center		0.58	0	57-001
YORBA LINDA	23761 LA PALMA AV	92885	353-091-06					Shortfall of Sites	0.256389064	C - General	MU-30	R-H	Mixed-Use Overlay MU-30	20 0	25 30	0	Non-Vacant	Bryant Ranch Shopping Center		0.49	0	57-001
YORBA LINDA	23661 LA PALMA AV	92885	353-091-06			76	114	Shortfall of Sites	9.148607966	C - General	CG MU-30	CG R-H	Mixed-Use Overlay MU-30	20 0	25 30	190	Non-Vacant	Bryant Ranch Shopping Center	Property owner is very interested in having property rezoned to allow for higher density housing. Center is struggling to maintain tenants at this time, therefore, property owner is considering other alternatives.	0.60	0	57-001
YORBA LINDA	23801 LA PALMA AV	92885	353-131-12			32	50	Shortfall of Sites	3.641958983	C - General	CG MU-30	CG R-H	MU-30	20 0	25 30	82	Non-Vacant	Bryant Ranch Shopping Center		1.31	0	57-001
YORBA LINDA	ADDRESS NOT AVAIL	92885	329-081-06			4	6	Shortfall of Sites	3.06344421	R - Medium High	RU	CG R-H	Mixed-Use Overlay RM	20 0	25 30	10	Vacant	Vacant		0.00	0	57-005
YORBA LINDA	4382 EUREKA AVE	92886	323-092-13	20	10			Shortfall of Sites	3.88	R - Medium	RS	CG R-H	Mixed-Use Overlay RM	20 0	25 30	30	Non-Vacant	Islamic Center		0.00	0	53-033

* ** * * * *

⁴The Bryant Ranch Shopping Center site will be subject to the MU-30 zoning if approved by citizens' initiative.

Section 7. Initiative Consistency with General Plan.

This Initiative is consistent with the objectives and policies of the City's General Plan, as revised by this Initiative. Without limiting the foregoing, this finding of consistency is based on the following:

- A. Land Use Element. This Initiative is consistent with the objectives and policies of the General Plan Land Use Element, as revised by this Initiative.
- B. Housing Element. The Initiative is consistent with the objectives and policies of the General Plan Housing Element, as revised by this Initiative.
- C. Housing Element Appendices. The Initiative is consistent with the objectives and policies of the General Plan Housing Element Appendices, as revised by this Initiative.

Section 8. Effective Date

This Initiative is considered adopted and effective upon the earliest date allowed under applicable law.

Section 9. Implementation of Yorba Canyon Community project.

- A. Upon the effective date of this Initiative, the City is directed to promptly take all appropriate actions needed to implement this Initiative. To the extent state law limits the number of amendments that are permitted to be made to a General Plan in any calendar year, and that number has been reached in the year in which this Initiative becomes effective, the General Plan amendments set forth in this Initiative shall be the first amendments inserted into the General Plan on January 1 of the next year.
- B. Upon the effective date of this Initiative, the provisions of Section 3 of this Initiative are hereby inserted into the General Plan Land Use Element. The City may determine the appropriate location and numbering for the text added by Section 3 of this Initiative, provided that the full text is inserted without alteration into the General Plan Land Use Element.
- C. Upon the effective date of this Initiative, the provisions of Section 4 are hereby inserted into the General Plan Housing Element. The City may determine the appropriate location and numbering for the text added by Section 4 of this Initiative, provided that the full text is inserted without alteration into the General Plan Housing Element.
- D. Upon the effective date of this Initiative, the provisions of Section 5 are hereby inserted into the General Plan Housing Element Appendices. The City may determine the appropriate location and numbering for the text added by Section 5 of this Initiative, provided that the full text is inserted without alteration into the General Plan Housing Element Appendices.
- E. The General Plan in effect on the date of filing of the Notice of Intent to Circulate this Initiative ("Filing Date"), and the General Plan as amended by this Initiative, comprise an integrated internally consistent and compatible statement of policies for the City. To ensure that the General Plan remains an integrated, internally consistent and compatible statement of policies for the City, any provision of the General Plan that is adopted between the Filing Date and the effective date of this Initiative shall, to the extent that such interim-enacted provision is inconsistent with the General Plan amendments adopted by this Initiative, be amended as soon as possible and in the manner and time required by law to ensure consistency between the provisions adopted by the Initiative and other elements of the General Plan.

F. Upon the effective date of this Initiative, the City may not take any action, including approving permits for development or issuing tentative subdivision maps, which are inconsistent with the Initiative. Commencing on the effective date of this Initiative, the City is directed to expeditiously and diligently process in accordance with all applicable federal, state and local laws and requirements, all subsequent actions required to implement the Initiative, including without limitation, subdivision maps, easement vacations and acceptances, issuance of grading and building permits, and any other City actions as necessary to implement the Initiative.

G. To the extent that any of the land use modifications implemented by this Initiative could be considered subject to the Yorba Linda Right-to-Vote Amendment, any and all requirements of that Amendment shall be deemed completed and satisfied by virtue of the approval of this Initiative by the voters.

Section 10. Effect of Other Measures on the Same Ballot.

A. In approving this Initiative, it is the voters' intent to create a comprehensive regulatory plan to govern the future use and development of the current Bryant Ranch Shopping Center site. To ensure that this intent is not frustrated, this Initiative is presented to the voters as an alternative to, and with the express intent that it will compete with, any and all voter initiatives or City-sponsored measures placed on the same ballot as this Initiative and which, if approved, would regulate the use or development of the Bryant Ranch Shopping Center site in any manner or in any part whatsoever (a "Conflicting Measure").

B. In the event that this Initiative and one or more Conflicting Measures are adopted by the voters at the same election, then it is the voters' intent that only that measure which receives the greatest number of affirmative votes shall control in its entirety and said other measure or measures shall be rendered void and without any legal effect. In no event shall this Initiative be interpreted in a manner that would permit its operation in conjunction with the non-conflicting provisions of any Conflicting Measure.

C. If this Initiative is approved by the voters but superseded by law in whole or in part by any other Conflicting Measure approved by the voters at the same election, and such Conflicting Measure is later held invalid, this Initiative shall be self-executing and given full force of law.

Section 11. Interpretation and Severability.

A. This Initiative must be interpreted so as to be consistent with all federal and state laws, rules, and regulations. If any section, sub-section, sentence, clause, phrase, part, or a portion of this Initiative is held to be invalid or unconstitutional by a final judgment of a court of competent jurisdiction, such decision does not affect the validity of the remaining portions of this Initiative. The voters declare that this Initiative, each section, sub-section, sentence, clause, phrase, part, or portion thereof, would have been adopted or passed irrespective of the fact that any one or more sections, sub-sections, sentences, clauses, phrases, part, or portion is found to be invalid. If any provision of this Initiative is held invalid as applied to any person or circumstance, such invalidity does not affect any application of this Initiative that can be given effect without the invalid application.

B. If any portion of this Initiative is held by a court of competent jurisdiction to be invalid, we the People of the City of Yorba Linda indicate our strong desire that: (i) the City use its best efforts to sustain and re-enact that portion, and (ii) the City implement this Initiative by taking all steps possible to cure any inadequacies or deficiencies identified by the court in a manner consistent with the express and implied intent of this Initiative, including adopting or reenacting any such portion in a manner consistent with the intent of this Initiative.

C. This Initiative shall be broadly construed in order to achieve the purposes stated above. It is the intent of the voters that the provisions of this Initiative be interpreted or implemented by the City of Yorba Linda and others in a manner that facilitates the purposes set forth in this Initiative.

Section 12. Amendments to Other City Ordinances and Policies.

The City is hereby authorized to amend other elements and sections of the General Plan, sub-regional plans, community plans, zoning provisions, community plan area zone changes maps, and other ordinances, and policies affected by the Initiative as soon as possible and in the manner and time required by law to ensure consistency between the Initiative and other elements of the City's General Plan, sub-regional and community plans, zoning provisions, community plan change maps, and other City ordinances and policies. The City is hereby and further authorized to amend all other City ordinances, rules and regulations, as necessary, to accommodate this Initiative.

Section 13. Amendments to Initiative.

This Initiative may be amended either by: (i) a majority vote of the City Council, if, and only if, based on a proposal submitted by the applicant to further the Initiative's purposes; or (ii) a vote of the people.

The texts of existing provisions of the Municipal Code, General Plan, General Plan Land Use Element, General Plan Housing Element, and General Plan Housing Element Appendices that are included in this Initiative but not modified herein are not subject to this Section.

Section 14: Statute of Limitations

Unless a shorter statute of limitations is enacted by the State Legislature, all provisions of this Initiative shall be deemed subject to Government Code Section 65009(c), and no action or proceeding challenging all or any part of this Initiative shall be maintained unless commenced and served within ninety (90) days of the date of the legislative body's decision. The date of the the date the voters adopt this Initiative. If such date cannot lawfully be deemed the date of the legislative body's decision, then the date of the legislative body's decision shall be the earliest possible lawful date.

Section 15: Legal Defense

If this Initiative is approved by the voters and thereafter subjected to a legal challenge which attempts to limit its scope or application in any way, or alleges that this Initiative violates any local, state or federal law in whole or in part, and the City of Yorba Linda or its agents refuse to defend this Initiative to the fullest extent possible, then the following actions shall be taken:

(a) The City Attorney shall appoint independent counsel to faithfully and vigorously defend this Initiative to the fullest extent possible on behalf of the City.

(b) Before appointing or thereafter substituting independent counsel, the City Attorney shall exercise due diligence in determining the qualifications of independent counsel and shall obtain written affirmation from independent counsel that independent counsel will faithfully and vigorously defend this Initiative to the fullest extent possible. The written affirmation shall be made publicly available upon request.

(c) In order to support the defense of this Initiative in instances where the City or its agents fail to do so despite the will of the voters, a continuous appropriation is hereby made from the General Fund,

without regard to fiscal years, in an amount necessary to cover the costs of retaining independent counsel to faithfully and vigorously defend this Initiative on behalf of the City to the fullest extent possible.

Exhibit "B"



RESOLUTION NO. 2024-5905

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA, SETTING PRIORITIES FOR FILING WRITTEN ARGUMENTS REGARDING THE BRYANT RANCH SHOPPING CENTER BALLOT MEASURE TO BE PLACED ON THE NOVEMBER 5, 2024, GENERAL MUNICIPAL ELECTION BALLOT AND DIRECTING THE CITY ATTORNEY TO PREPARE AN IMPARTIAL ANALYSIS

WHEREAS, a General Municipal Election consolidated with the Statewide General Election will be held in the City of Yorba Linda, California on November 5, 2024, at which time there will be submitted to the voters the following measure (“Measure”):

Shall the initiative be adopted that amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue?	Yes
	No

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. The City Council authorizes: (i) all members of the City Council, (ii) any individual voter eligible to vote on the above Measure, (iii) a bona fide association of such citizens or (iv) any combination thereof, to file a written arguments in favor of or against the Measure, accompanied by the printed name(s) and signature(s) of the author(s) submitting it, in accordance with Article 4, Chapter 3, Division 9 of the Elections Code of the State of California and to change the argument until and including the date fixed below by the City Clerk after which no arguments for or against the Measure may be submitted to the City Clerk. No argument shall exceed 300 words in length.

The deadline to submit arguments in favor of the Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m. The deadline to submit arguments against the Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m.

The arguments shall be filed with the City Clerk, signed, with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one of its principal officers who is the author of the argument.

SECTION 2. The City Council directs the City Clerk to transmit a copy of the Measure to the City Attorney. The City Attorney shall prepare an impartial analysis of the

Measure showing the effect of the Measure on the existing law and the operation of the Measure. The impartial analysis shall be filed with the City Clerk within ten (10) days of the adoption of this resolution.

SECTION 3. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER, LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

RESOLUTION NO. 2024-5906

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
YORBA LINDA, CALIFORNIA, PROVIDING FOR THE
FILING OF REBUTTAL ARGUMENTS FOR ONE
MEASURE TO BE PLACED ON THE NOVEMBER 5, 2024
GENERAL MUNICIPAL ELECTION BALLOT**

WHEREAS, a General Municipal Election consolidated with the Statewide General Election will be held in the City of Yorba Linda, California on November 5, 2024, at which time there will be submitted to the voters the following measure (“Measure”):

Shall the initiative be adopted that amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue?	Yes
	No

WHEREAS, California Elections Code sections 9285 authorizes the City Council by majority vote to adopt provisions to provide for the filing of rebuttal arguments for measures submitted at municipal elections.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. Pursuant to California Elections Code section 9285, when the elections official has selected the arguments for and against the Measure which will be printed and distributed to the voters, the elections official shall send a copy of an argument in favor of the Measure to the authors of any argument against the Measure and a copy of an argument against the Measure to the authors of any argument in favor of the Measure immediately upon receiving the arguments. If more than one argument for or more than one argument against the Measure is submitted to the city elections official within the time prescribed, he or she shall select one of the arguments in favor and one of the arguments against the measure for printing and distribution to the voters in accordance with the procedure set forth in California Elections Code section 9287.

The author or a majority of the authors of an argument relating to the Measure may prepare and submit a rebuttal argument or may authorize in writing any other person or persons to prepare, submit or sign the rebuttal argument. However, a rebuttal argument may be signed by no more than five (5) persons. No rebuttal argument may exceed 250 words.

The rebuttal arguments shall be filed with the City Clerk, signed with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one principal officer, not more than 10 days after the final date for filing direct arguments.

The deadline to submit rebuttal arguments is declared by the City Clerk to be August 5, 2024, 5:00 p.m.

Rebuttal arguments shall be printed in the same manner as the direct arguments. Each rebuttal argument shall immediately follow the direct argument which it seeks to rebut.

SECTION 2. The provisions of this Resolution shall apply only to the election to be held on November 5, 2024.

SECTION 3. The City Clerk shall certify to the passage and adoption of this Resolution and enter it into the book of original resolutions.

PASSED, APPROVED AND ADOPTED at an adjourned regular meeting of the City Council of the City of Yorba Linda on this 16th day of July, 2024.

TARA CAMPBELL, MAYOR
CITY OF YORBA LINDA

ATTEST:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

APPROVED AS TO FORM:
RUTAN & TUCKER, LLP

CITY ATTORNEY

STATE OF CALIFORNIA)

ss.

COUNTY OF ORANGE)

I, MARCIA BROWN, City Clerk of the City of Yorba Linda, California, **DO HEREBY CERTIFY** that the foregoing Resolution was adopted at an adjourned regular meeting of the City Council of the City of Yorba Linda held on the 16th day of July, 2024, and was carried by the following roll call vote:

AYES: COUNCILMEMBERS:
NOES: COUNCILMEMBERS:
ABSENT: COUNCILMEMBERS:

MARCIA BROWN, CITY CLERK
CITY OF YORBA LINDA

JULY 16, 2024 CITY COUNCIL MEETING

ADMINISTRATIVE REPORTS ITEM NO. 16 – RESOLUTIONS PERTAINING TO THE INITIATIVE BALLOT MEASURE TO ALLOW HIGH DENSITY RESIDENTIAL HOUSING AND MIXED-USE DEVELOPMENT AT THE BRYANT RANCH SHOPPING CENTER

REVISION TO RESOLUTION NO. 2024-5905

RESOLUTION NO. 2024-5905

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YORBA LINDA, CALIFORNIA, SETTING PRIORITIES FOR FILING WRITTEN ARGUMENTS REGARDING THE BRYANT RANCH SHOPPING CENTER BALLOT MEASURE TO BE PLACED ON THE NOVEMBER 5, 2024, GENERAL MUNICIPAL ELECTION BALLOT AND DIRECTING THE CITY ATTORNEY TO PREPARE AN IMPARTIAL ANALYSIS

WHEREAS, a General Municipal Election consolidated with the Statewide General Election will be held in the City of Yorba Linda, California on November 5, 2024, at which time there will be submitted to the voters the following measure ("Measure"):

Shall the initiative be adopted that amends the Yorba Linda Municipal Code, General Plan Land Use Element, Housing Element, and Housing Element appendices to allow high density residential housing and mixed-use development on the 9.15 acre site occupied by the Bryant Ranch Shopping Center at 23621-23741 La Palma Avenue?	Yes
	No

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Yorba Linda as follows:

SECTION 1. The persons filing the initiative petition may file a written argument in favor of the ordinance, and the legislative body may submit an argument against the ordinance. The City Council authorizes: (i) all members of the City Council, (ii) any individual voter eligible to vote on the above Measure, (iii) a bona fide association of such citizens or (iv) any combination thereof, to file a written arguments in favor of or against the Measure, accompanied by the printed name(s) and signature(s) of the author(s) submitting it, in accordance with Article 4, Chapter 3, Division 9 of the Elections Code of the State of California and to change the argument until and including the date fixed below by the City Clerk after which no arguments for or against the Measure may be submitted to the City Clerk. No argument shall exceed 300 words in length.

The deadline to submit arguments in favor of the Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m. The deadline to submit arguments against the Measure pursuant to this Resolution is declared by the City Clerk to be July 26, 2024, 5:00 p.m.

The arguments shall be filed with the City Clerk, signed, with the printed name(s) and signature(s) of the author(s) submitting it, or if submitted on behalf of an organization, the name of the organization, and the printed name and signature of at least one of its principal officers who is the author of the argument.